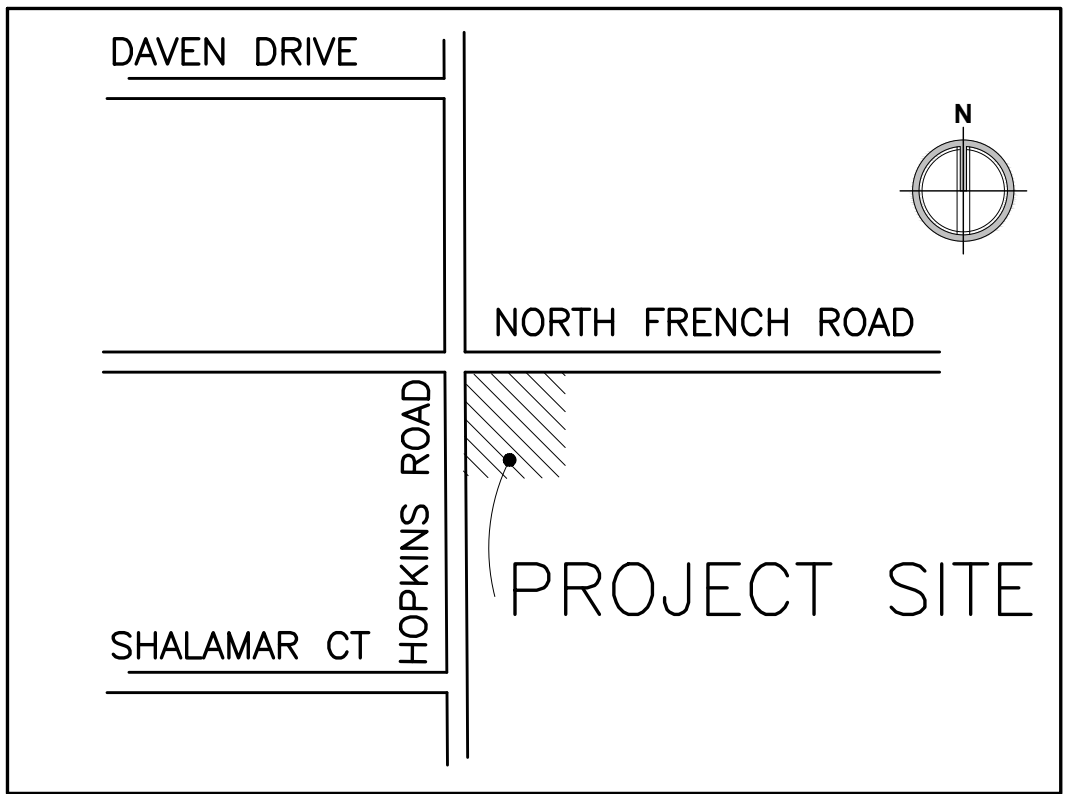


LEGEND:

	DENOTES PROPOSED SPOT ELEVATIONS		DENOTES EXISTING SPOT ELEVATIONS
	DENOTES PROPOSED CATCH BASIN/MANHOLE		DENOTES EXISTING STORM SEWER DROP INLET
	DENOTES PROPOSED CLEANOUT		DENOTES EXISTING STORM SEWER MANHOLE
	DENOTES CONNECTION TO EXISTING UTILITY		DENOTES EXISTING SANITARY SEWER MANHOLE
	DENOTES PROPOSED LIGHT POLE		DENOTES EXISTING HYDRANT
	DENOTES PROPOSED ROOF DRAIN		DENOTES EXISTING LIGHT POLE
	DENOTES NEW CONTOURS		DENOTES EXISTING WATER VALVE
	DENOTES EXISTING CONTOURS		DENOTES EXISTING FENCING
	DENOTES EXISTING UTILITY POLE AND OVERHEAD UTILITIES		



SITE LOCATION MAP

SITE LAYOUT PLAN

1" = 20'

SITE DATA

CURRENT ZONING: R3; CURRENT USE: PLACE OF WORSHIP

TOTAL SITE AREA: +1.04 ACRES (AC)
AREA OF DISTURBANCE (AOD): +0.94 AC (<1.0 AC THUS
NYSDEC SPDES PERMIT NOT REQUIRED)
EXISTING IMPERVIOUS COVER: ~0.35 AC
PROPOSED TOTAL IMPERVIOUS COVER: ~0.55 AC =53%
LOT COVERAGE (NET 0.20AC INCREASE)
NEW ROOF COVER: 6986SF 0.16AC =15% LOT COVERAGE

HIGH IMPACT BUFFER SCREENING IS REQUIRED ON SOUTH
AND EAST PROPERTY LINE VUA ADJACENT TO
RESIDENTIAL USE (3'h FENCE + MEDIUM IMPACT
SCREEN#3)

AVE DAILY SEWER LOADING: 100 PERSONS x 20gpd*
(*CHURCH HALL w/BANQUET) ~ 2000gpd + (4-BED
RESIDENCE x 110GPD/BED) =2440gpd <2500 GPD
THUS DOWNSTREAM SEWER CAPACITY ANALYSIS NOT
REQUIRED

PARKING DATA

SPACES REQUIRED: HOUSE OF WORSHIP 1 SPA/3 SEATS IN
SANCTUARY x 96 = 32

SPACES PROVIDED: 34
REGULAR: 32
HANDICAP: 2

NOTES:

- EC = END OF CURB; EF = END FENCE
- EOP = EDGE OF PAVEMENT
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- POWER, GAS AND UTILITIES ARE SHOWN FOR INFORMATION ONLY, AND ARE NOT DESIGNED BY TREDO ENGINEERS.
- THE BUILDING SHALL CONTAIN A SPRINKLER FIRE- PROTECTION AND ALARM SYSTEM. A KNOX BOX KEY HOLDER SHALL BE PROVIDED AT THE BUILDING MAIN ENTRY DOOR. BUILDING SHALL CONTAIN FIRE DEPT. TRUSS ROOF WARNING IDENTIFICATION DECALS. REFER TO ARCHITECTURAL DWGS.
- FIRE-PROTECTION DWGS. SHALL PROVIDE FOR FIRE DEPT. SPRINKLER CONNECTION SIZE AND STYLE COORDINATED WITH DISTRICT FIRE CHIEF.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE TOWN OF AMHERST BUILDING DEPT. AND ERIE COUNTY DPW FOR WORK IN THE RIGHT-OF-WAY. CONTRACTOR SHALL MAKE AND RECEIVE HWY WORK PERMIT APPLICATION APPROVALS PRIOR TO CONSTRUCTION.



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Client: NANAKSAR TATH
ISHER DARBAR

Project: GURDWARA
BUILDING

Project Address: 2345 NORTH FRENCH ROAD
EAST AMHERST, NEW YORK 14051

Drawing History:	#	Date	Description
1	11.06.25	TOWN COMMENTS	
2	1.16.26	ADD SIDEWALKS	

Project Status: SITE PLAN REVIEW

Date: 9.22.25
Project Number: 25033.00 (T.E. Job #25-54)
Sheet Title: SITE LAYOUT PLAN

Sheet Number: SP101



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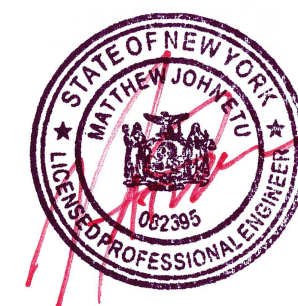
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Client: NANAKSAR TATH
ISHER DARBAR

Project: GURDWARA
BUILDING

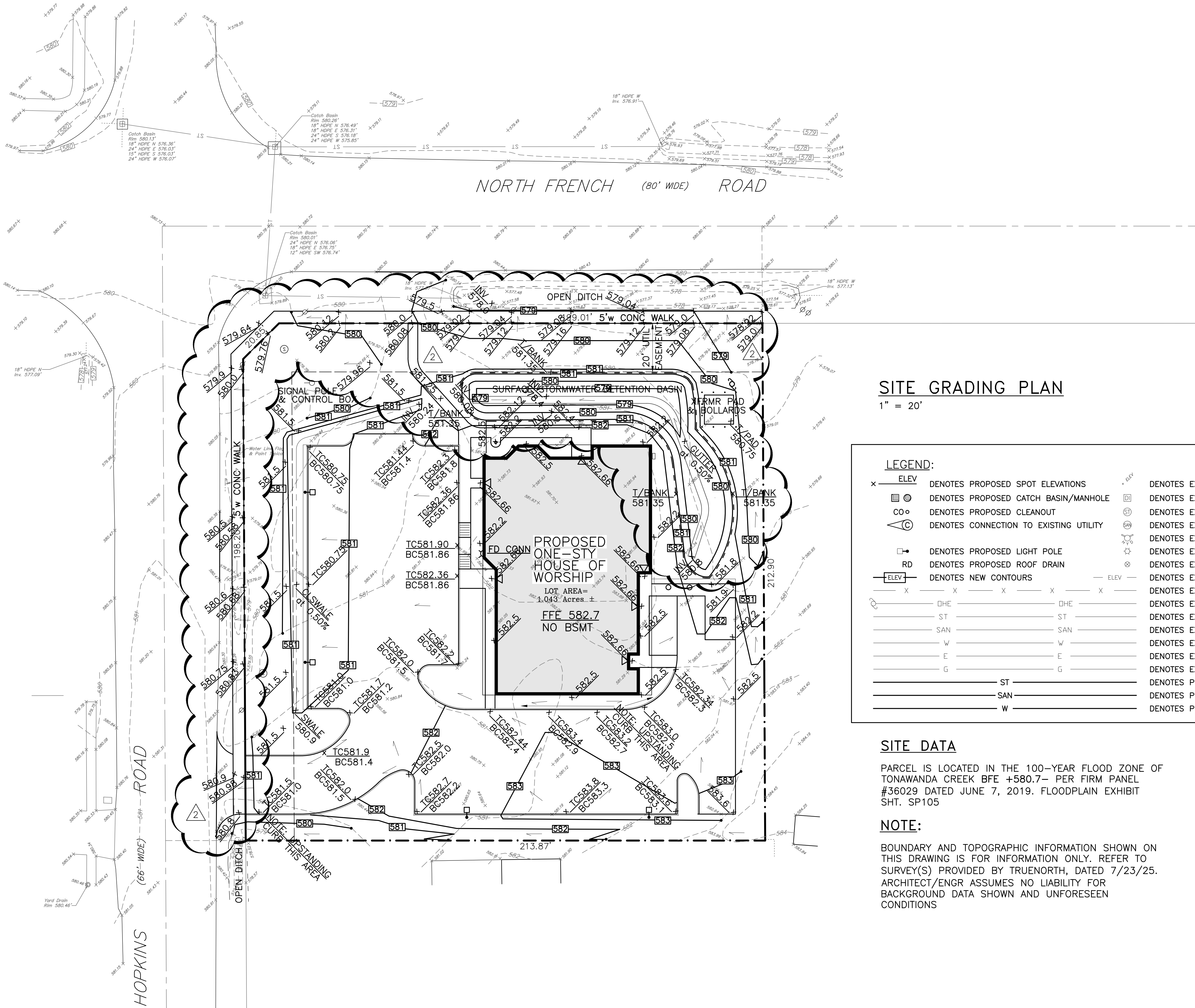
Project Address: 2345 NORTH FRENCH ROAD
EAST AMHERST, NEW YORK 14051

Drawing History: # Date Description
1 1.16.26 REVISED

Project Status: SITE PLAN REVIEW

Date: 9.22.25
Project Number: 25033.00 (T.E. Job #25-54)
Sheet Title: SITE GRADING
PLAN

Sheet Number: SP102



SITE GRADING PLAN

1" = 20'

LEGEND:

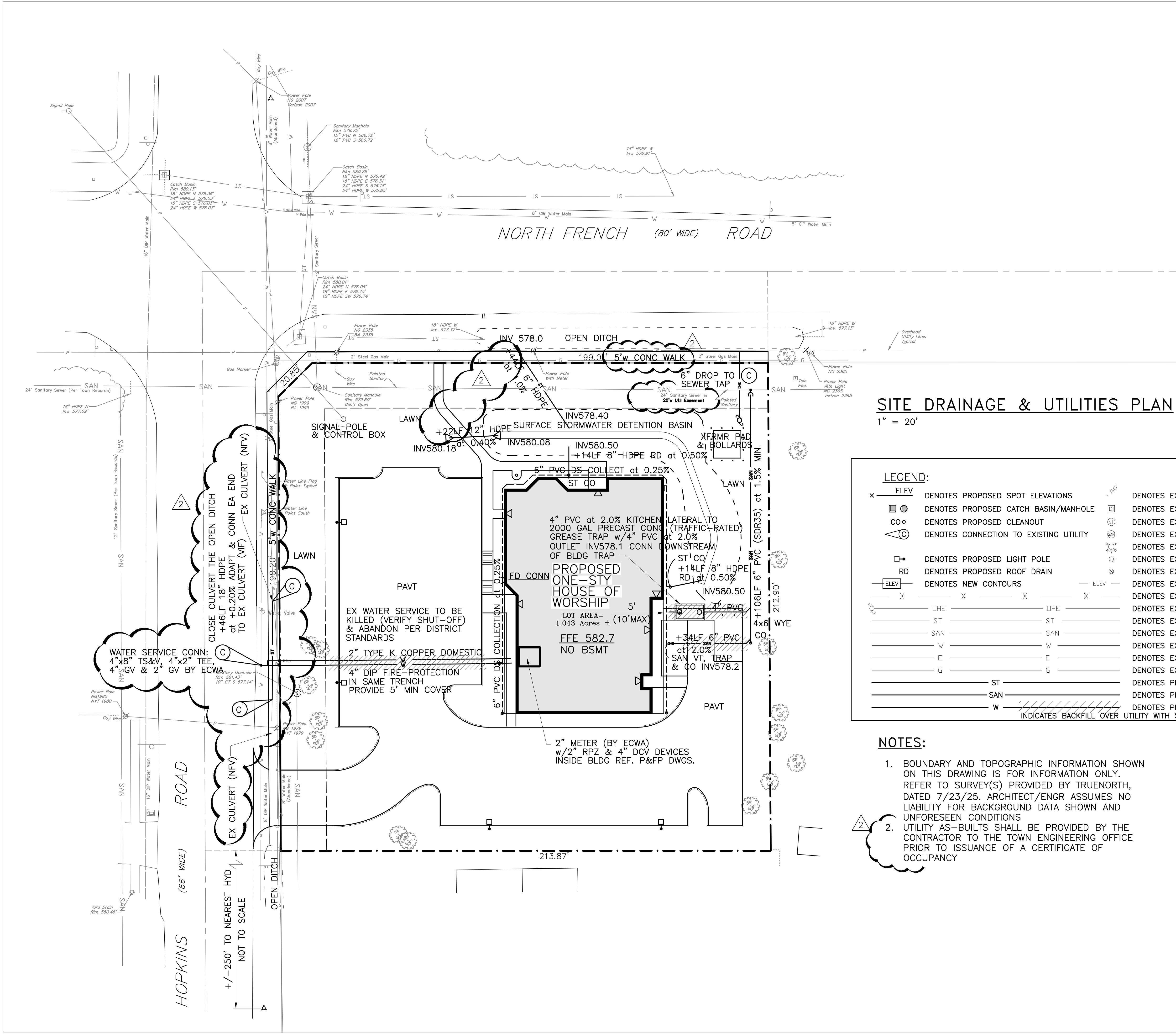
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		DENOTES PROPOSED CATCH BASIN/MANHOLE			DENOTES EXISTING STORM SEWER DROP INLET
	CO	DENOTES PROPOSED CLEANOUT			DENOTES EXISTING STORM SEWER MANHOLE
		DENOTES CONNECTION TO EXISTING UTILITY			DENOTES EXISTING SANITARY SEWER MANHOLE
		DENOTES PROPOSED LIGHT POLE			DENOTES EXISTING HYDRANT
	RD	DENOTES PROPOSED ROOF DRAIN			DENOTES EXISTING LIGHT POLE
	ELEV	DENOTES NEW CONTOURS			DENOTES EXISTING WATER VALVE
					DENOTES EXISTING CHAIN LINK FENCE
					DENOTES EXISTING STORM SEWER LINE
					DENOTES EXISTING SANITARY SEWER LINE
					DENOTES EXISTING WATER LINE
					DENOTES EXISTING ELECTRIC LINE
					DENOTES EXISTING GAS LINE
					DENOTES PROPOSED STORM SEWER LINE
					DENOTES PROPOSED SANITARY SEWER LINE
					DENOTES PROPOSED WATER LINE

SITE DATA

PARCEL IS LOCATED IN THE 100-YEAR FLOOD ZONE OF
TONAWANDA CREEK BFE +580.7- PER FIRM PANEL
#36029 DATED JUNE 7, 2019. FLOODPLAIN EXHIBIT
SHT. SP105

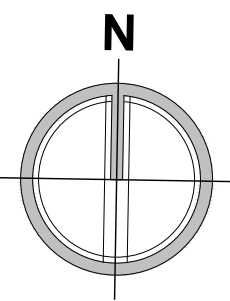
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CONDITIONS



SITE DRAINAGE & UTILITIES PLAN

1" = 20'



LEGEND:

	ELEV	DENOTES PROPOSED SPOT ELEVATIONS		ELEV	DENOTES EXISTING SPOT ELEVATIONS
		DENOTES PROPOSED CATCH BASIN/MANHOLE			DENOTES EXISTING STORM SEWER DROP INLET
	CO	DENOTES PROPOSED CLEANOUT			DENOTES EXISTING STORM SEWER MANHOLE
		DENOTES CONNECTION TO EXISTING UTILITY			DENOTES EXISTING SANITARY SEWER MANHOLE
		DENOTES PROPOSED LIGHT POLE			DENOTES EXISTING HYDRANT
	RD	DENOTES PROPOSED ROOF DRAIN			DENOTES EXISTING LIGHT POLE
	ELEV	DENOTES NEW CONTOURS			DENOTES EXISTING WATER VALVE
	ELEV	DENOTES EXISTING CONTOURS			DENOTES EXISTING CHAIN LINK FENCE
		DENOTES EXISTING CHAIN LINK FENCE			DENOTES EXISTING UTILITY POLE AND OVERHEAD UTILITIES
		DENOTES EXISTING UTILITY POLE AND OVERHEAD UTILITIES			DENOTES EXISTING STORM SEWER LINE
		DENOTES EXISTING STORM SEWER LINE			DENOTES EXISTING SANITARY SEWER LINE
		DENOTES EXISTING SANITARY SEWER LINE			DENOTES EXISTING WATER LINE
		DENOTES EXISTING WATER LINE			DENOTES EXISTING ELECTRIC LINE
		DENOTES EXISTING ELECTRIC LINE			DENOTES EXISTING GAS LINE
		DENOTES EXISTING GAS LINE			DENOTES PROPOSED STORM SEWER LINE
		DENOTES PROPOSED STORM SEWER LINE			DENOTES PROPOSED SANITARY SEWER LINE
		DENOTES PROPOSED SANITARY SEWER LINE			DENOTES PROPOSED WATER LINE
		DENOTES PROPOSED WATER LINE			INDICATES BACKFILL OVER UTILITY WITH SELECT FILL (TYP)

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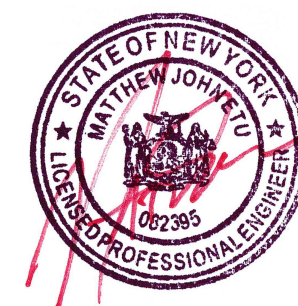
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Project: GURDWARA
BUILDING

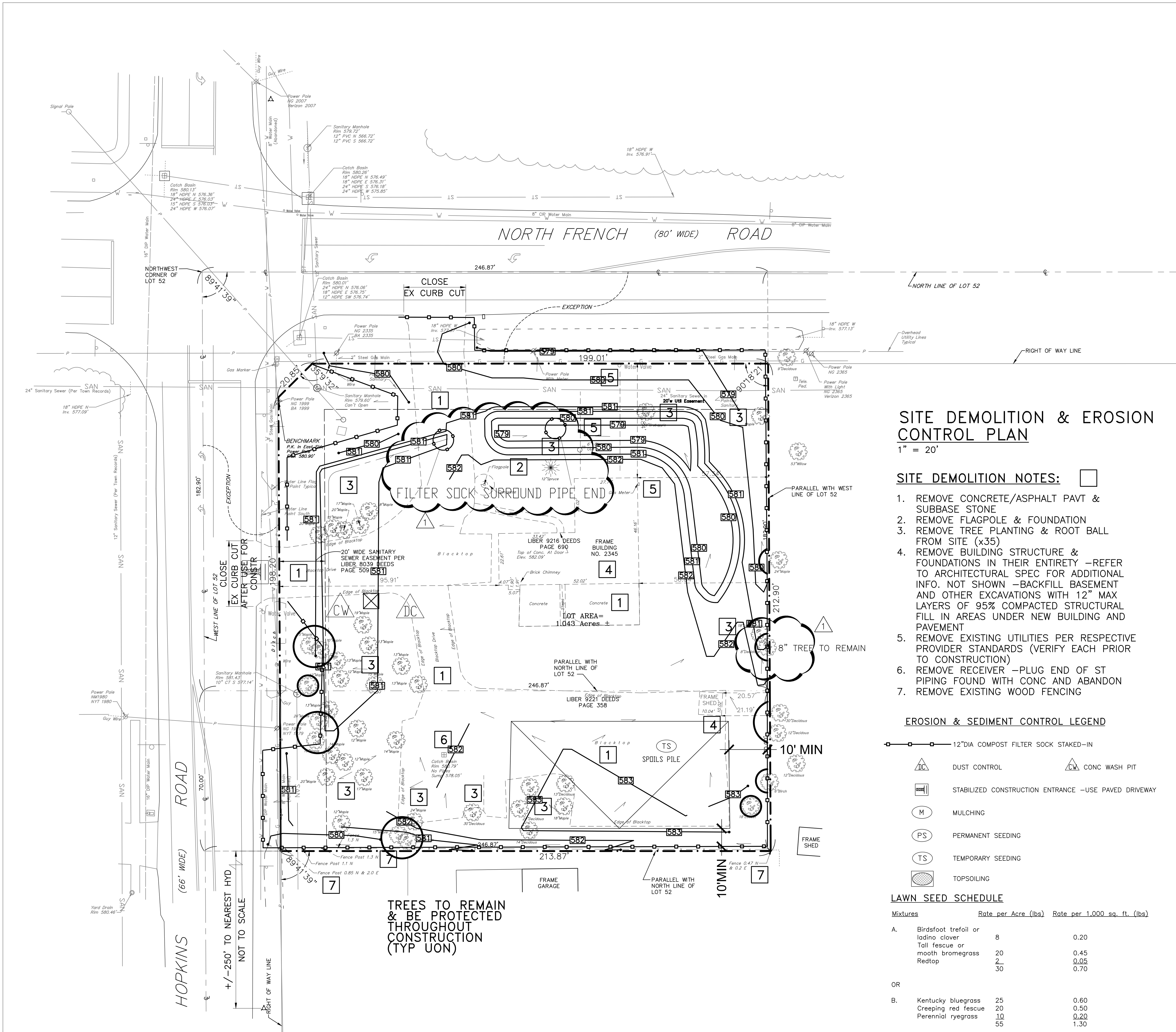
Project Address: 2345 NORTH FRENCH ROAD
EAST AMHERST, NEW YORK 14051

Drawing History: # Date Description
1 11.06.25 TOWN COMMENTS
2 1.16.26 REVISED

Project Status: **SITE PLAN REVIEW**

Date: **9.22.25**
Project Number: 25033.00 (T.E. Job #25-54)
Sheet Title: **SITE DRAINAGE &
UTILITIES PLAN**

Sheet Number: **SP103**



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Project: GURDWARA
BUILDING

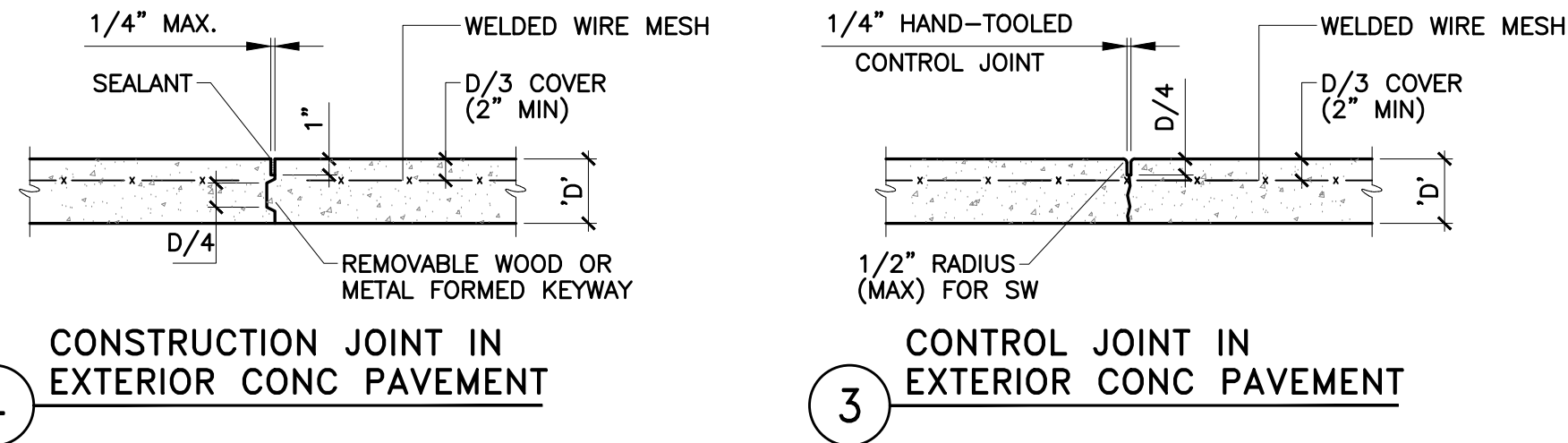
Project Address: 2345 NORTH FRENCH ROAD
EAST AMHERST, NEW YORK 14051

Drawing History: # Date Description
1 1.16.26 REVISED

Project Status: SITE PLAN REVIEW

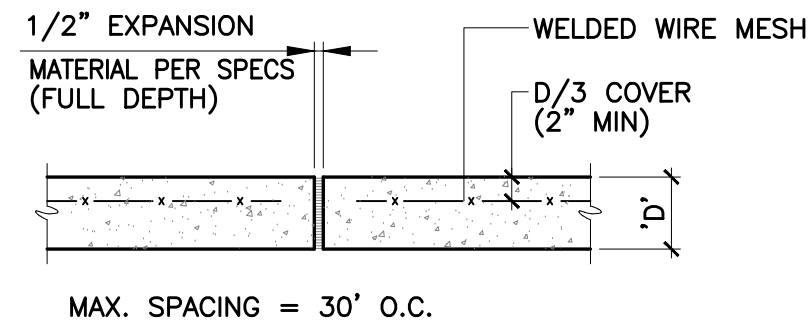
Date: 9.22.25
Project Number: 25033.00 (T.E. Job #25-54)
Sheet Title: SITE DEMOLITION &
EROSION CONTROL
PLAN

Sheet Number: SP104

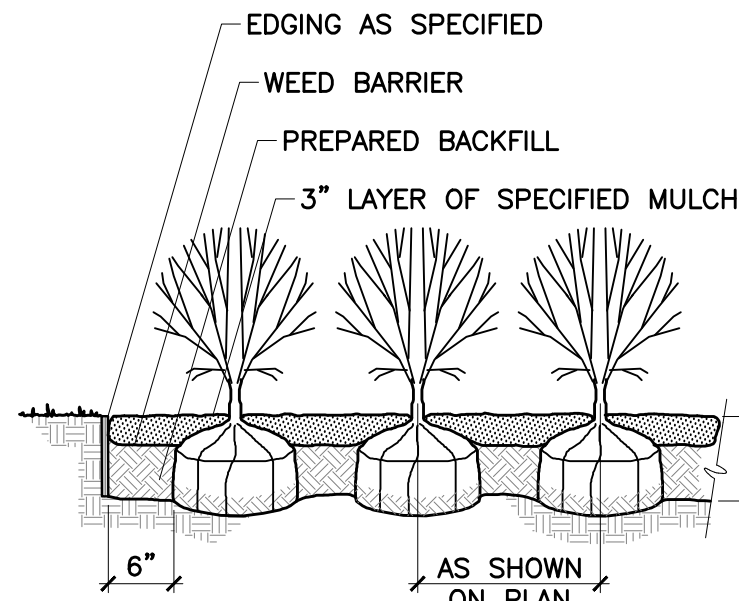


4 CONSTRUCTION JOINT IN EXTERIOR CONC PAVEMENT

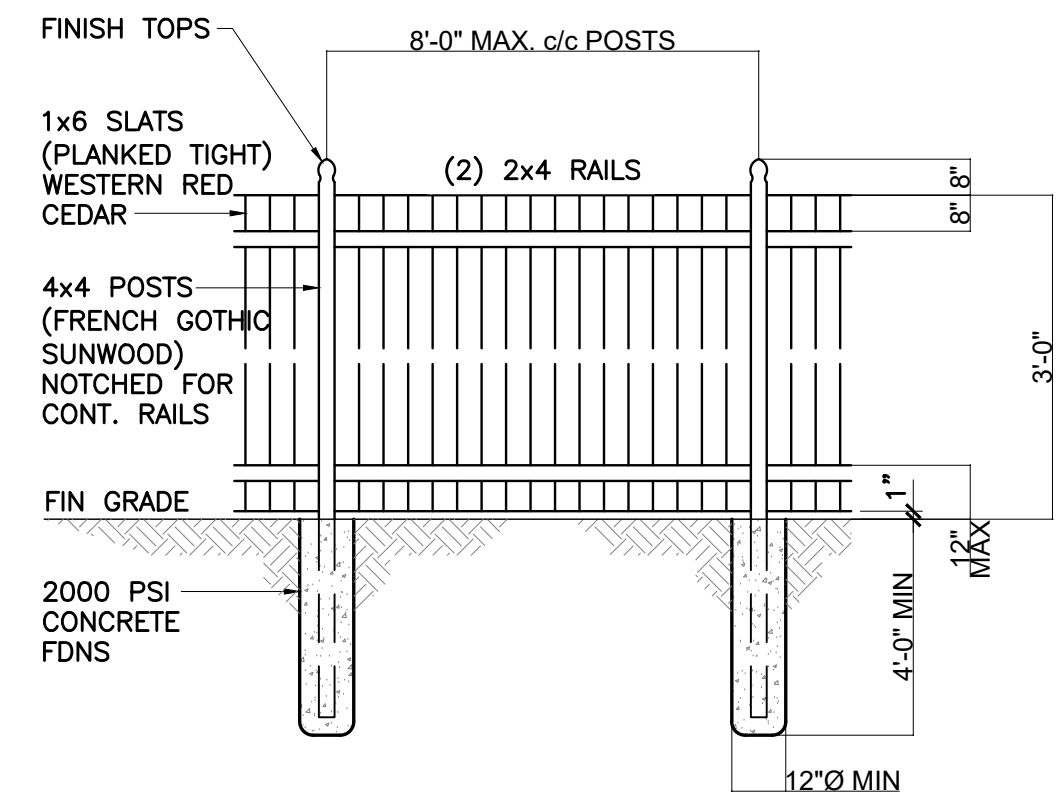
3 CONTROL JOINT IN EXTERIOR CONC PAVEMENT



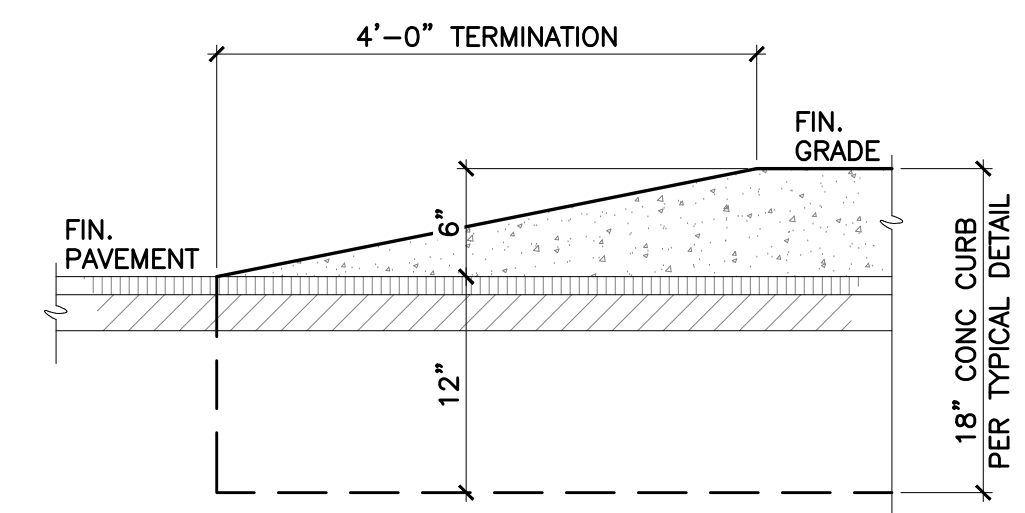
5 EXPANSION JOINT IN EXTERIOR CONC PAVEMENT



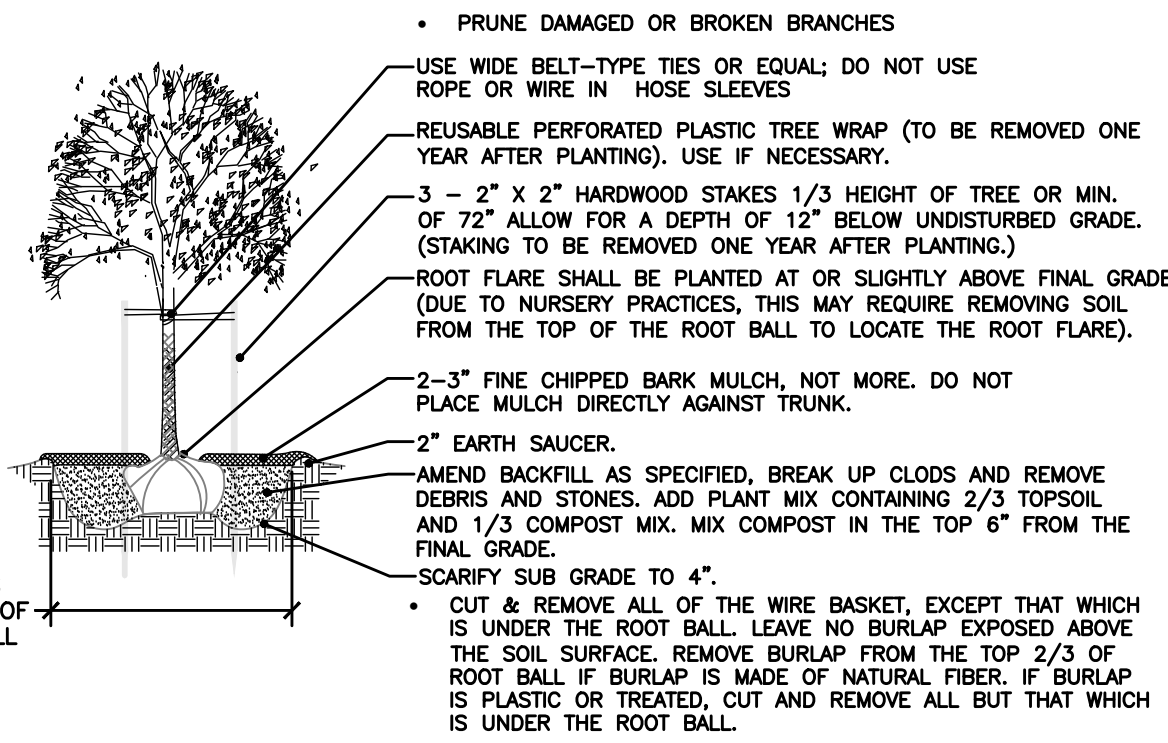
11 SHRUB PLANTING DETAIL



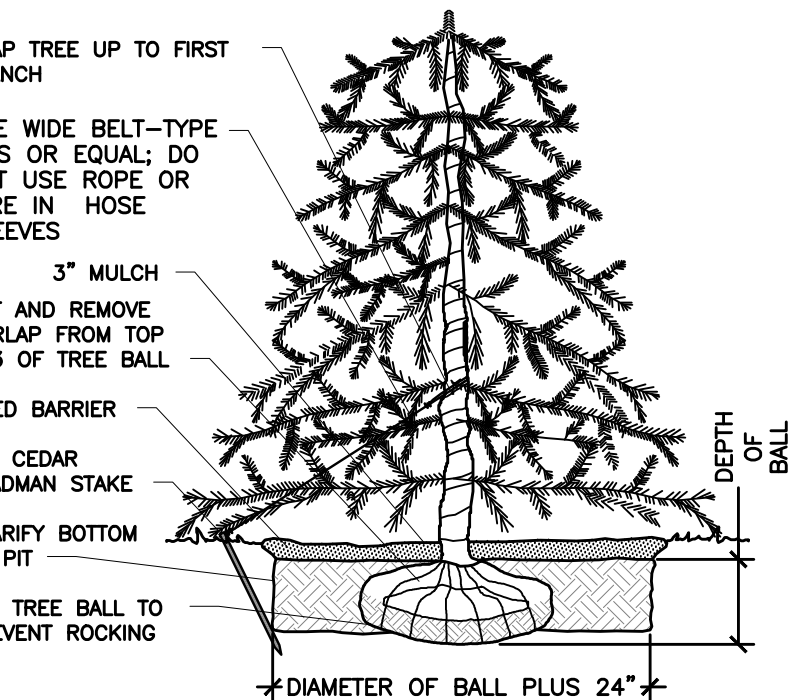
12 3'h WOOD STOCKADE FENCE



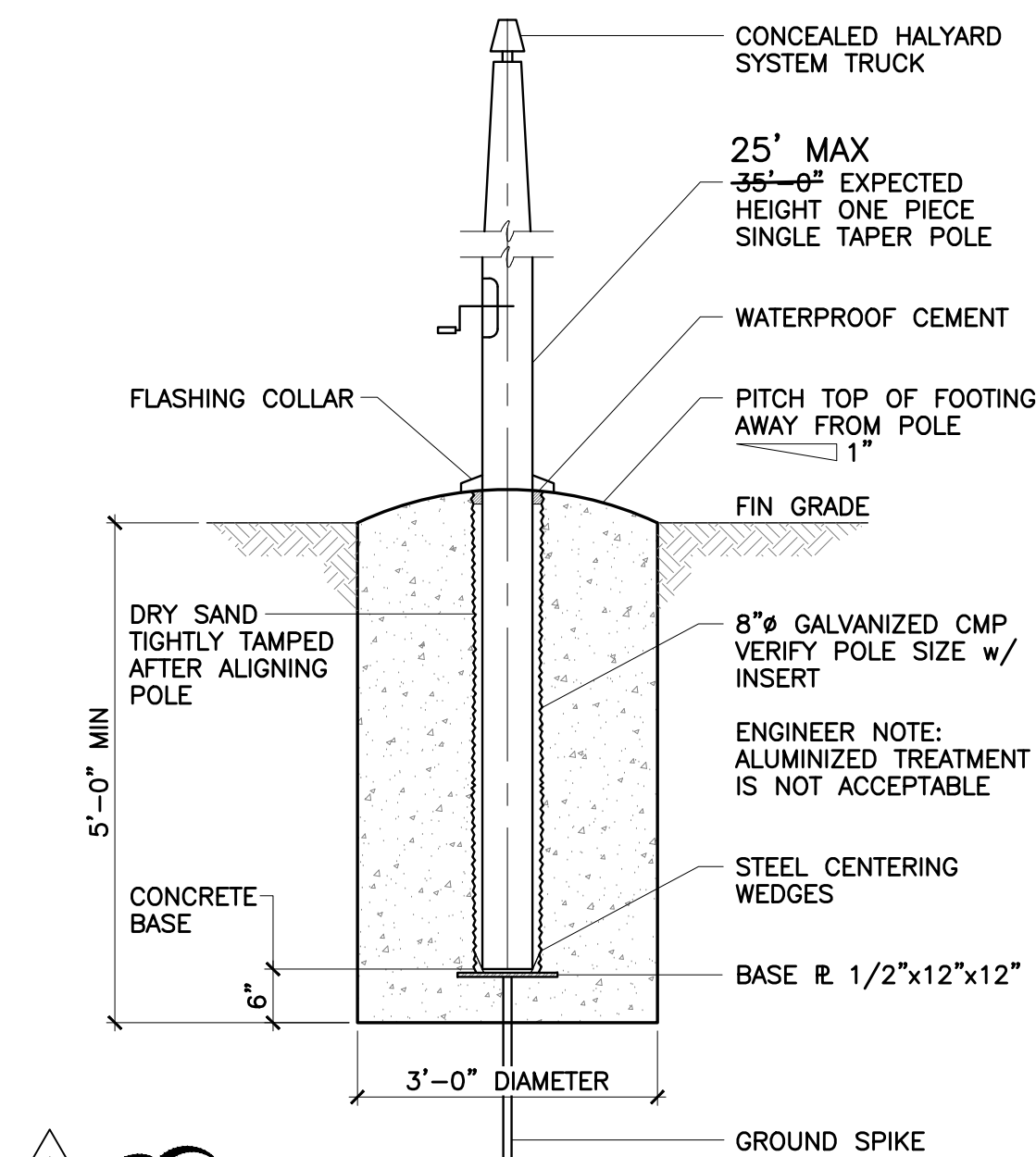
16 CURB TERMINATION DETAIL



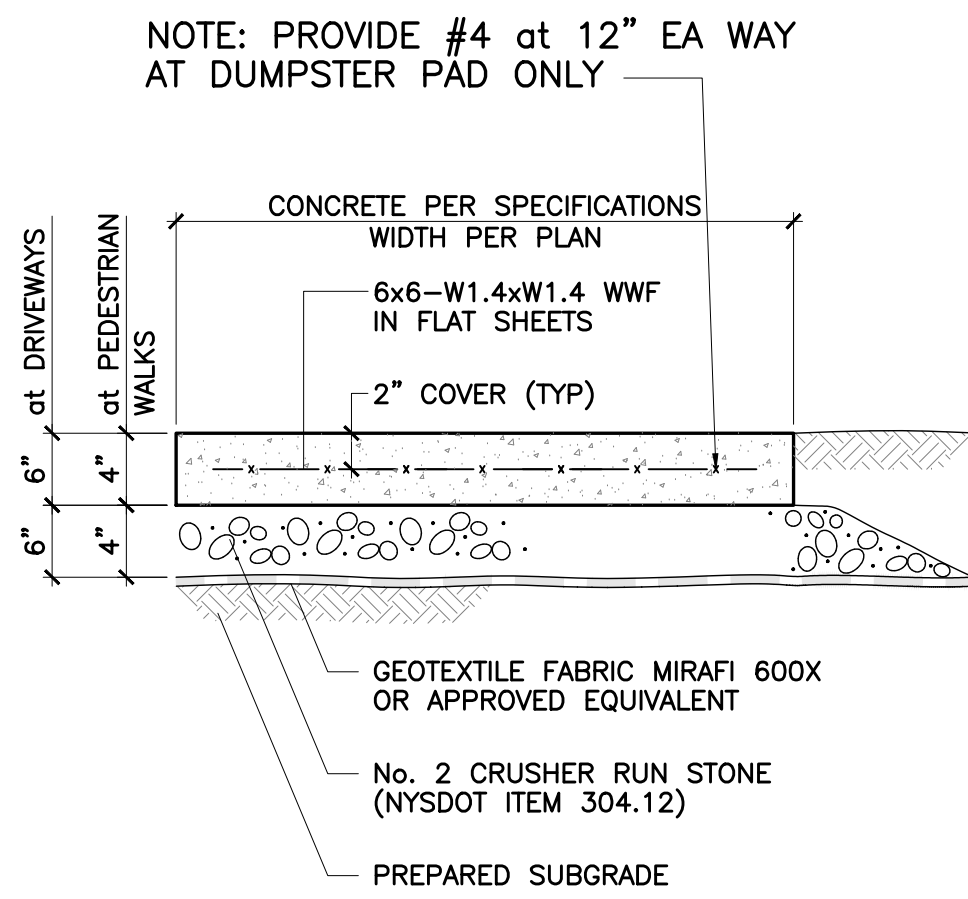
9 DECIDUOUS TREE PLANTING DETAIL



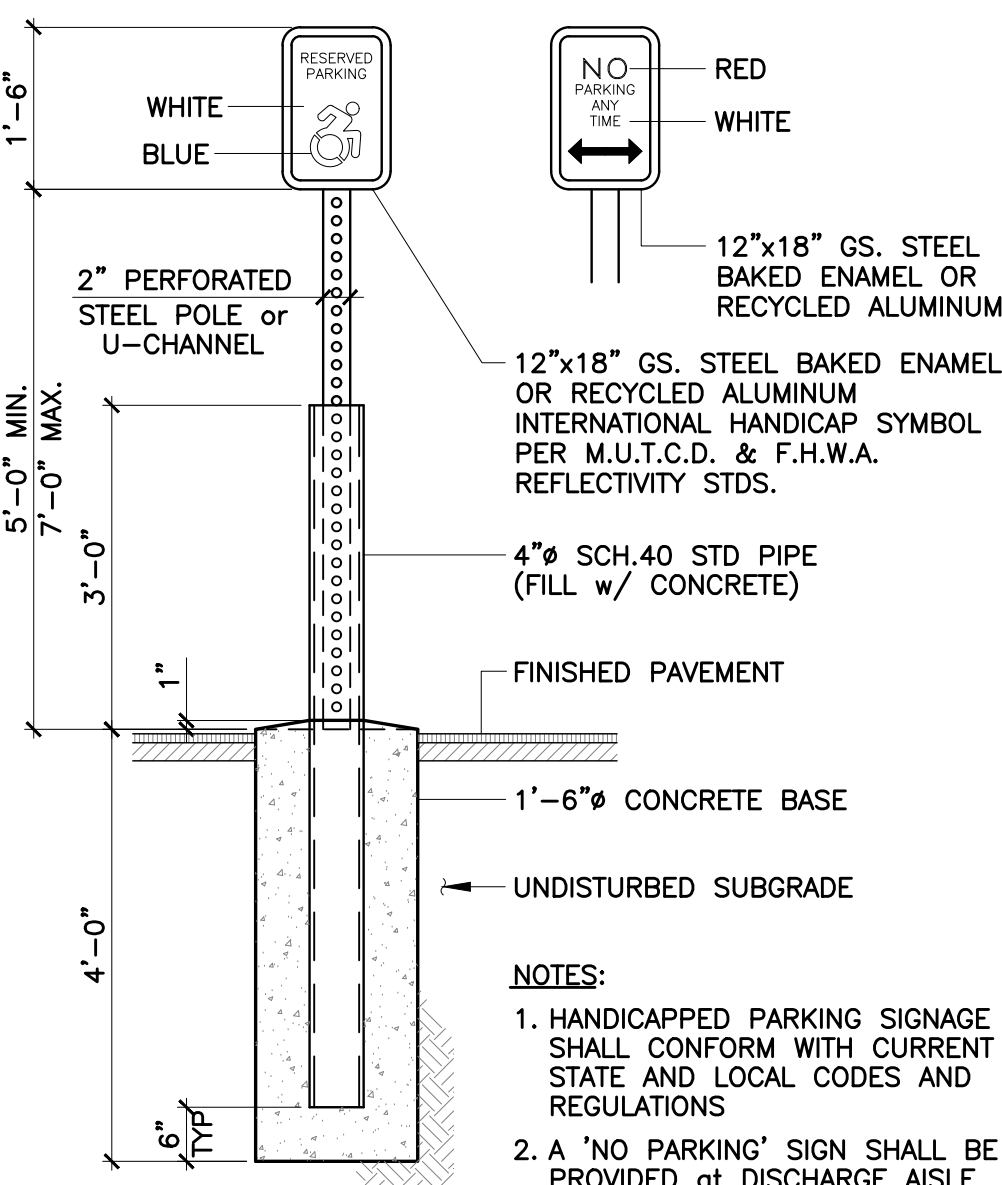
10 EVERGREEN TREE PLANTING DETAIL



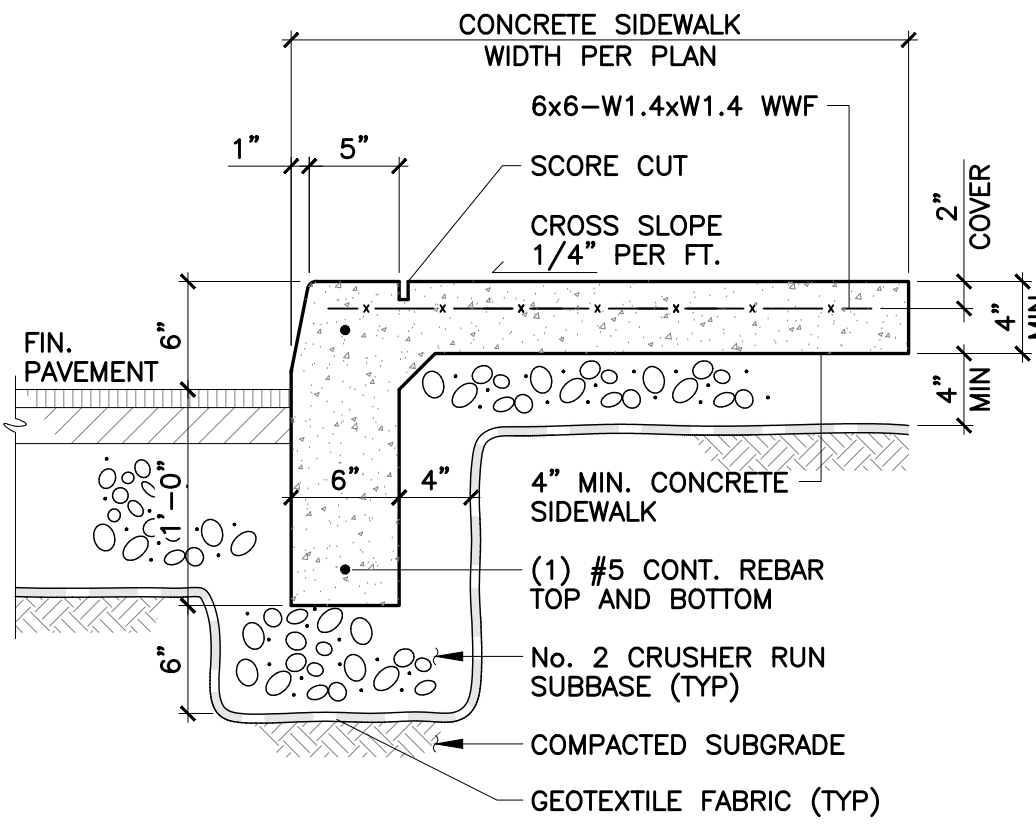
19 FLAGPOLE BASE



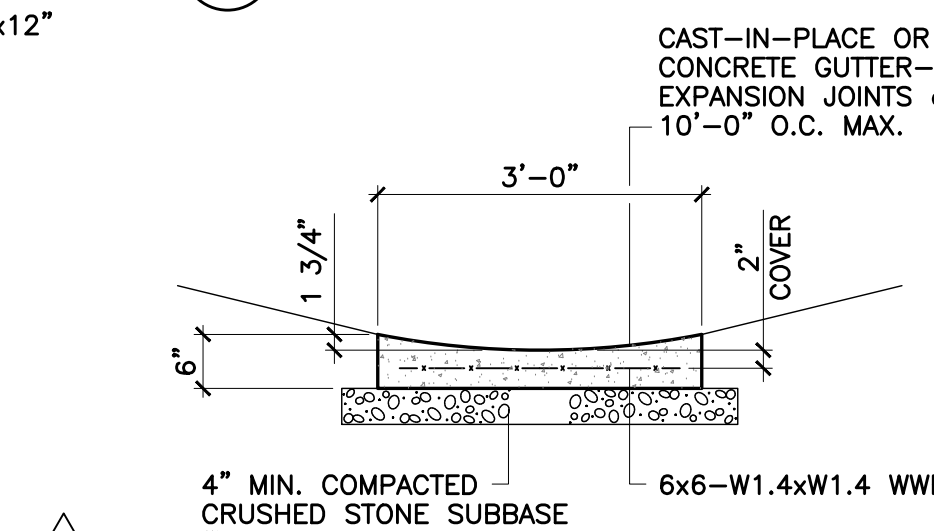
2 TYPICAL CONCRETE SIDEWALK



8 HANDICAPPED PARKING SIGNAGE

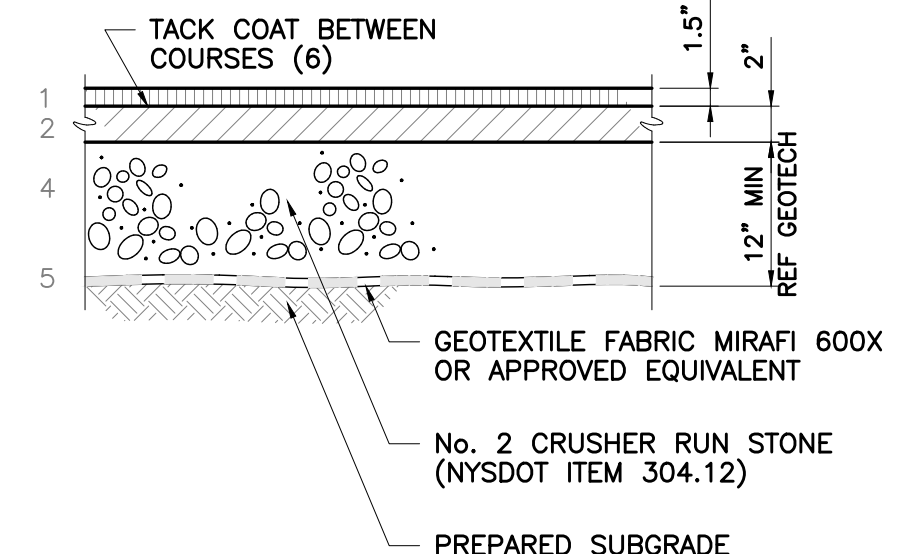


14 CONCRETE SIDEWALK WITH INTEGRAL CURB

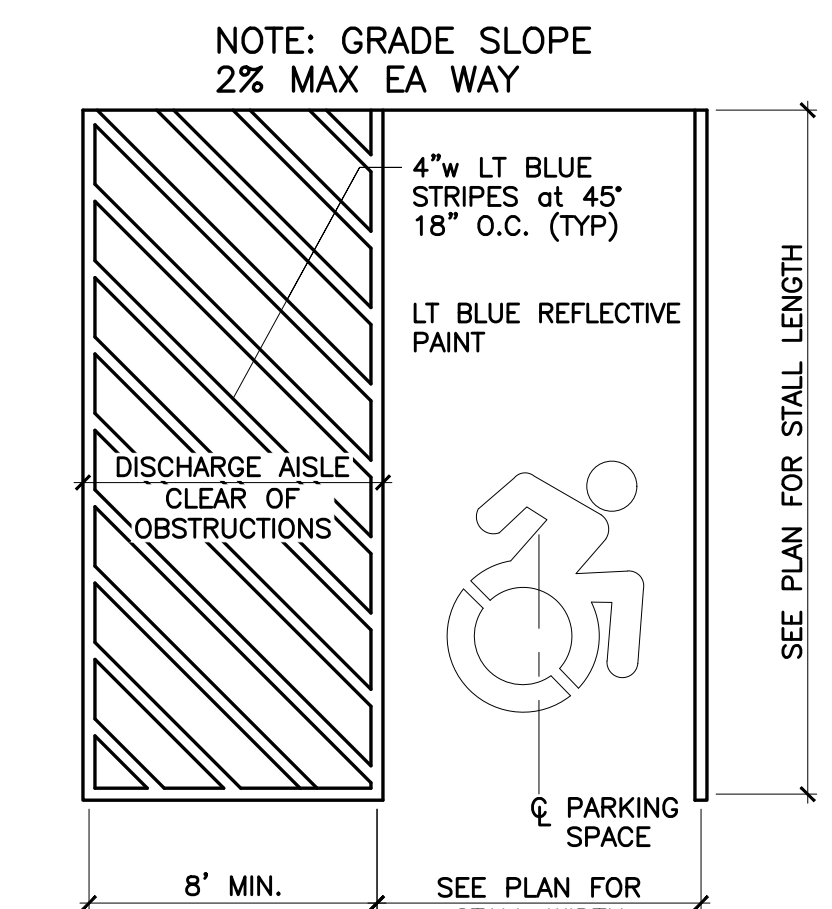


18 CONCRETE GUTTER

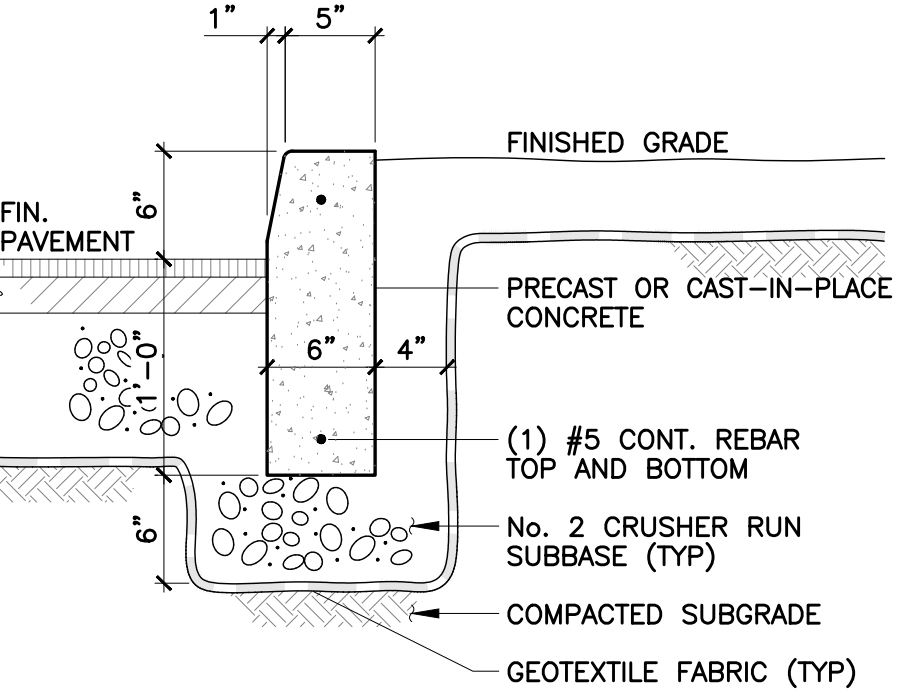
ITEM	DESCRIPTION	NYSDDT REF.	DEPTH
1	TOP COURSE	402.099803-9.5 F2-80	1-1/2'
2	BINDER COURSE	402.198203-19 F9-80	2'
3	NOT USED		
4	SUBBASE COURSE	304.12000	12"
5	GEOTEXTILE FABRIC (NONW/VEIN/HEAT BONDED)		
6	TACK COAT ITEM	407.01020	



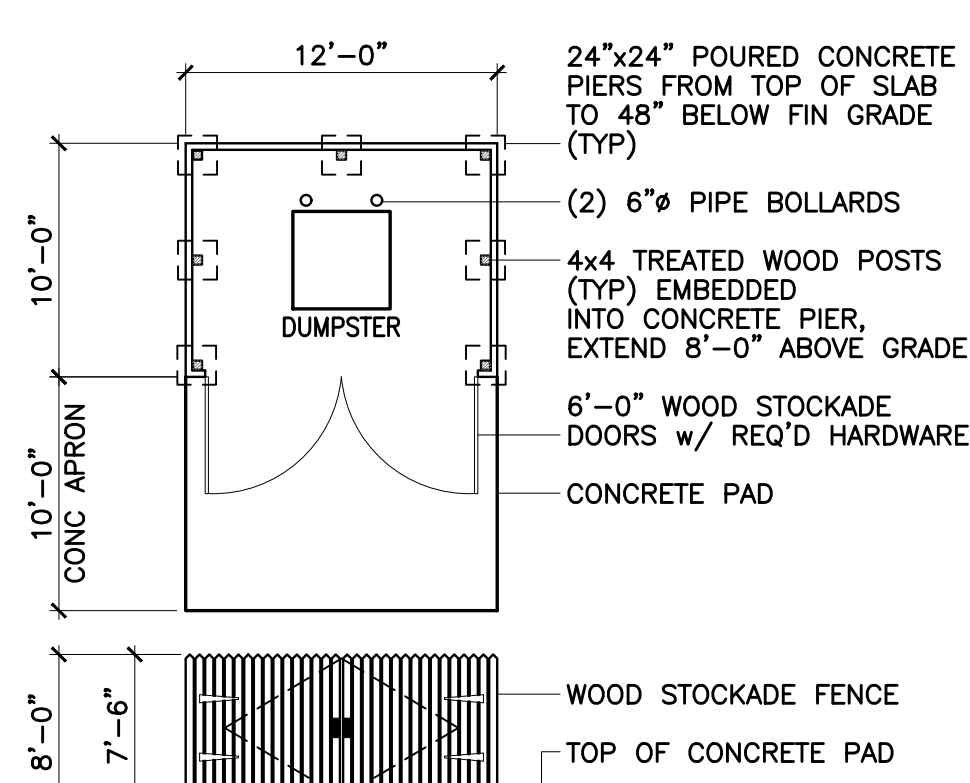
1 TYPICAL TYPE I BITUMINOUS PAVEMENT SECTION



7 HANDICAP SYMBOL DETAIL



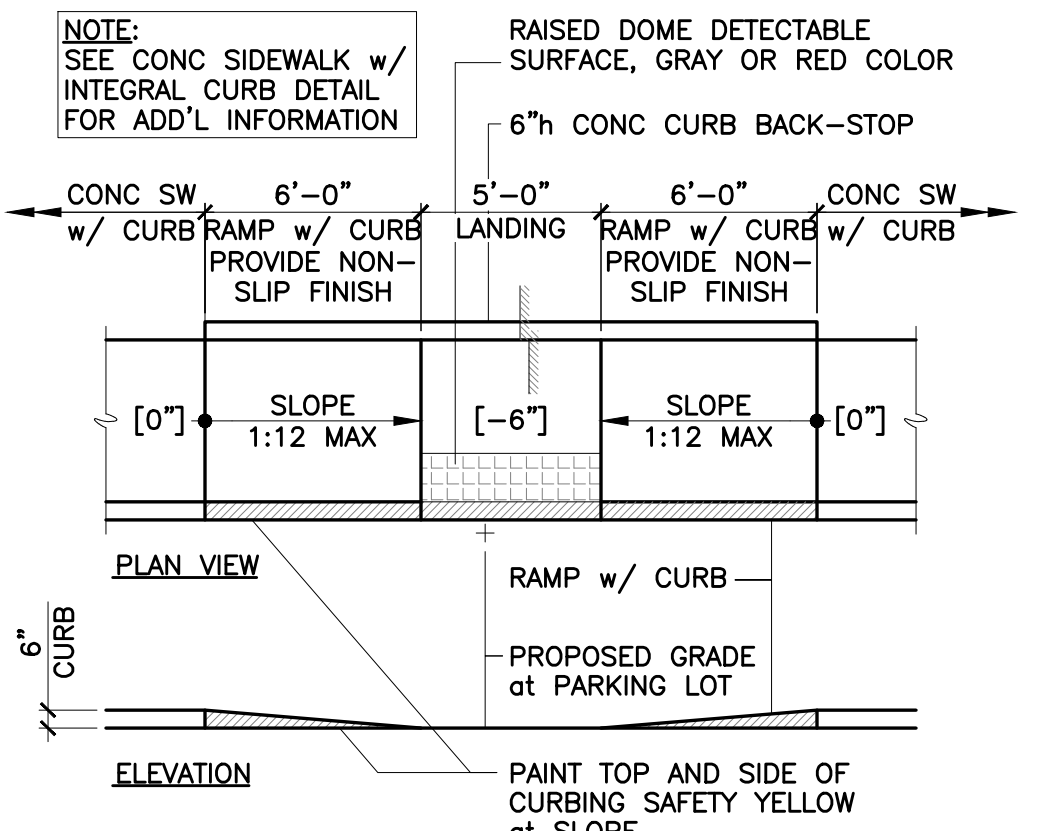
13 TYPICAL CONCRETE CURB



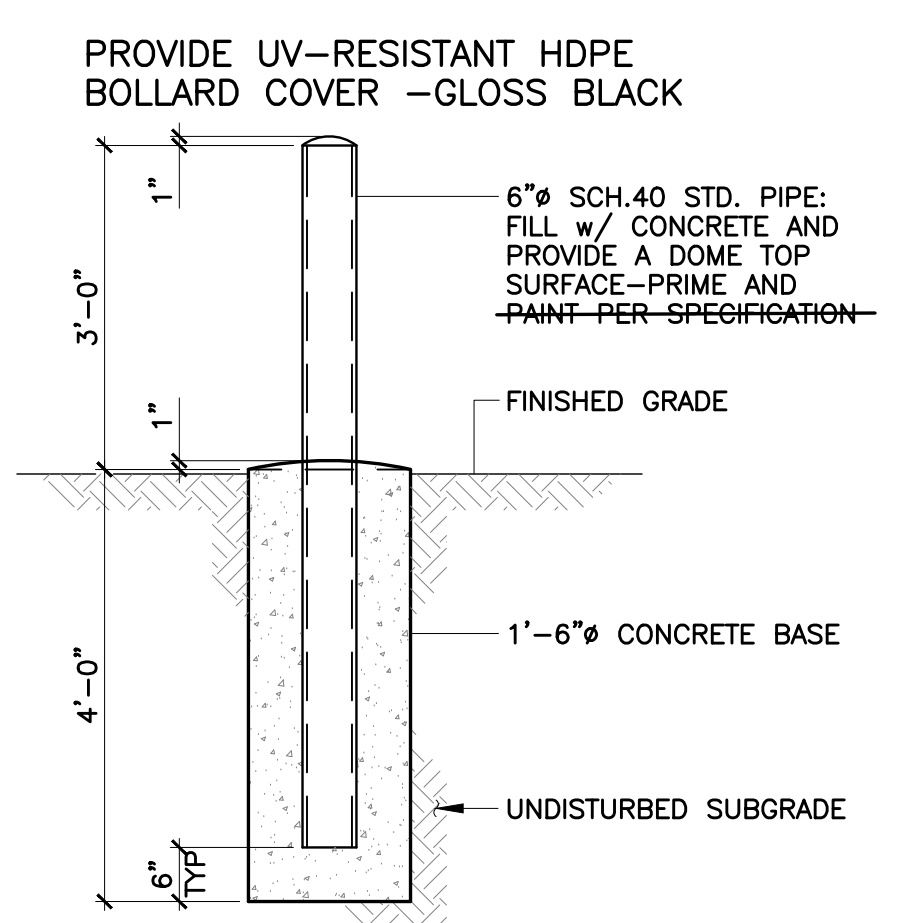
17 DUMPSTER ENCLOSURE WITH CONCRETE PAD

GENERAL SITE NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE TOWN OF AMHERST, ERIE COUNTY DPW, EDWA, AND NEW YORK STATE DEPT. OF TRANSPORTATION SPECS.
- INSTALL ALL MATERIALS TO THE MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF THE TRADE INVOLVED.
- SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER APPROVAL AND SHALL BE EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
- WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
- VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER OF ANY DISCREPANCIES IN CONDITIONS SHOWN ON THE DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTORS SHALL BE RESPONSIBLE FOR THE PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
- CONTRACTOR SHALL KEEP THE JOB SITE FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK DOES NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS NECESSARY TO PERFORM THE WORK.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL INSTALL SILT FENCES TO CONTROL EROSION FROM THE SITE.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND M.E.P. PLANS FOR UTILITY CONNECTIONS.
- ALL UTILITY TRENCHES UNDER PAVEMENT, CURBS, SIDEWALKS, AND DRIVEWAYS SHALL BE FULLY BACKFILLED WITH No. 2 CRUSHER RUN STONE AND PROPERLY COMPACTED TO AVOID SETTLEMENT.
- CONTRACTOR SHALL REPLACE IN KIND ANY EXISTING IMPROVEMENTS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, ROADWAYS, PAVEMENTS, CURBING, PLANTINGS, LAWN AND EXISTING UTILITIES.



6 HANDICAP ACCESS RAMP



15 STEEL PIPE BOLLARD

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Project: GURDWARA BUILDING

Project Address: 2345 NORTH FRENCH ROAD
EAST AMHERST, NEW YORK 14051

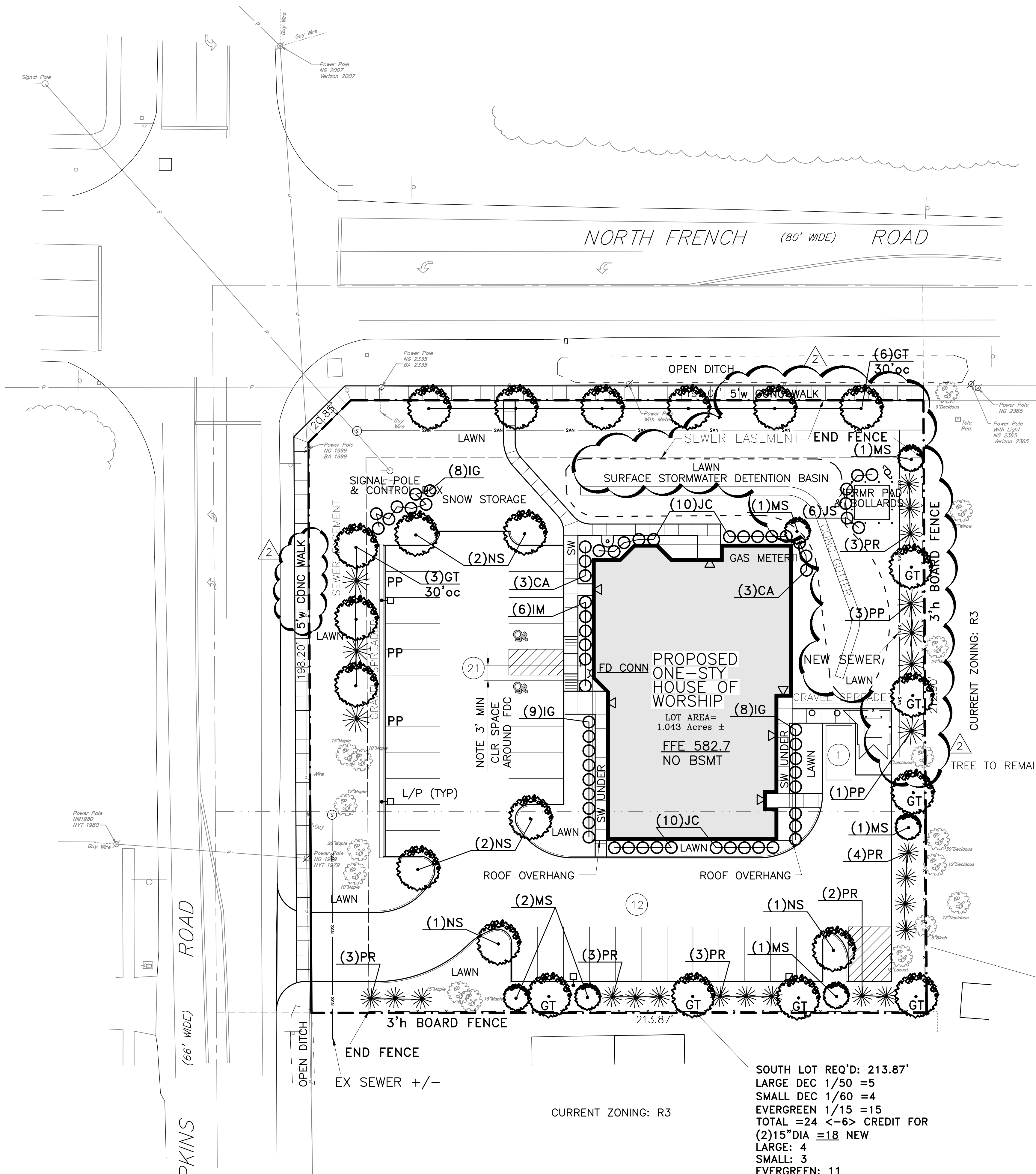
Drawing History: # Date Description
1 1.16.26 REVISED

Project Status: **SITE PLAN REVIEW**

Date: **9.22.25**
Project Number: 25033.00 (T.E. Job #25-54)
Sheet Title: **SITEWORK DETAILS**

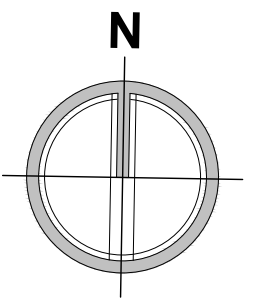
Sheet Number: **SP201**





- LANDSCAPE NOTES:**
1. CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING TREES AND PLANTINGS INDICATED TO REMAIN FROM ALL TYPES OF ROOT, TRUNK AND LIMB DAMAGE DURING DEMOLITION AND CONSTRUCTION; INCLUDING BUT NOT LIMITED TO RETAINING WALLS WHICH PREVENT FILLING ON TOP OF ROOTS OR EXCAVATING ROOTS AS REQUIRED BY TOWN CODE.
 2. EXISTING PLANTED AREAS SHALL REMAIN UNLESS OTHERWISE NOTED.
 3. ALL DISTURBED AREAS SHALL RECEIVE 4" MIN. TOPSOIL AND GRASS SEED UNLESS OTHERWISE NOTED.
 4. TREE AND SHRUB BEDS SHALL BE COVERED WITH 3" OF HARDWOOD MULCH.
 5. ALL ROOTS AND STONES OVER 1 1/2" SHALL BE REMOVED PRIOR TO HYDROSEEDING.
 6. ALL STREET AND ISLAND TREES SHALL HAVE FIRST BRANCHING at 6-FOOT MIN.
 7. IF A CONFLICT EXISTS BETWEEN THE PLAN AND PLANTING SCHEDULE, THE PLAN SHALL GOVERN.
 8. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING IS FOR INFORMATION ONLY. REFER TO SURVEY(S) PROVIDED BY THE OWNER.
 9. REFER TO ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS & FEATURES.
 10. REFER TO GRADING AND UTILITY PLAN(S) FOR ADDITIONAL INFORMATION NOT SHOWN HEREIN.

LANDSCAPE PLAN
1" = 20'



PLANTING SCHEDULE					
MARK	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
PP	7	PICEA PUNGENS	COLORADO BLUE SPRUCE	5'h MIN	B&B
PR	18	PINUS RESINOSA	RED PINE	5'h MIN	B&B
IM	6	ILEX MESERVAE	BLUE HOLLY	24" MIN	CONT.
IG	25	ILEX GLABRA	SHAMROCK INKBERRY	24" MIN	CONT.
JC	20	JUNIPERUS CHINENSIS GOLD COAST	GOLD COAST JUNIPER	24" MIN	B&B
JS	6	JUNIPERUS SCOPULORUM	SKYROCKET JUNIPER	4'h MIN	B&B
CA	6	CORNUS ALBA ELEGANTISSIMA	VARIEGATED LEAF DOGWOOD	36"-48"	B&B
MS	6	MALUS SPRING SNOW	SPRING SNOW CRABAPPLE	2.0" CAL	B&B
GT	16	GLEDITSIA TRIACANTHOS INERMIS 'SUNCOLE'	SUNBURST LOCUST	2.5" CAL	B&B
NS	6	NYSSA SYLVATICA	SWEET GUM	2.5" CAL	B&B

HIGH IMPACT BUFFER SCREENING IS REQUIRED ON SOUTH AND EAST PROPERTY LINE VUA ADJACENT TO RESIDENTIAL USE -PROVIDE 3'h MIN. OPAQUE FENCE + MEDIUM IMPACT LANDSCAPE SCREEN OPTION #3

EAST LOT REQ'D: 212.90'
LARGE DEC 1/50 =5
SMALL DEC 1/60 =4
EVERGREEN 1/15 =15
TOTAL =24 <-3> CREDIT FOR (1) 18"DIA & <-4> FOR (1)6" & (1) 8" DIA =17 NEW
LARGE: 4
SMALL: 2
EVERGREEN: 11

SOUTH LOT REQ'D: 213.87'
LARGE DEC 1/50 =5
SMALL DEC 1/60 =4
EVERGREEN 1/15 =15
TOTAL =24 <-6> CREDIT FOR (2)15"DIA =18 NEW
LARGE: 4
SMALL: 3
EVERGREEN: 11



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Client: NANAKSAR TATH
ISHER DARBAR

Project: GURDWARA
BUILDING

Project Address: 2345 NORTH FRENCH ROAD
EAST AMHERST, NEW YORK 14051

Drawing History: # Date Description
1 11.06.25 TOWN COMMENTS
2 1.16.26 REVISED

Project Status: SITE PLAN REVIEW

Date: 9.22.25
Project Number: 25033.00 (T.E. Job #25-54)
Sheet Title: LANDSCAPE PLAN

Sheet Number: L101