

# TRAUTMAN ASSOCIATES

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# ANAKSAR TATH HER DARBAR

# URDWARA UILDING

5 NORTH FRENCH ROAD  
ST AMHERST, NEW YORK 14051

#	Date	Description
<b>TOWN COMMENTS</b>		
<b>APP SIDEWALKS</b>		

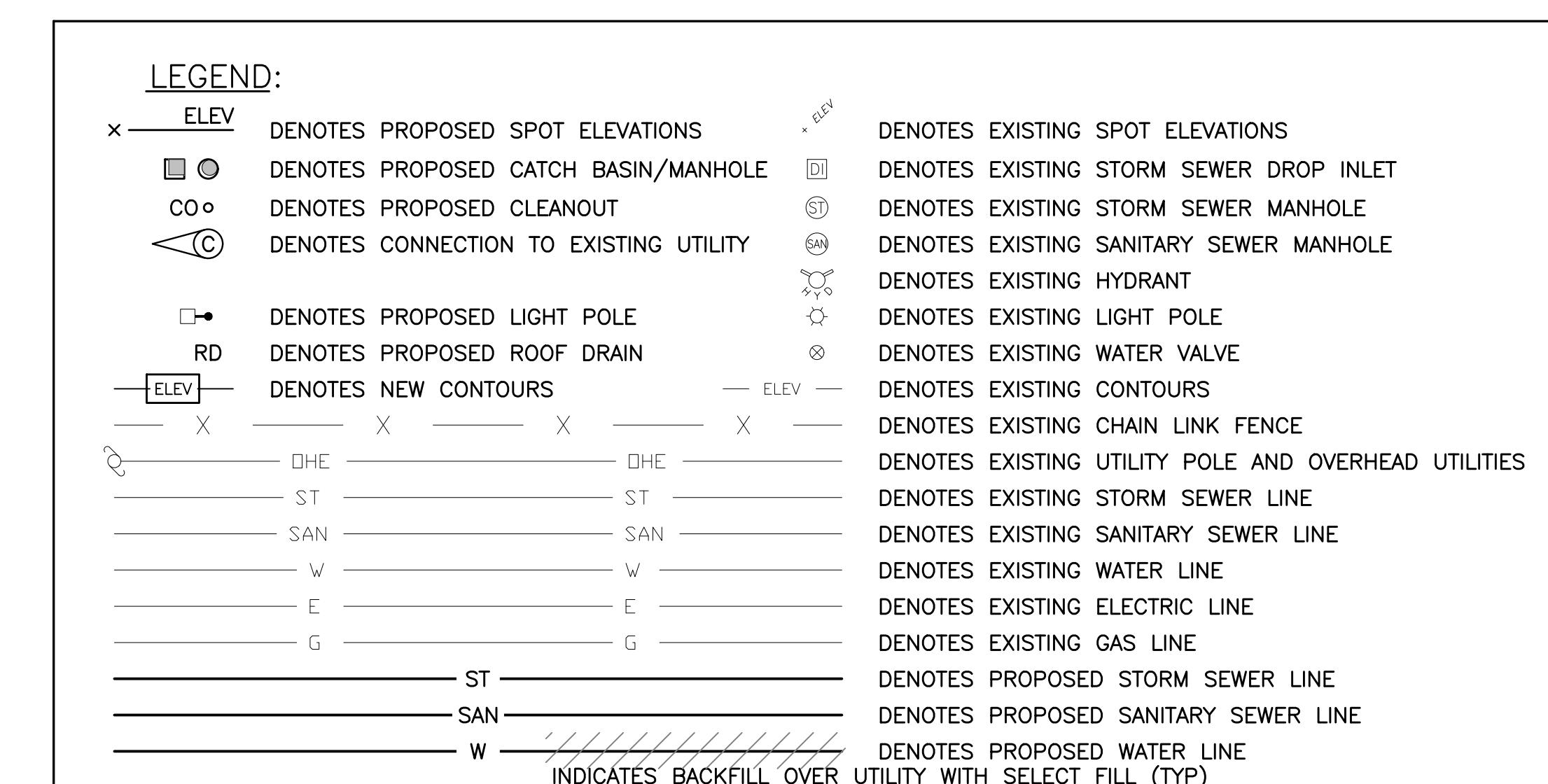
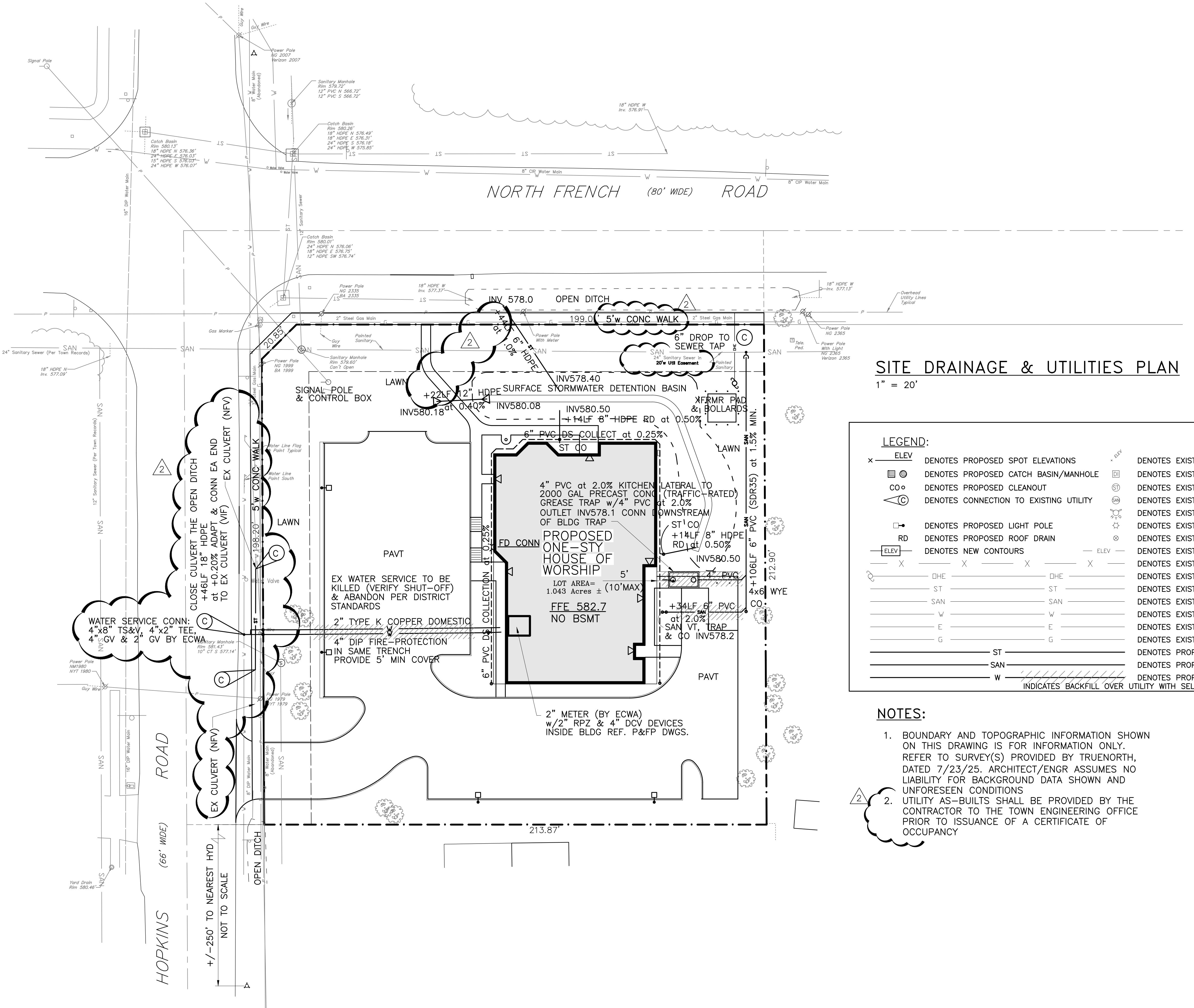
## SITE PLAN REVIEW

9.22.25

# SITE LAYOUT PLAN

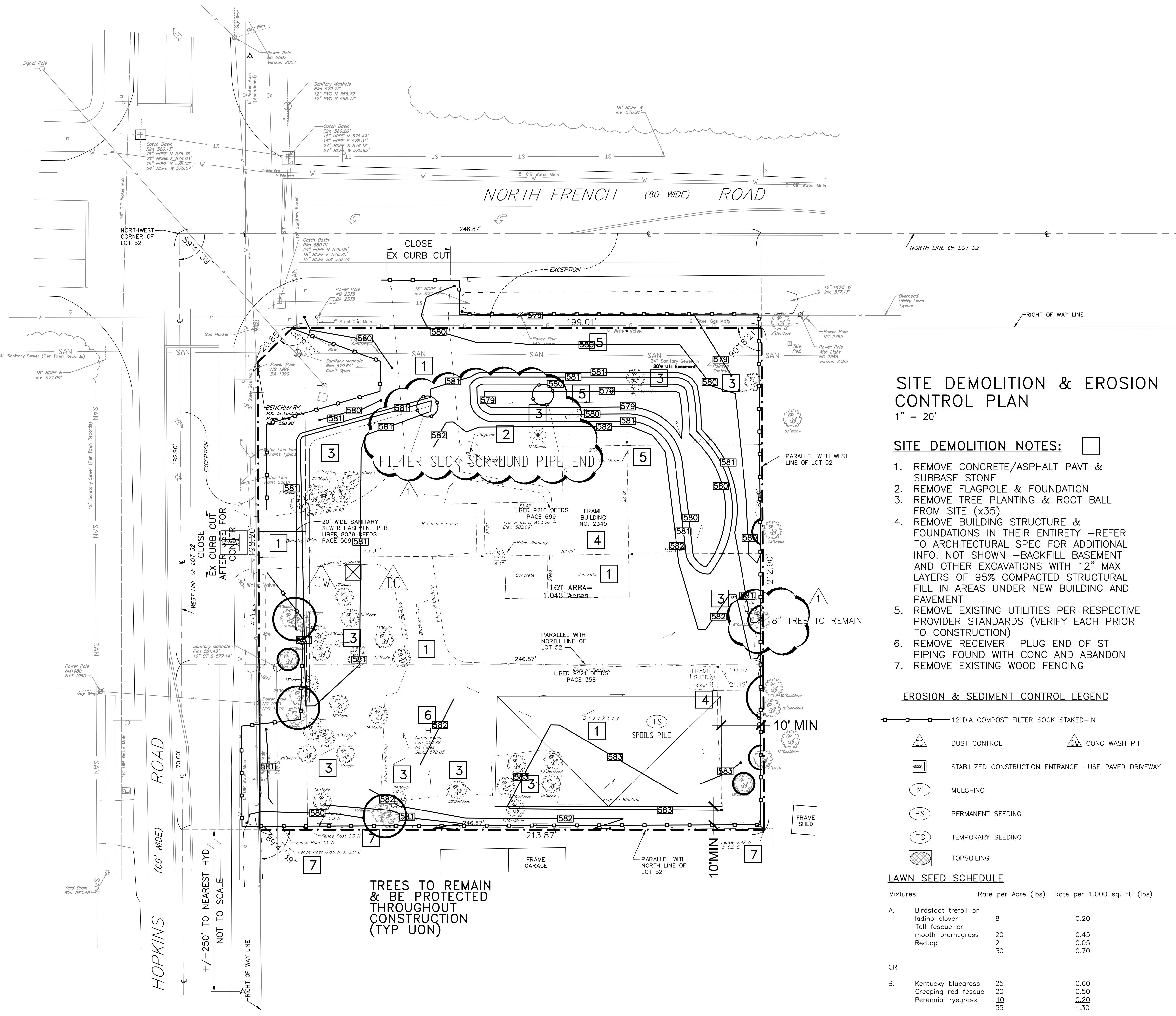
# SP101



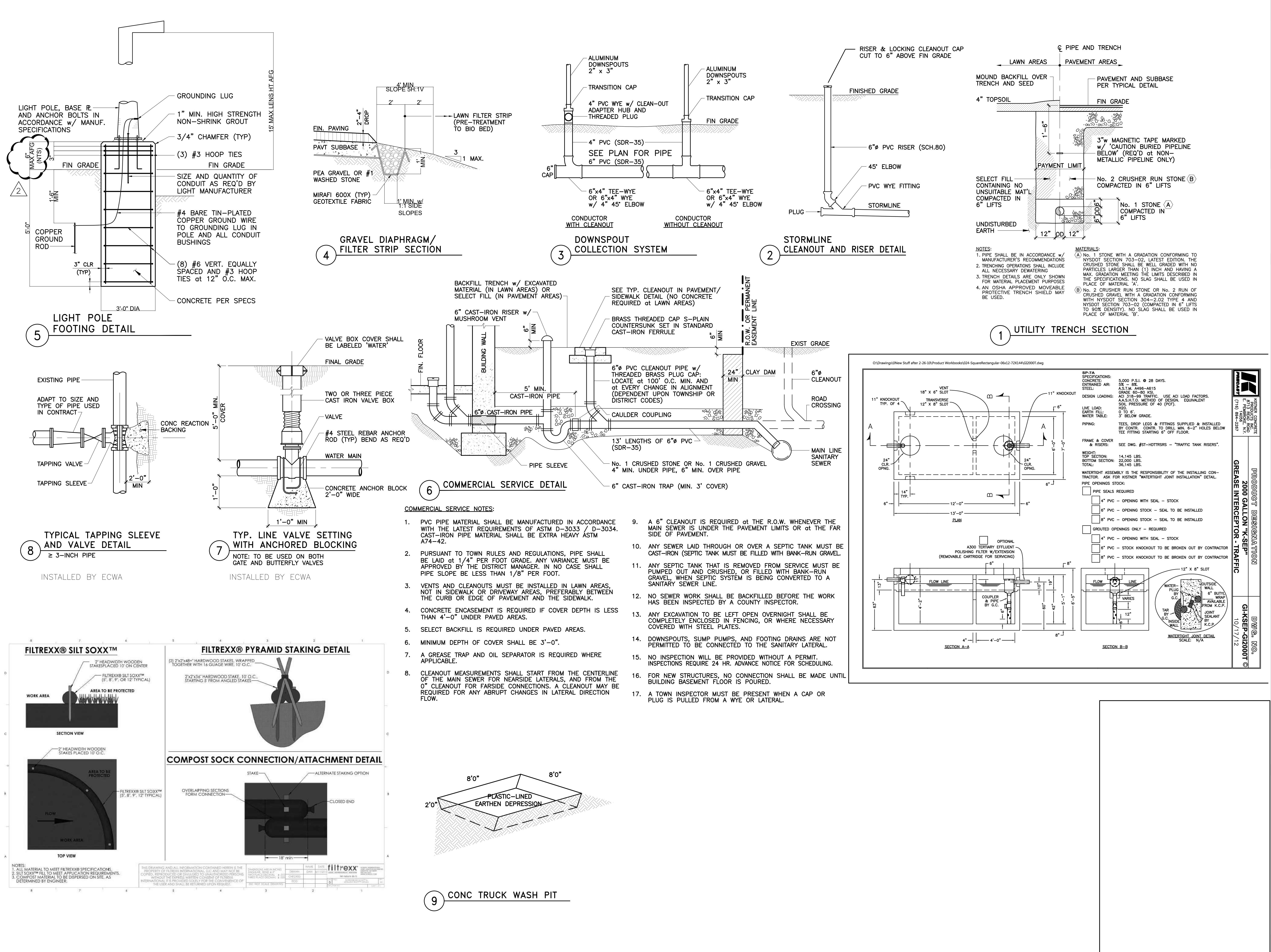


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2. UTILITY AS-BUILTS SHALL BE PROVIDED BY THE CONTRACTOR TO THE TOWN ENGINEERING OFFICE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY









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# ANAKSAR TATH SHER DARBAR

**Project Address:** 2345 NORTH FRENCH ROAD  
51ST AVENUE, NEW YORK, NY 10051

## LANDSCAPE NOTES:

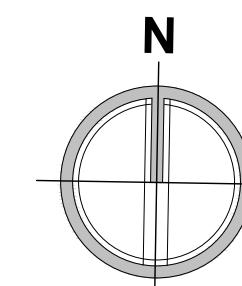
1. CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING TREES AND PLANTINGS INDICATED TO REMAIN FROM ALL TYPES OF ROOT, TRUNK AND LIMB DAMAGE DURING DEMOLITION AND CONSTRUCTION; INCLUDING BUT NOT LIMITED TO RETAINING WALLS WHICH PREVENT FILLING ON TOP OF ROOTS OR EXCAVATING ROOTS AS REQUIRED BY TOWN CODE.
2. EXISTING PLANTED AREAS SHALL REMAIN UNLESS OTHERWISE NOTED.
3. ALL DISTURBED AREAS SHALL RECEIVE 4" MIN. TOPSOIL AND GRASS SEED UNLESS OTHERWISE NOTED.
4. TREE AND SHRUB BEDS SHALL BE COVERED WITH 3" OF HARDWOOD MULCH.
5. ALL ROOTS AND STONES OVER 1 1/2" SHALL BE REMOVED PRIOR TO HYDROSEEDING.
6. ALL STREET AND ISLAND TREES SHALL HAVE FIRST BRANCHING at 6-FOOT MIN.
7. IF A CONFLICT EXISTS BETWEEN THE PLAN AND PLANTING SCHEDULE, THE PLAN SHALL GOVERN.
8. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING IS FOR INFORMATION ONLY. REFER TO SURVEY(S) PROVIDED BY THE OWNER.
9. REFER TO ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS & FEATURES.

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10. REFER TO GRADING AND UTILITY PLAN(S) FOR ADDITIONAL INFORMATION NOT SHOWN HEREIN.

# LANDSCAPE PLAN

$$1'' = 20'$$



# PLANTING SCHEDULE

MARK	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
PP	7	PICEA PUNGENS	COLORADO BLUE SPRUCE	5'h MIN	B&B
PR	18	PINUS RESINOSA	RED PINE	5'h MIN	B&B
IM	6	ILEX MESERVAE	BLUE HOLLY	24" MIN	CONT.
IG	25	ILEX GLABRA	SHAMROCK INKBERRY	24" MIN	CONT.
JC	20	JUNIPERUS CHINENSIS GOLD COAST	GOLD COAST JUNIPER	24" MIN	B&B
JS	6	JUNIPERUS SCOPULORUM	SKYROCKET JUNIPER	4'h MIN	B&B
CA	6	CORNUS ALBA ELEGANTISSIMA	VARIEGATED LEAF DOGWOOD	36"-48"	B&B
MS	6	MALUS SPRING SNOW	SPRING SNOW CRABAPPLE	2.0" CAL	B&B
GT	16	GLEBITSIA TRIACANTHOS INERMIS 'SUNCOLE'	SUNBURST LOCUST	2.5" CAL	B&B
NS	6	NYSSA SYLVATICA	SWEET GUM	2.5" CAL	B&B

HIGH IMPACT BUFFER SCREENING IS  
REQUIRED ON SOUTH AND EAST  
PROPERTY LINE VUA ADJACENT TO  
RESIDENTIAL USE -PROVIDE 3'h MIN.  
OPAQUE FENCE + MEDIUM IMPACT  
LANDSCAPE SCREEN OPTION #3

EAST LOT REQ'D: 212.90'  
LARGE DEC 1/50 =5  
SMALL DEC 1/60 =4  
EVERGREEN 1/15 =15  
TOTAL =24 <-3> CREDIT  
18" DIA & <-4> FOR (1)6  
DIA =17 NEW  
LARGE: 4  
SMALL: 2  
EVERGREEN: 11

213.87'

CURRENT ZONING: R3

SOUTH LOT REQ'D: 213.87'

LARGE DEC 1/50 =5

SMALL DEC 1/60 =4

EVERGREEN 1/15 =15

TOTAL =24 <-6> CREDIT FOR

(2)15"DIA =18 NEW

LARGE: 4

SMALL: 3

EVERGREEN: 11

Project Status: **SITE PLAN REVIEW**

Date: **9.22.25**

Sheet Title: **LANDSCAPE PLAN**

Sheet Number: **L101**