

PROPOSED SITE MODIFICATIONS

Amherst Development Park
 6000 - 6040 N.Bailey Ave, Amherst, NY
 BDC Property # 1723
 SITE DEVELOPMENT DRAWINGS

INDEX OF DRAWINGS

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C3.00	DEMOLITION & EROSION CONTROL PLAN WEST	1	11.16.2023
C3.01	DEMOLITION & EROSION CONTROL PLAN EAST		
C3.10	DEMOLITION & EROSION CONTROL PLAN DETAILS		
C4.0	OVERALL SITE PLAN		
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C7.0	LANDSCAPING PLAN		
C8.0	LIGHTING PLAN		

OWNER/DEVELOPER:

NAME: BENDERSON DEVELOPMENT COMPANY, LLC
 ADDRESS: 570 DELAWARE AVENUE, BUFFALO, NY 14202
 CONTACT: DAVID ZUPPELLI
 PHONE: 716 - 878 - 9683

 **BENDERSON DEVELOPMENT COMPANY, LLC**
 570 Delaware Ave.
 Buffalo, New York 14202

SURVEYOR

NAME: KHEOPS ARCHITECTURE, ENGINEERING & SURVEY, DCP
 ADDRESS: 300 PEARL STREET, BUFFALO, NY 14202
 CONTACT: -
 PHONE: 716-849-8739

UTILITIES:

NATURAL GAS
 NAME/TITLE: WILLIAM SCHNEIDER
 COMPANY/DEPT: NATURAL FUEL GAS
 ADDRESS: -
 PHONE: 716 - 696 - 6460

TELEPHONE COMPANY
 NAME/TITLE: JOHN HECKMAN
 COMPANY/DEPT: VERIZON
 ADDRESS: -
 PHONE: 716 - 840 - 8603

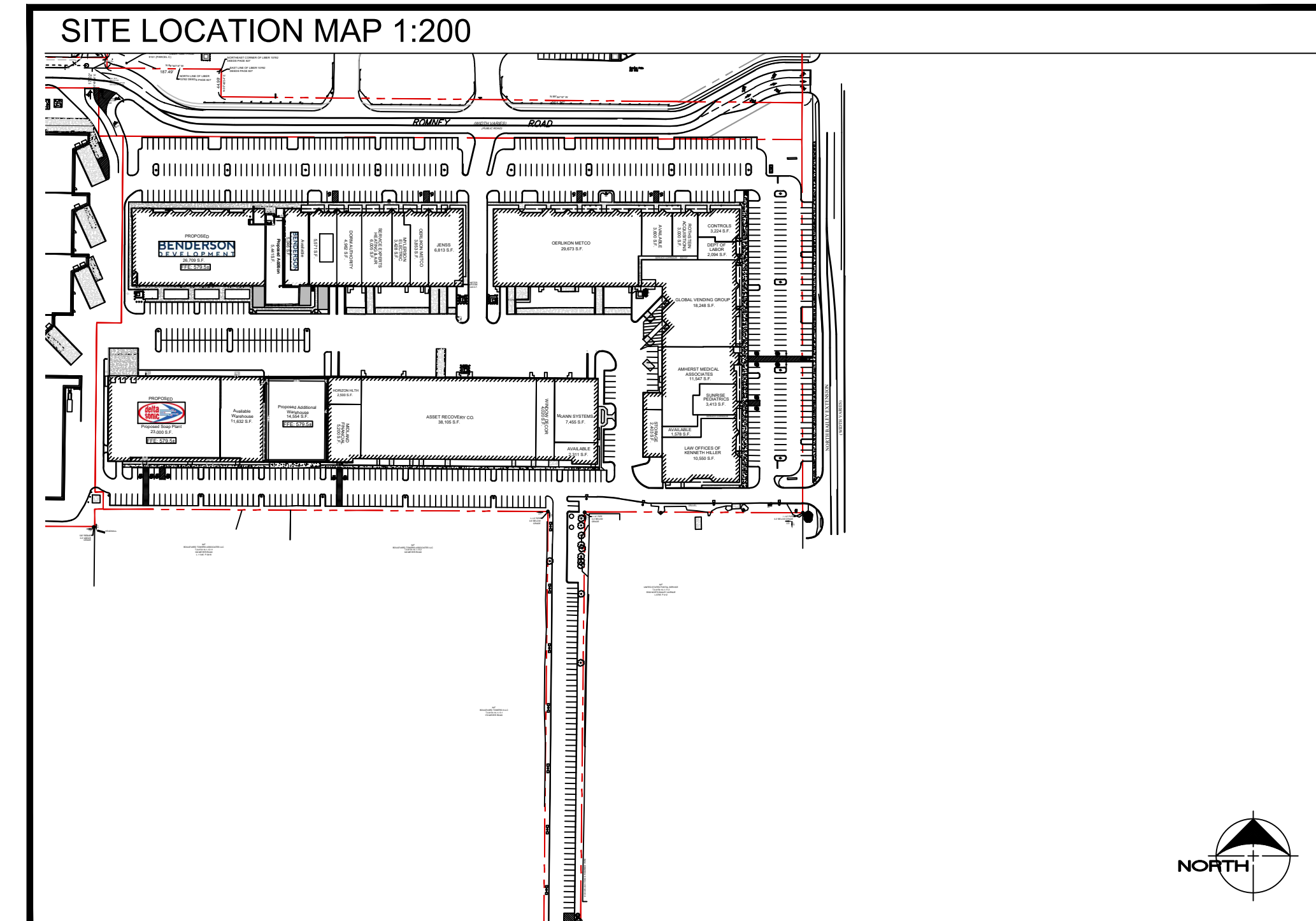
ELECTRIC
 NAME/TITLE: -
 COMPANY/DEPT: NATIONAL GRID
 ADDRESS: -
 PHONE: -

DIG SAFELY NEW YORK
 PHONE: 1 - 800 - 962 - 7962 OR (811)

AGENCIES:

ENGINEERING DEPARTMENT
 NAME/TITLE: JEFF BURROUGHS
 COMPANY/DEPT: TOWN OF AMHERST, NY - ENGINEERING DPT
 ADDRESS: 1100 NORTH FOREST RD, WILLIAMSVILLE, NY
 PHONE: 716 - 631 - 7154 EX 7418

BUILDING & PLUMBING DEPARTMENT
 NAME/TITLE: -
 COMPANY/DEPT: TOWN OF AMHERST, NY - BUILDING DPT
 ADDRESS: 5583 MAIN STREET, WILLIAMSVILLE, NY 14221
 PHONE: 716 - 631 - 7080



OFFICIAL TOWN USE ONLY

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS
1	11.16.2023	DZ	SWPPP Update

SPECIAL INFORMATION:
 ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE
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PROPERTY NUMBER: #1723
 AREA: -

Amherst Development Park
 6000 - 6040 North Bailey Ave
 Amherst, NY 14226

PROPOSED SITE MODIFICATIONS

CONSULTANT

JAMES ALLEN RUMSEY
 ARCHITECT
 PREPARED FOR
BENDERSON DEVELOPMENT
 570 DELAWARE AVE., BUFFALO, NY 14202
 (716) 886-0211

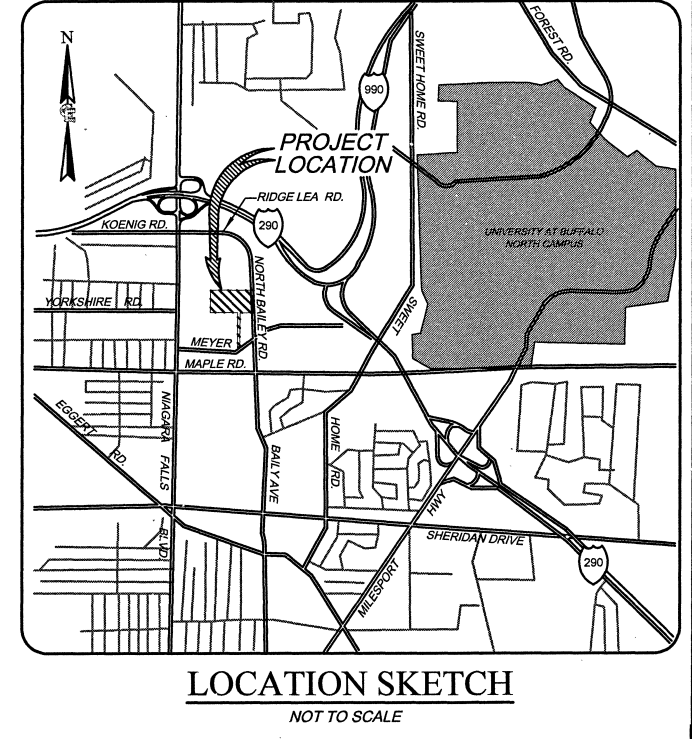
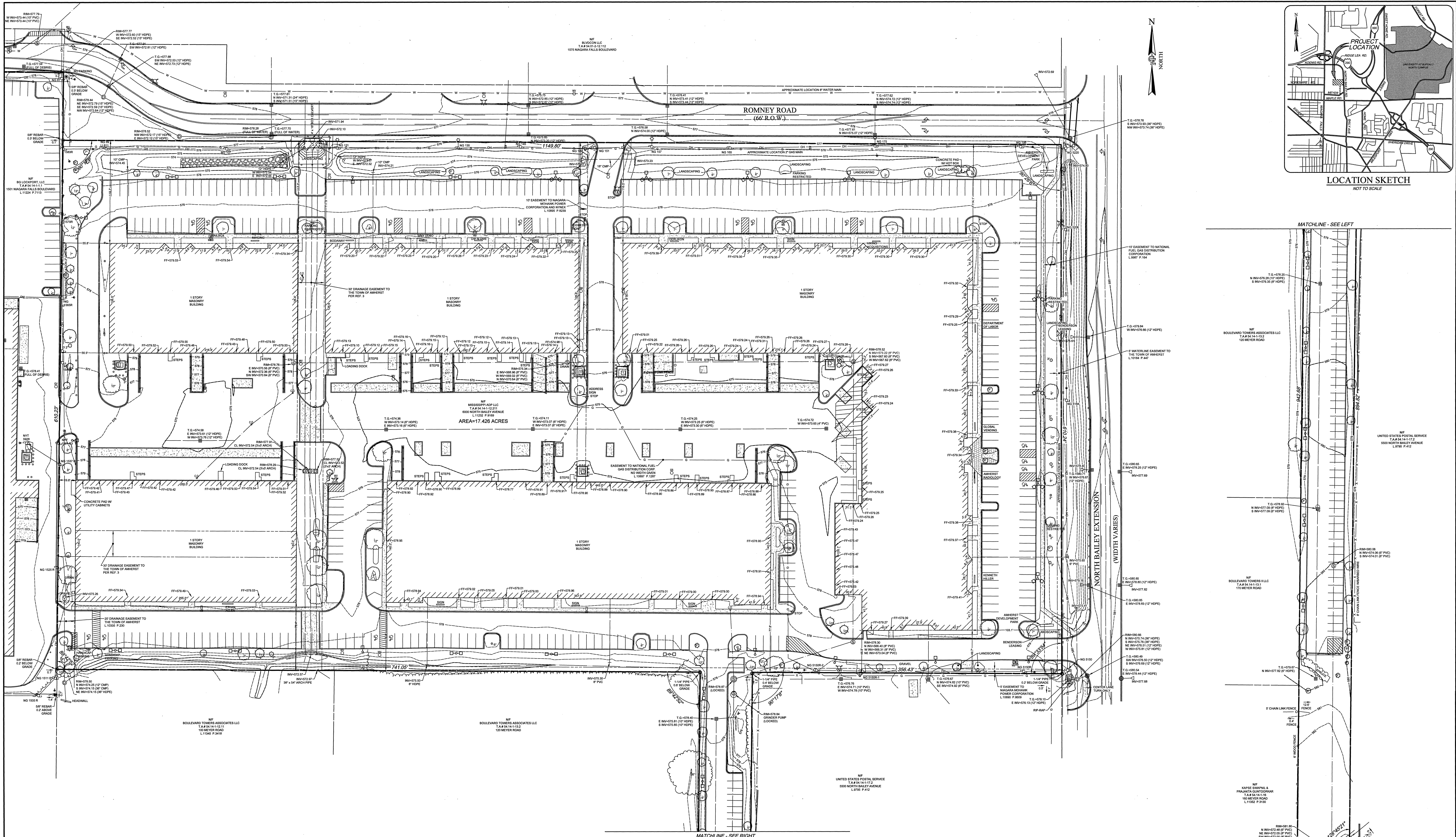
SEAL



TITLE:
COVER SHEET

SCALE:
 NTS
 DRAWN BY: DMZ
 CHECKED BY: MAO
 DATE: 11.08.2023

DRAWING NO.
C1.0



LINE LEGEND

[Symbol]	SECTION/PARCEL BOUNDARY
[Symbol]	MIN. BUILDING SETBACK
[Symbol]	CATCH BASIN
[Symbol]	EXIST. EASEMENT LINE
[Symbol]	EXIST. RIGHT-OF-WAY LINE
[Symbol]	EXIST. EDGE OF PAVEMENT
[Symbol]	EXISTING WATER MAIN, VALVE, & HYDRANT
[Symbol]	EXISTING SANITARY SEWER & MANHOLE
[Symbol]	EXISTING DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION
[Symbol]	EXISTING OVERHEAD UTILITIES
[Symbol]	EXISTING UNDERGROUND UTILITIES
[Symbol]	EXISTING GAS
[Symbol]	EXISTING ELECTRIC
[Symbol]	EXISTING GUARD RAIL
[Symbol]	TREE HEDGE/EDGE OF WOODS
[Symbol]	EXISTING SWALE
[Symbol]	BARBED WIRE STOCKPILE/CHAIN LINKED FENCE
[Symbol]	EXISTING CONTOUR
[Symbol]	EXISTING SPOT ELEVATION @ X
[Symbol]	CONCRETE PAVED CONCRETE SIDEWALK

SYMBOL LEGEND

[Symbol]	DRAINAGE MANHOLE
[Symbol]	ELECTRIC MANHOLE
[Symbol]	ELECTRIC METER
[Symbol]	TELEPHONE MANHOLE
[Symbol]	TELEPHONE PEDESTAL
[Symbol]	PHONE BOOTH
[Symbol]	PEDESTRIAN POLE
[Symbol]	TRAFFIC CONTROL CABINET
[Symbol]	LAMP POST
[Symbol]	LIGHT POLE
[Symbol]	UTILITY POLE WITH LIGHT
[Symbol]	FLAG POLE
[Symbol]	MAILBOX
[Symbol]	ROLLBAR
[Symbol]	POST
[Symbol]	SON
[Symbol]	SON
[Symbol]	SON
[Symbol]	SON
[Symbol]	TURNING ARROW
[Symbol]	HANDICAP
[Symbol]	PULL BOX
[Symbol]	ELECTRIC PULL BOX
[Symbol]	TELEPHONE PULL BOX
[Symbol]	TRANSFORMER

EASEMENT NOTES
T.A.# 54.14-1-12.211

- EASEMENT MADE BY BULLVALE POWER CO. TO NEW YORK TELEPHONE COMPANY RECORDED OCTOBER 30, 1968 IN LIBER 7327 OF DEEDS, PAGE 64. (NOT PLATTABLE)
- EASEMENT MADE BY MARKET DEVELOPMENT CORPORATION OF NEW YORK TO NIAGARA MOHAWK POWER CORPORATION RECORDED SEPTEMBER 11, 1967 IN LIBER 7392 OF DEEDS, PAGE 41. (DOES NOT AFFECT PREMISES)
- RIGHT OF WAY MADE BY MARKET DEVELOPMENT CORPORATION OF NEW YORK TO NIAGARA MOHAWK POWER CORPORATION RECORDED SEPTEMBER 29, 1967 IN LIBER 7399 OF DEEDS, PAGE 58. (NOT PLATTABLE)
- EASEMENT FROM NIAGARA BOULEVARD TOWERS, INC. TO NIAGARA MOHAWK POWER CORPORATION AND NEW YORK TELEPHONE CO. RECORDED ON AUGUST 29, 1968 IN LIBER 7306 OF DEEDS, PAGE 503. (NOT PLATTABLE)
- EASEMENT RESERVED BY BULLVALE TOWERS CO. CONTAINED IN DEED RECORDED ON JULY 28, 1968 AT LIBER 8895 OF DEEDS, PAGE 528.

SURVEY NOTES

- TOPOGRAPHY SHOWN FROM A FIELD SURVEY BY COSTICH ENGINEERING ON 8/20/21 HORIZONTAL AND VERTICAL DATA OBTAINED THROUGH MYDOT CORRS NETWORK REFERENCED TO THE FOLLOWING MONUMENT:
HAMBURG CORRS STATION
-LATITUDE: 42-43.37 82028 (N)
-LONGITUDE: 079-54-54 28658 (W)
-ELLIPSOID: 312.558 METERS NAVD 83 (CORRS)

REFERENCES

- THE DEEDS AS SHOWN ON FILE AT THE ERIE COUNTY CLERKS OFFICE.
- ALTAIRPS LAND TITLE SURVEY PREPARED FOR DOR - PROJECT SAREE PROJECT, PREPARED BY BOCK & CLARK, HAVING PROJECT NO. 20190438-003, DATED 12/29/2018.
- ALTAIRPS LAND TITLE SURVEY 6000-840 NORTH BAILEY AVENUE, PREPARED BY TVGA CONSULTANTS, HAVING JOB NO. 2008-095-00, DATED 07/20/08.

UTILITY INFORMATION

UTILITY INFORMATION PER LUPO DESIGN TICKET # 04201-000-825-00 DATED APRIL 23, 2021

1. CHARTER COMMUNICATIONS BUFFALO	317-575-7600 X2	NO CONFLICT
2. ERIE COUNTY WATER AUTHORITY	716-645-8207	UTILITIES PLOTTED
3. LIGHTOWER FIBER TECHNOLOGIES	888-852-0931 X2	NO RESPONSE
4. NATIONAL FUEL GAS - TONAWANDA	716-887-7431	UTILITIES PLOTTED
5. NATIONAL GRID - WEST - ELECTRIC	315-428-6319	NO CONFLICT
6. SUNOCO PIPELINE LP	716-869-7079	NO RESPONSE
7. TOWN OF AMHERST	716-631-7413	UTILITIES PLOTTED
8. VERIZON / BUFFALO	315-827-2515	UTILITIES PLOTTED

SITE DATA

T.A.# 54.14-1-12.211

- EXISTING ZONING: RD - RESEARCH AND DEVELOPMENT DISTRICT
- BULK REQUIREMENTS: REQUIRED

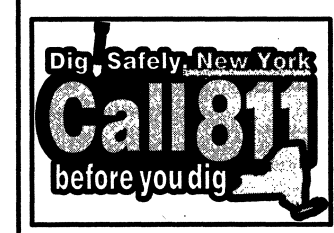
MIN. LOT AREA (SQ FT)	1 ACRE
MAX. LOT COVERAGE	NONE REQUIRED
MIN. LOT WIDTH (FT)	35
MAX. BUILDING HEIGHT (FT)	65 FEET
MIN. FRONT YARD SETBACK (FT)	20 FEET FOR BUILDINGS UP TO 35 FEET IN HEIGHT; 30 FEET FOR BUILDINGS GREATER THAN 35 FEET IN HEIGHT
MIN. SIDE YARD SETBACK (FT)	5 TO 10 FEET FOR BUILDINGS UP TO 30 FEET IN HEIGHT; 25 FEET FOR BUILDINGS GREATER THAN 30 FEET IN HEIGHT; PLUS 3 FEET FOR EACH FOOT OF HEIGHT OVER 35 FEET
MIN. REAR YARD SETBACK (FT)	15 FEET FOR BUILDINGS UP TO 30 FEET IN HEIGHT; 20 FEET FOR BUILDINGS GREATER THAN 30 FEET IN HEIGHT; PLUS 3 FEET FOR EACH FOOT OF HEIGHT OVER 35 FEET

CERTIFICATION

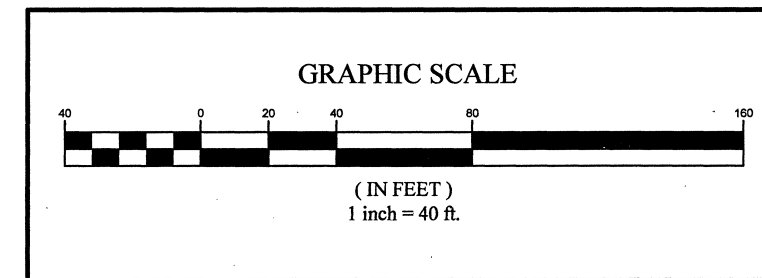
WE, COSTICH ENGINEERING, D.P.C., HEREBY CERTIFY TO:

THIS MAP WAS PREPARED FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON MAY 12, 2021 AND FROM THE REFERENCED LITTED RECORD. NO SEARCH OF RECORDS, OTHER THAN THOSE REFERENCED, WAS MADE FOR EASEMENTS OR ENCUMBRANCES AFFECTING THIS PARCEL.

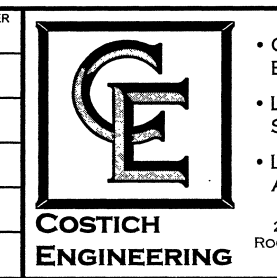
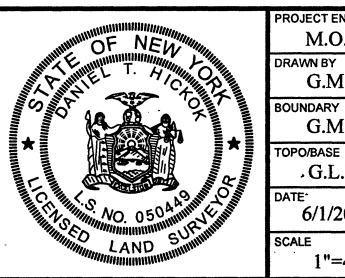
By: *David T. Nickl* Date: 6-7-2021
David T. Nickl, N.Y.E.L.S. No. 050449



EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR DEPTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND DEPTH OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.



NO.	DATE	REVISION	BY	CHKD.	PKL

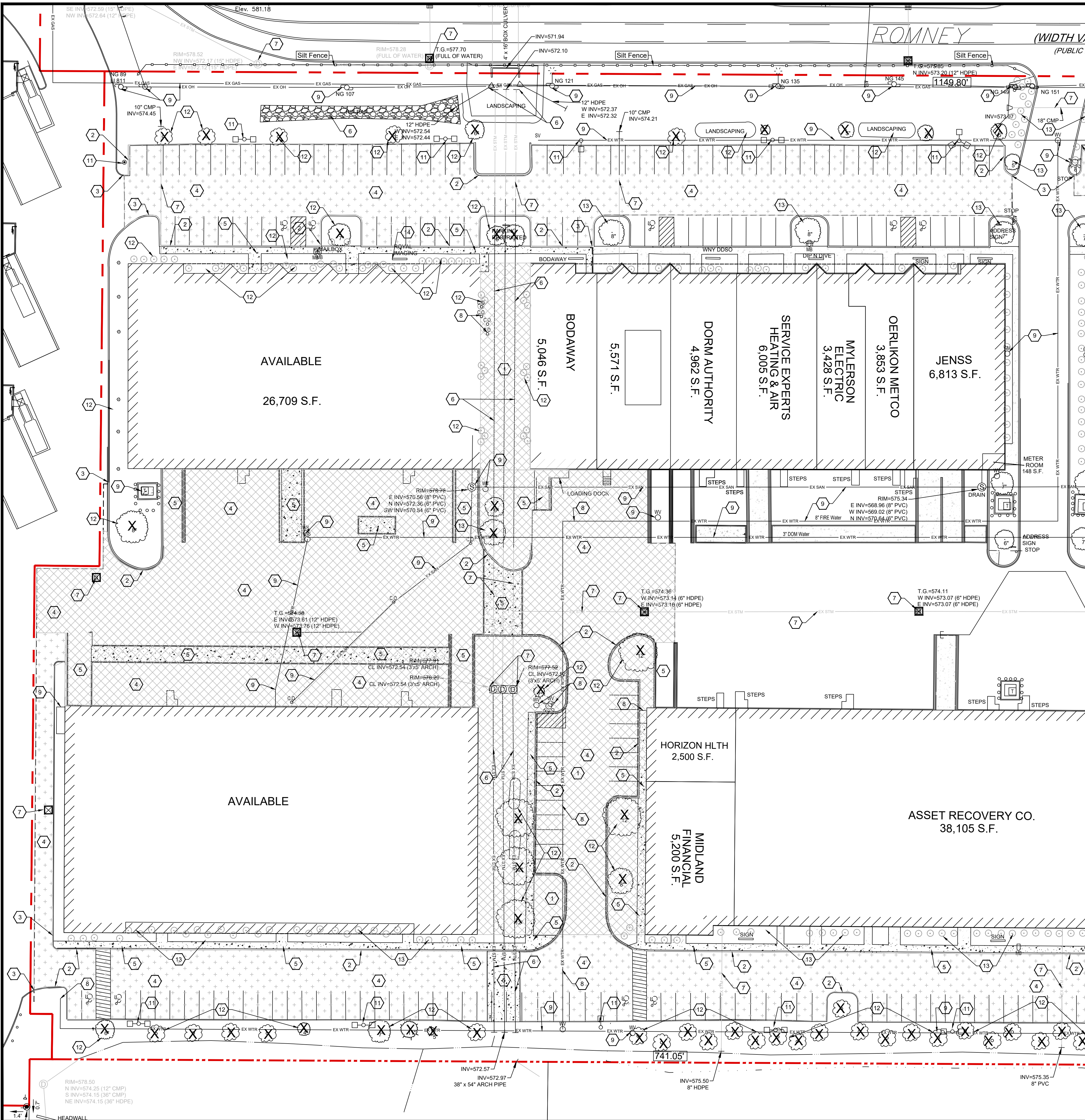


EXISTING FEATURES

LOCATION OF PROJECT: TAX PARCEL NO. 51.14-1-12.111
TOWN LOT 14, TOWNSHIP 15, RANGE 7, COUNTY OF AMHERST, COUNTY OF ERIE, STATE OF NEW YORK
OWNER: NIAGARA MOHAWK DEVELOPMENT CO., INC. (FORMERLY NIAGARA MOHAWK DEVELOPMENT CO., INC.)
217 LAKE AVENUE
ROCHESTER, NY 14609
(716) 426-5300

PROJECT NUMBER: 1723/5256 AMHERST DEVELOPMENT
TITLE OF DRAWING: EXISTING FEATURES
DATE: 6/1/2021
SCALE: 1"=40'

V.A.110
SHEET 1 OF 1



- GENERAL NOTES:**
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
 2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
 3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
 4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
 6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
 7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
 8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
 9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
 10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
 11. CONCRETE SIDEWALK SEALERS (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES)
 - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
 - 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APPROX. 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (1) COAT OF CHEMMASTERS - POLYUREAL EZ.
 12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
 13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.

DEMOLITION LEGEND:

- Property Line
- Existing Electric
- Existing Gas
- Existing Water
- Existing Overhead Utility
- Existing Sanitary
- Existing Storm
- Existing Telecoms
- Saw Cut Line
- Silt Fence/Sock
- Inlet Protection
- Tree Removal
- Existing area to be removed.
- Existing Asphalt Pavement to be Removed. Sub-base to Remain.

- DEMOLITION NOTES: #**
1. Existing Area to be Cleared.
 2. Existing Curb to be removed.
 3. Limits of Curb Removal.
 4. Existing Asphalt Pavement to be removed.
 5. Existing Concrete Sidewalk/ Pavement/ Ramps to be removed.
 6. Existing Storm Drainage/CB to be removed.
 7. Existing Storm Drainage/CB to remain and be protected during Construction.
 8. Existing Utility Structure to be removed.
 9. Existing Utility Structure to remain and be protected during Construction.
 10. Existing Pylon Sign to remain and be protected during Construction.
 11. Existing Light Pole Base to be Relocated
 12. Existing Landscaping to be Removed
 13. Existing Landscaping to remain and be protected during construction.
 14. Existing Bollard/Signage to be removed.

DRAWING REVISIONS:

No.	DATE	BY	REMARKS
1	11.16.2023	DZ	SWPPP Update

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811
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 Call before you dig.

PROPERTY NUMBER: #1723
 AREA: -

Amherst Development Park
 6000 - 6040 North Bailey Ave
 Amherst, NY 14226

PROPOSED SITE MODIFICATIONS

CONSULTANT

JAMES ALLEN RUMSEY
 ARCHITECT
 PREPARED FOR
BENDERSON DEVELOPMENT
 570 DELAWARE AVE., BUFFALO, NY 14202
 (716) 886-0211

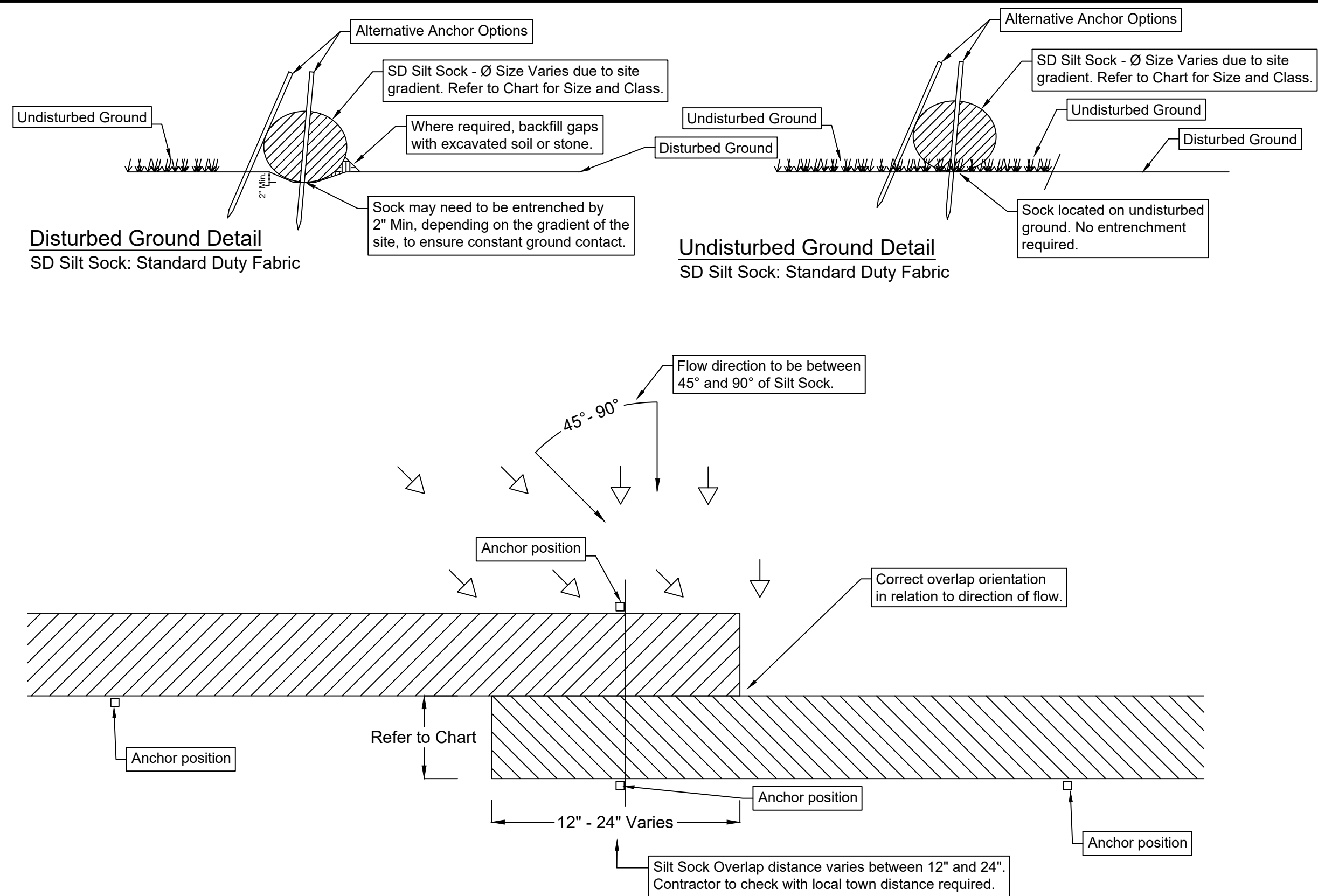
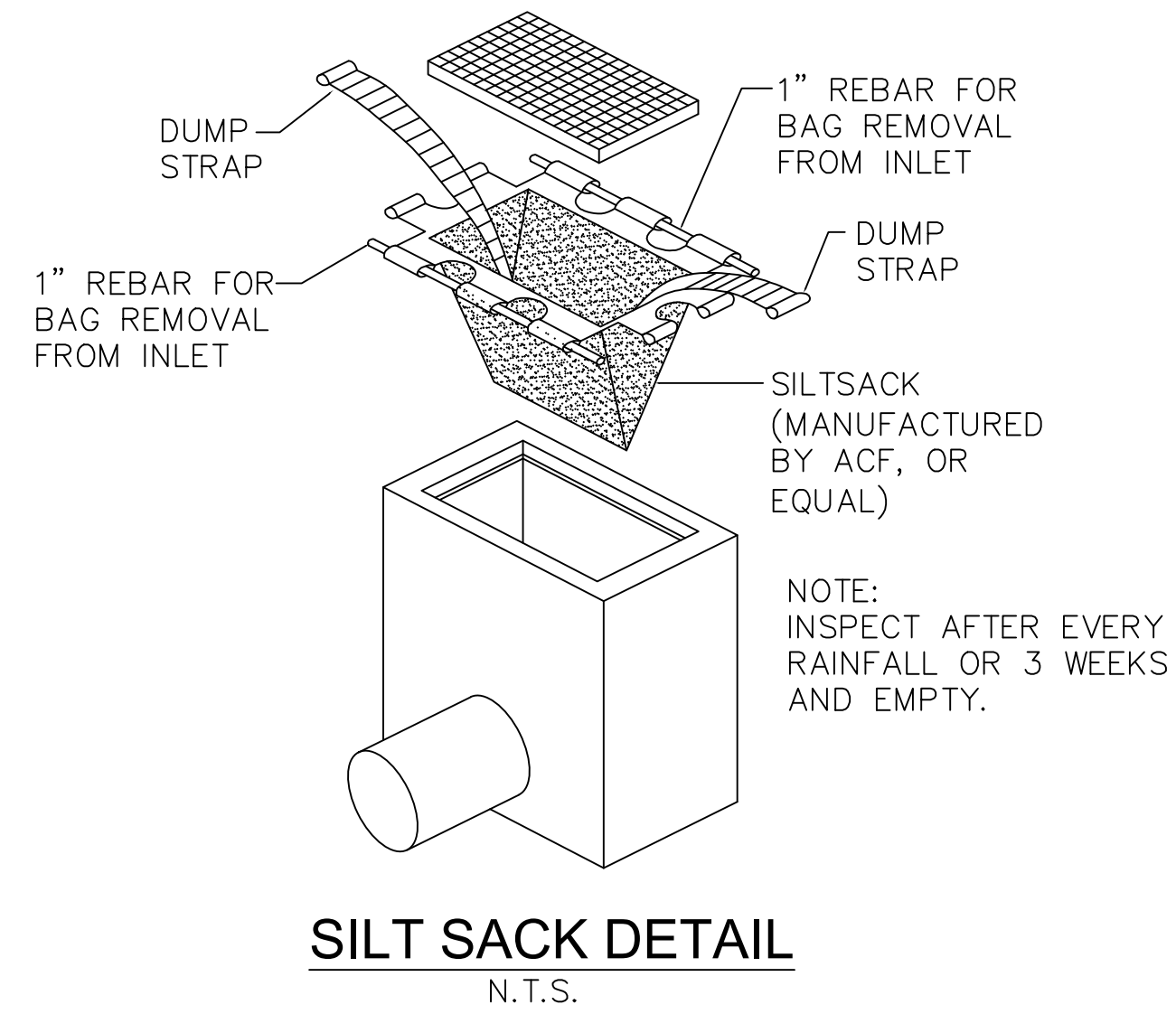
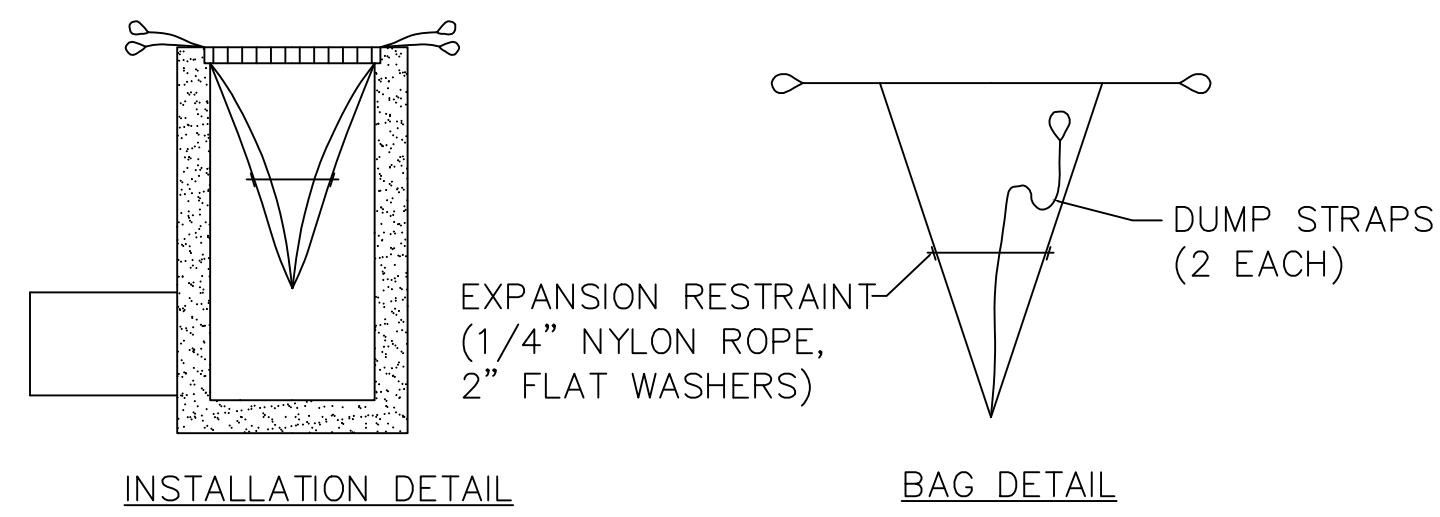
SEAL

OFFICIAL TOWN USE ONLY

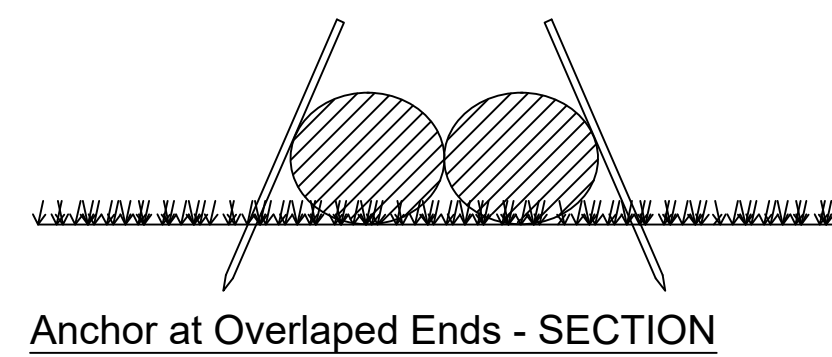
TITLE: **Demolition and Erosion Control Plan (West)**

SCALE: 1:30
 DRAWN BY: DMZ
 CHECKED BY: MAO
 DATE: 11.08.2023

DRAWING NO. **C3.00**



Overlap Detail - PLAN
1) Anchors required at the overlap section are to stay outside the Silt Sock and not pierce through the material. See alternative anchor positions in details above.



Size & Class Chart

Gradient	Diameter		
	8"	12"	18"
0 - 2%	30	55	75
2.1 - 5%	25	40	55
5.1 - 10%	15	30	40
10.1 - 33%	10	15	20
> 33%	5	10	15

SD SILT SOCK DETAIL
SD Silt Sock: Standard Duty Fabric

Notes:

- Do not use sock below the normal watermark or perpendicular to flow in river and where the maximum incline is greater than 50%.
- Contractors should be aware of federal, state and local laws, rules regulations or permit requirements for the use of Silt Socks on site.
- Sock should be positioned on the outline of the area to be protected, but must be installed between 45° to 90° from directions of flow.
- Sock may be required to be entrenched a minimum of 2" on disturbed ground to ensure constant ground contact.
- All gaps and ruts must be backfilled with soil or sock material.
- Sock overlap should be in the direction of the flow. Overlap amount will be between 12" and 24". Contractor to check with local town for requirements.
- If sediment collects to 1/2 the height of the sock, then a second sock may be stacked immediately up slope of the original instead of removing the sediment.
- Sock joint is where two sock sections meet on a level grade, overlap and adjoining ends, tightening the ends together, and anchoring through each end. Where two sections meet on un-level ground, j-hook higher elevated end, anchor, and begin new section just below. Back fill any gaps.
- Sock should be inspected and repaired as needed.
- If ruts begin under the sock they should be backfilled with soil and compacted so that the ground and sock have continuous contact.
- If sock rolls out of place, the sock should be repositioned and secured with additional anchors.
- Tears in the Sock fabric may be repaired by wrapping a new piece of fabric over the sock and securing, or by place a second sock immediately up slope with the required overlap beyond deformation.
- A section of sock should be replaced whenever it has weakened to such an extent that the efficiency is reduced or diminished. Weakening can occur because the natural mesh fabric breaks down over time of from being moved/dragged on site.
- Sock should be replaced when sediment has built up and has been removed three times.
- All sediment in disturbed area next to sock must be removed and correctly disposed of before the sock can be removed.
- When removing, cut sock open and spread the filler material around. The netting should be removed from site.
- Sock should be installed before works commence on site.

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No.	DATE	BY	REMARKS

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JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

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570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



OFFICIAL TOWN USE ONLY

TITLE: **Demolition and Erosion Control Details**

SCALE: NTS

DRAWN BY: DMZ DRAWING NO. **C3.10**

CHECKED BY: MAO

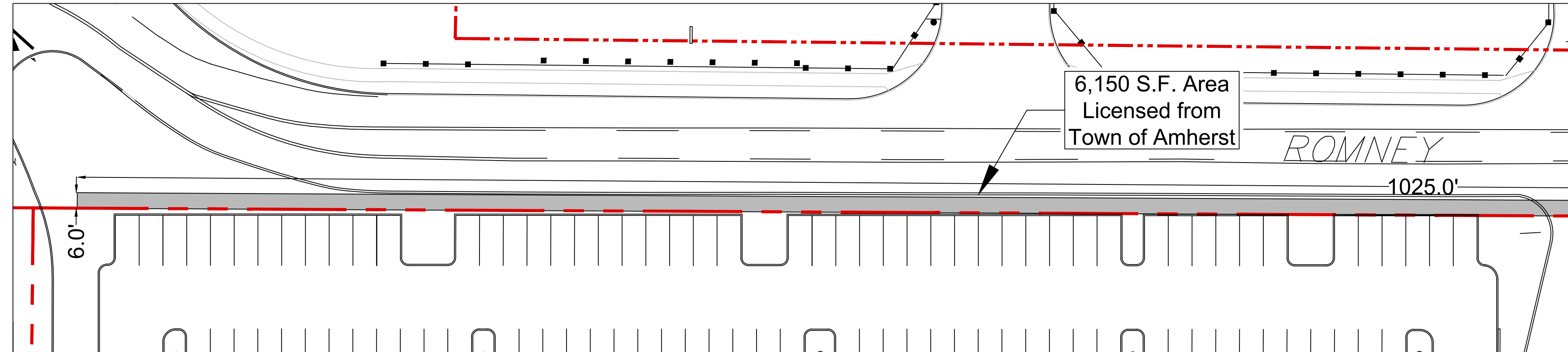
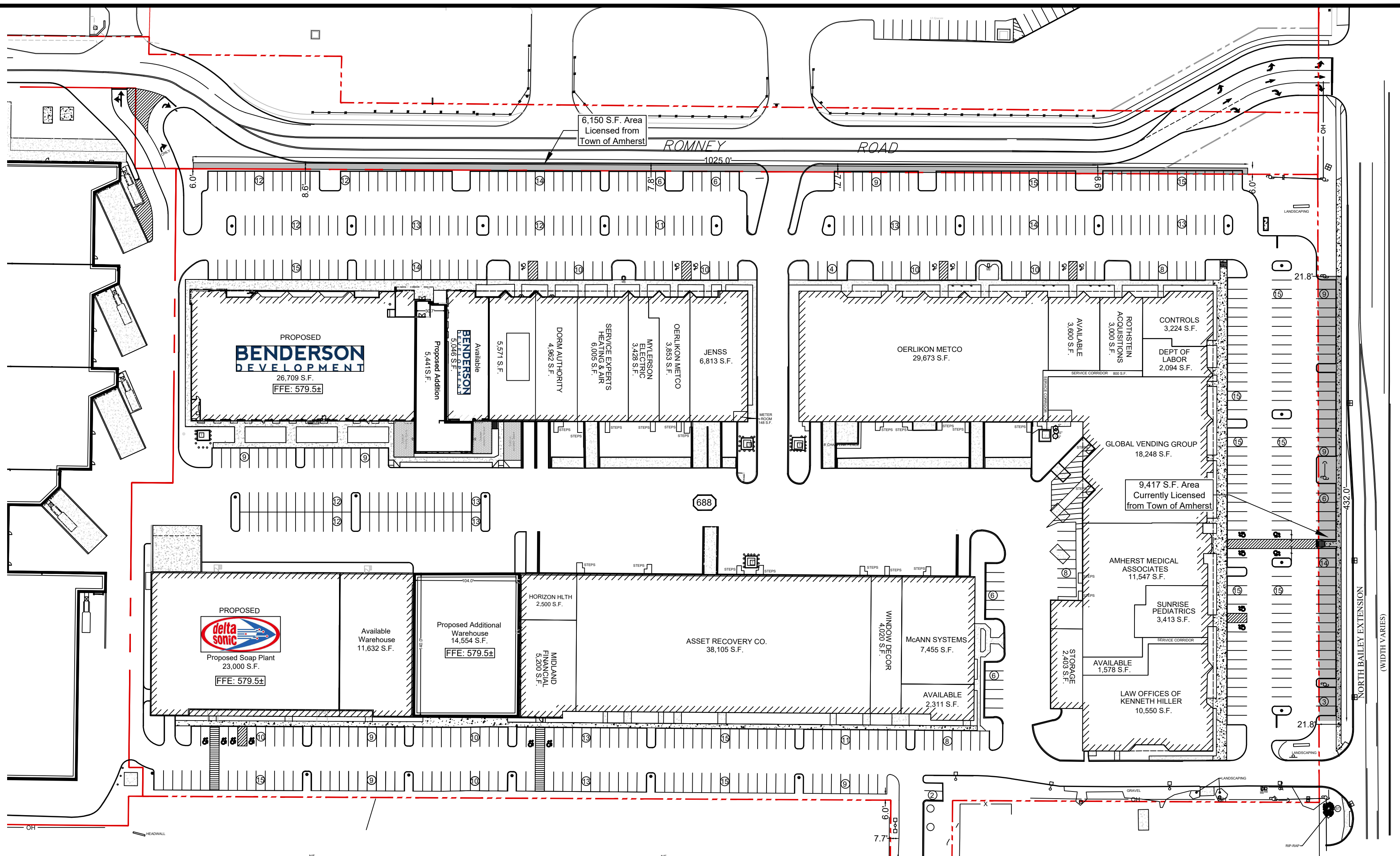
DATE: 11.08.2023

TOWN OF AMHERST, NY ZONING ANALYSIS		
	REQUIRED	PROVIDED
ZONED (RD)	R-D	R-D
MIN LOT AREA	1 AC	17.14 AC
MAX. BUILDING HEIGHT	65'	<30'
BUILDING SETBACKS:		
FRONT YARD	40'	102.3'
SIDE YARD	15'	16.7'
REAR YARD	15'	48.4'
PARKING / ROAD/AUX SETBACKS:		
FRONT - PROPERTY LINE	*25'	**0'
SIDE YARD	*10'	0'
REAR YARD	10'	**6.0'

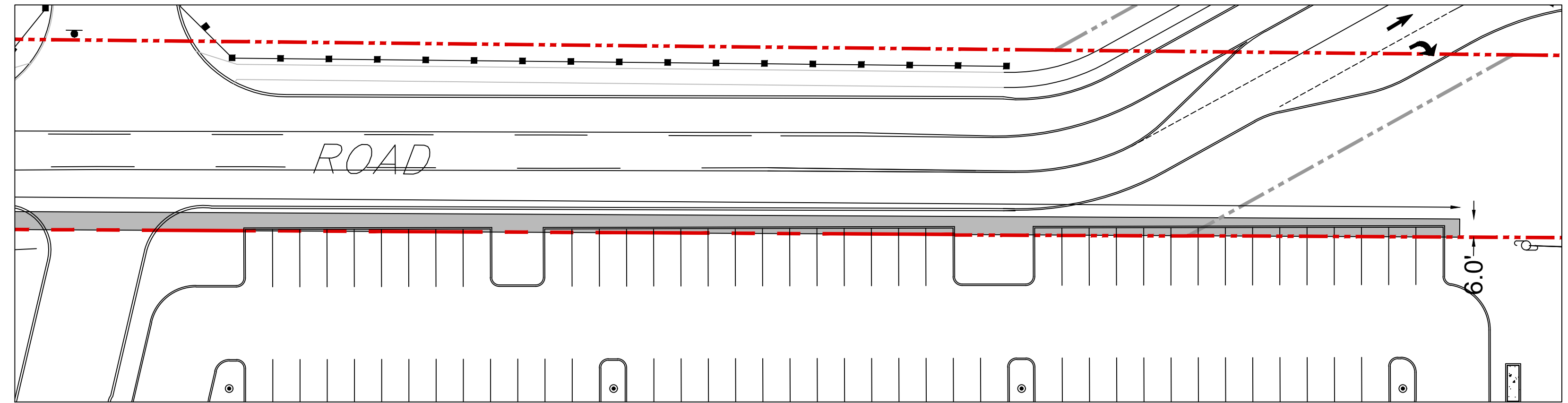
* Area to be determined to be licensed from Town of Amherst
 ** - Variance Required
 - Curb Island Dimensions are measured from the inside of curb.

PROPOSED PARKING ANALYSIS				
USE	CODE	S.F. USAGE	REQUIRED	PROVIDED
WAREHOUSE	1 / 1000 S.F.	181,343 SF	182 Spaces	
MEDICAL	1 / 150 S.F.	14,960 SF	100 Spaces	
RETAIL/OFFICE	1 / 200 S.F.	66,106 SF	331 Spaces	
TOTAL		262,409 SF	613 Spaces	688 Spaces
STALL SIZE			9' X 19'	9' X 19'

*Refer alternative parking study for site required parking



Proposed Licence Area
 (1" = 30')



Proposed Licence Area
 (1" = 30')

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 ARCHITECT
 PREPARED FOR
BENDERSON DEVELOPMENT
 570 DELAWARE AVE., BUFFALO, NY 14202
 (716) 886-0211

SEAL



TITLE:
Overall Site Plan

SCALE: 1:70
 DRAWN BY: DMZ
 CHECKED BY: MAO
 DATE: 11.08.2023

DRAWING NO.
C4.0

OFFICIAL TOWN USE ONLY

ROMNEY

- GENERAL NOTES:
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
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 - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 24RS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
 - 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (x1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APPROX. 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (x1) COAT OF CHEMMASTERS - POLYUREAQUE.
 12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
 13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.

DRAWING REVISIONS:

No.	DATE	BY	REMARKS
1	11.16.2023	DZ	SWPPP Update

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PROPERTY NUMBER: #1723
 AREA: -

SITE LEGEND:

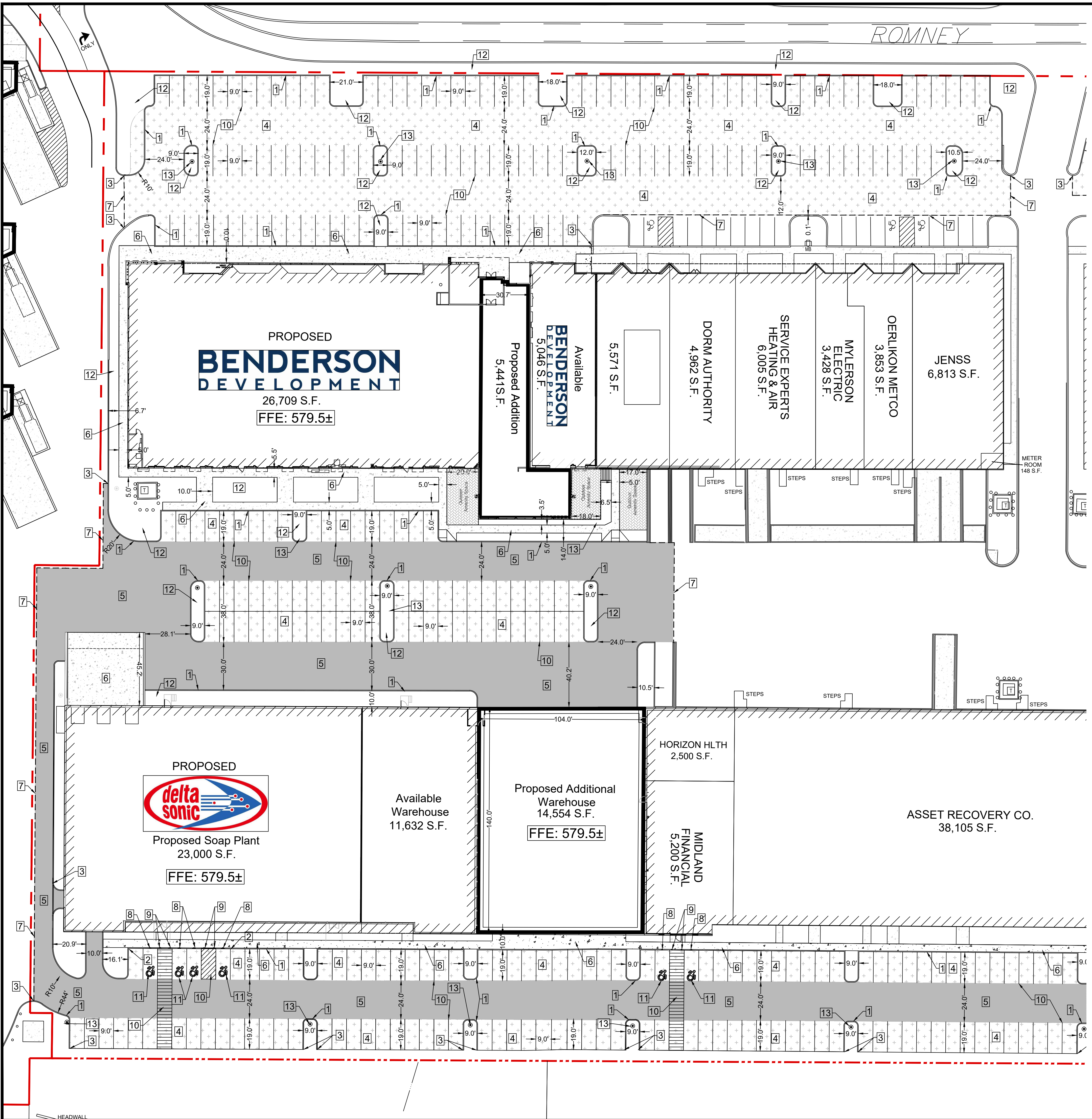
- Property line
- 6" Curb (typ.)
- Proposed sign & pole
- Proposed Concrete Sidewalk
- Proposed Standard Duty Pavement
- Proposed Heavy Duty Pavement

* All curb radii are 3ft unless noted.
 * Refer to General Notes, Construction Details and Architectural Plans for Concrete Sealer information.

SITE NOTES:

1. Proposed 6" concrete Curb.
2. Proposed Flush Concrete Curb.
3. Match into Existing Curb or runoff over 2'.
4. Proposed Standard Duty Pavement.
5. Proposed Heavy Duty Pavement.
6. Proposed Concrete Pavement/Sidewalk.
7. Match into Existing Pavement.
8. Proposed "Handicapped Parking Only" sign.
9. Proposed "No Parking" sign.
10. 4" Yellow Pavement Stripe (at 2' c-c in no parking zones).
11. Proposed White Pavement symbol (stop bar, directional arrows, accessibility symbol, text)
12. Proposed Landscape Area.
13. Proposed Light Pole Base
14. Proposed Mill and Overlay Asphalt Pavement

NB: All curb Radii to be 3' unless otherwise noted.



Amherst Development Park
 6000 - 6040 North Bailey Ave
 Amherst, NY 14226


PROPOSED SITE MODIFICATIONS

CONSULTANT

JAMES ALLEN RUMSEY
 ARCHITECT
 PREPARED FOR

BENDERSON DEVELOPMENT
 570 DELAWARE AVE., BUFFALO, NY 14202
 (716) 886-0211

SEAL



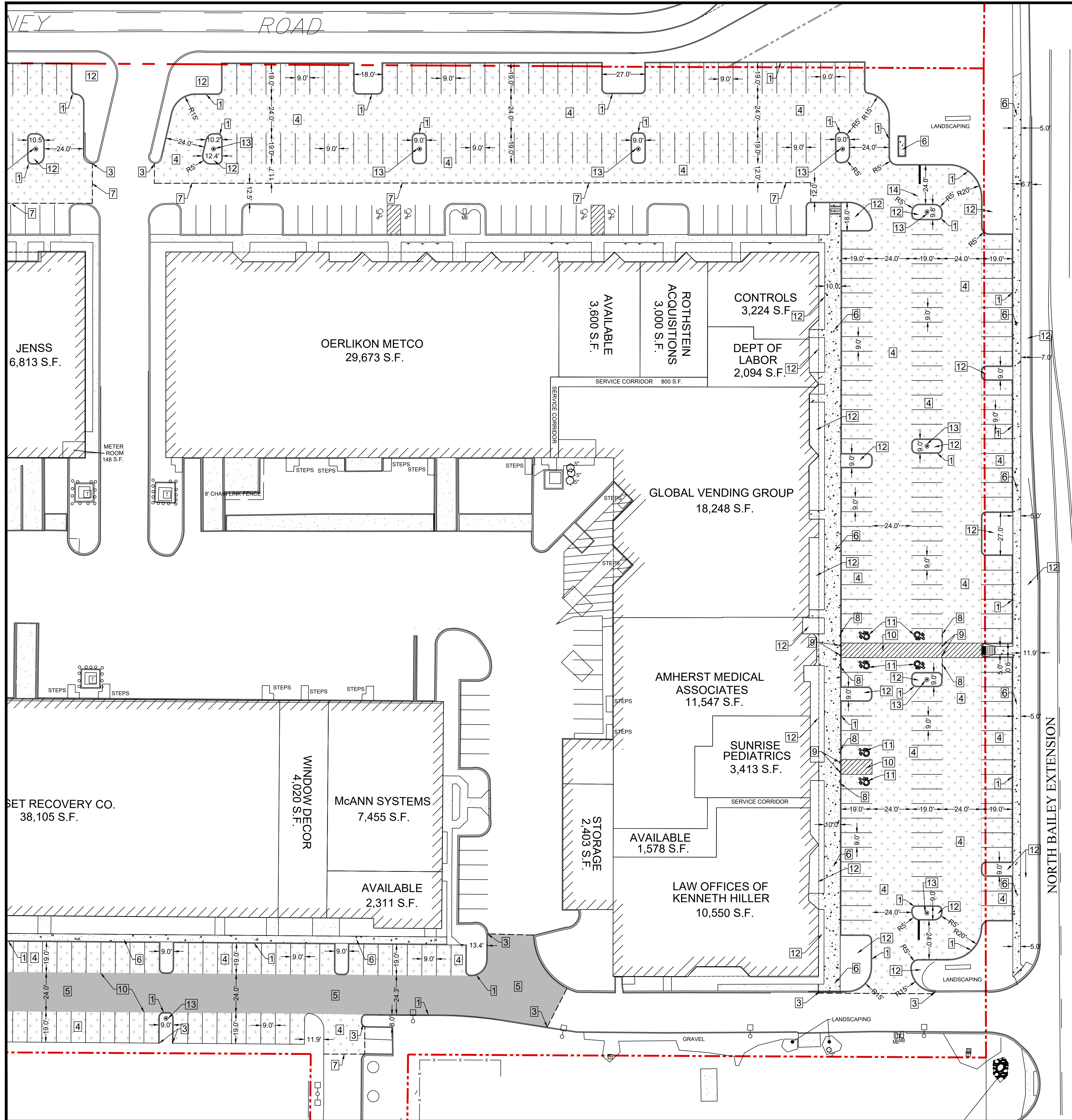
OFFICIAL TOWN USE ONLY

TITLE:
Detailed Site Plan (West)

SCALE:
 1:30

DRAWN BY: DMZ
 CHECKED BY: MAO
 DATE: 11.08.2023

DRAWING NO.
C4.10



- GENERAL NOTES:**
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SITE LEGEND:

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OFFICIAL TOWN USE ONLY

DRAWING REVISIONS:

No.	DATE	BY	REMARKS

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811
 Know what's below.
 Call before you dig.

PROPERTY NUMBER: #1723
 AREA: -

Amherst Development Park
 6000 - 6040 North Bailey Ave
 Amherst, NY 14226

PROPOSED SITE MODIFICATIONS

CONSULTANT

JAMES ALLEN RUMSEY
 ARCHITECT
 PREPARED FOR

BENDERSON DEVELOPMENT
 570 DELAWARE AVE., BUFFALO, NY 14202
 (716) 886-0211

SEAL

TITLE:
Detailed Site Plan (East)

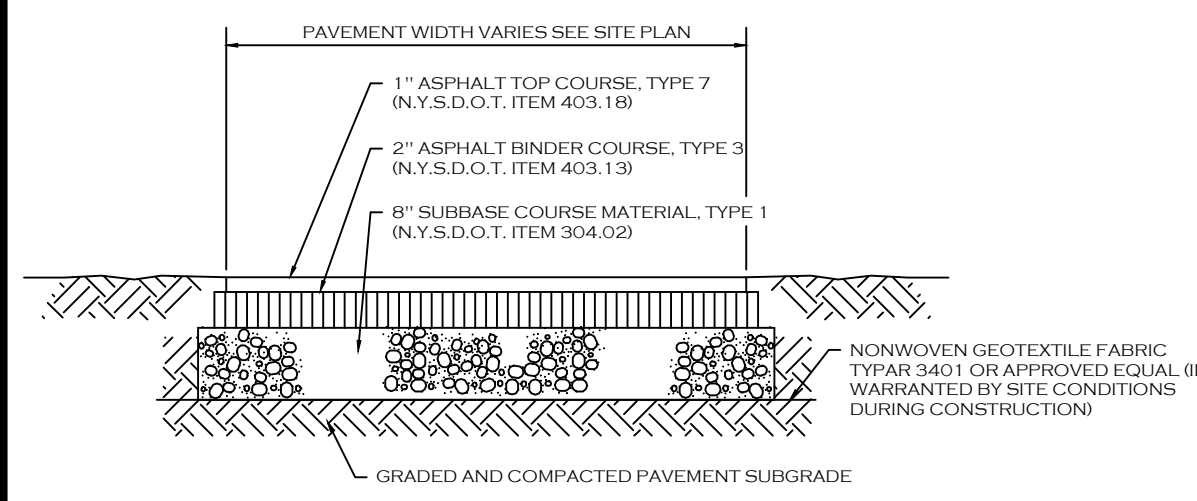
SCALE:
 1:30

DRAWN BY:
 DMZ

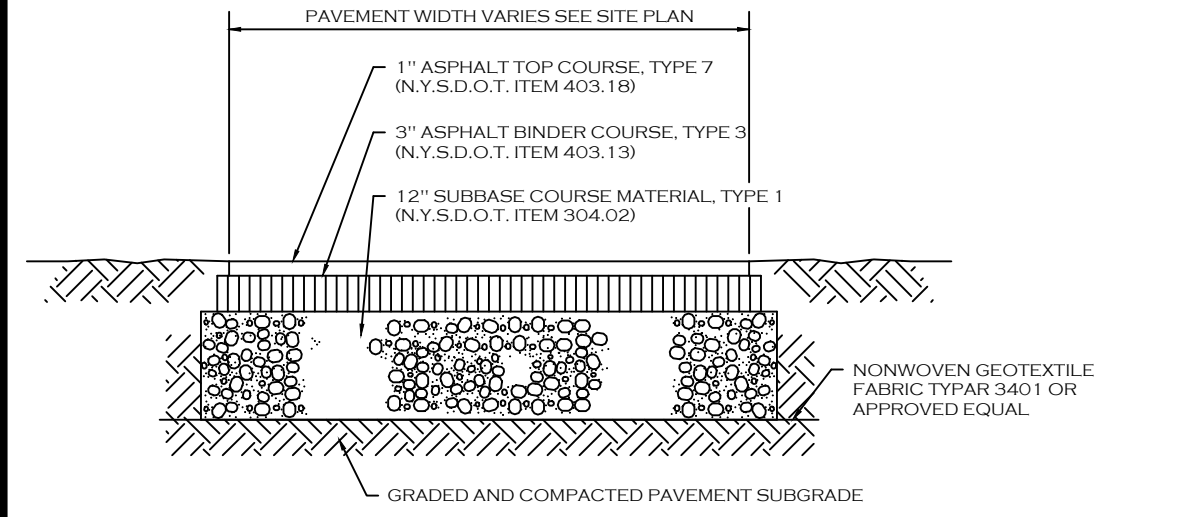
CHECKED BY:
 MAO

DATE:
 11.08.2023

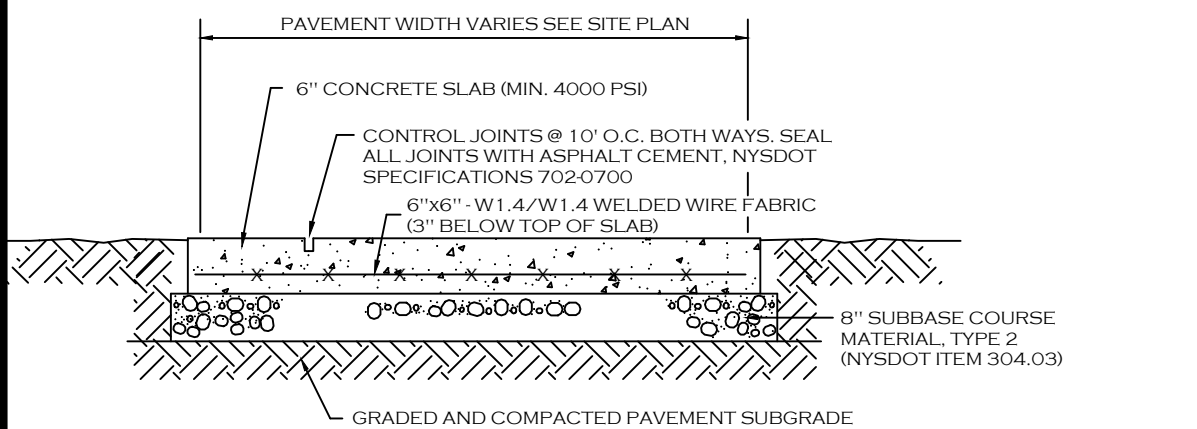
DRAWING NO.
C4.11



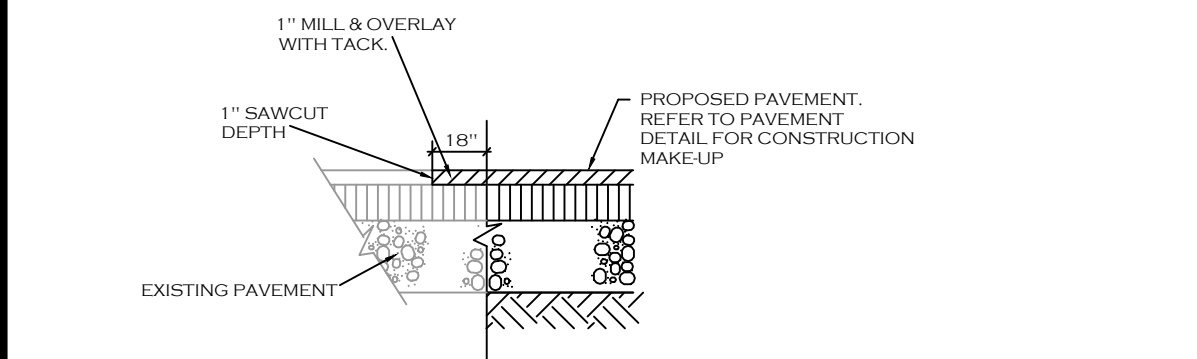
STANDARD DUTY ASPHALT SECTION



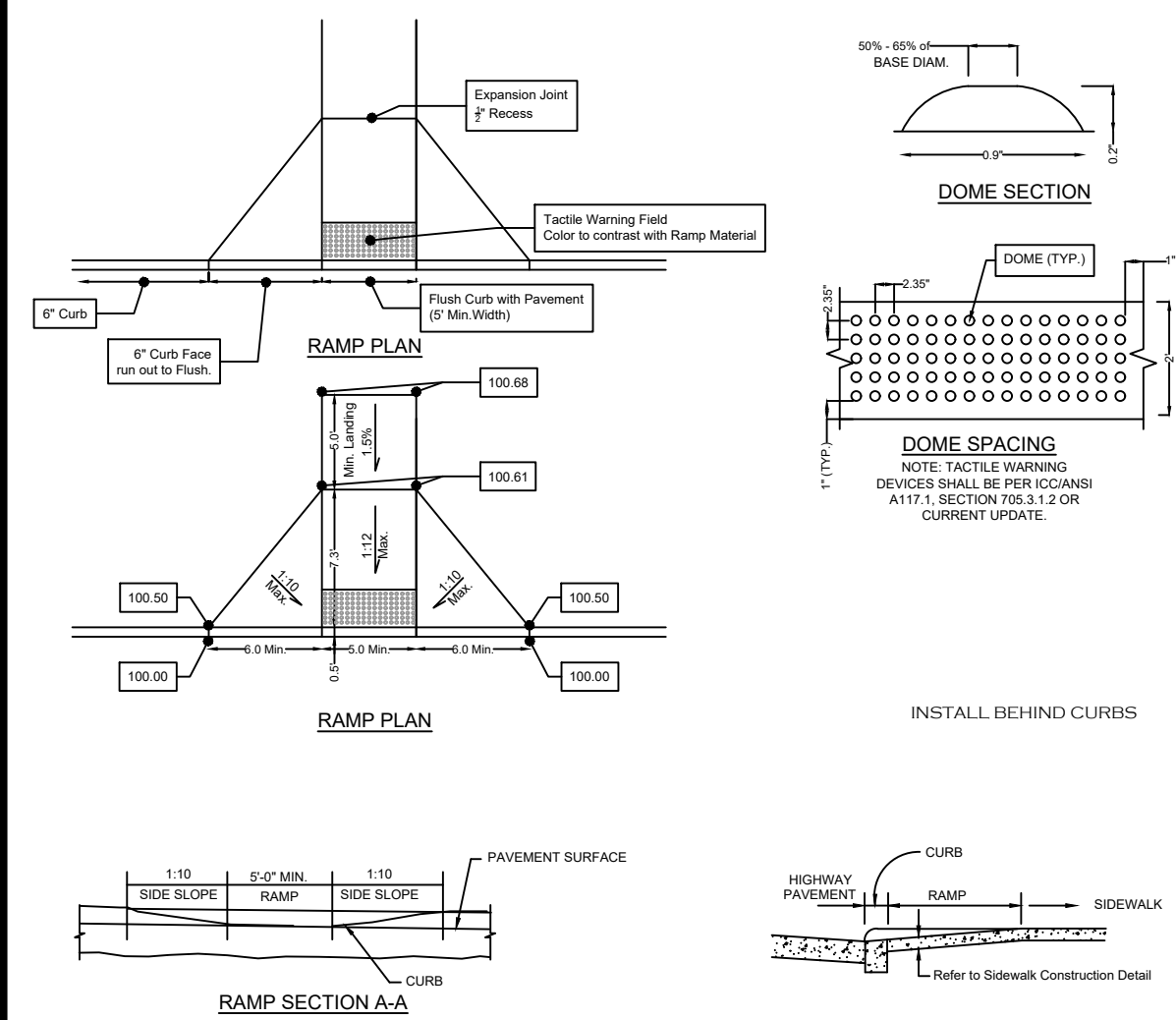
HEAVY DUTY ASPHALT SECTION



CONCRETE PAVEMENT (INC DUMPSTER)



PAVEMENT TRANSITION DETAIL (ASPHALT PAVEMENT)



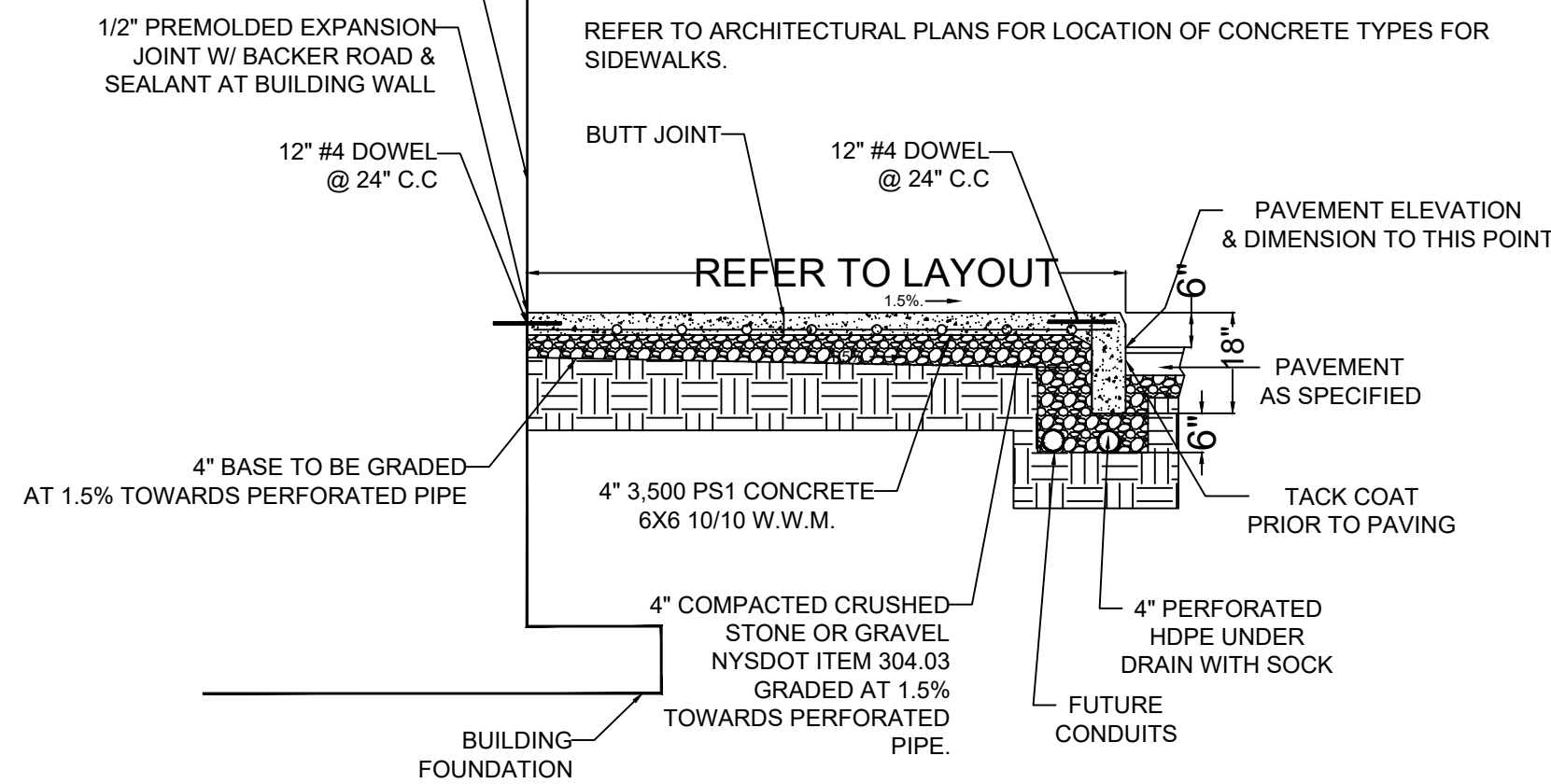
SIDEWALK CURB RAMP DETAIL

NOTES:
1. (1.5% SIDEWALK) GRADES ARE FOR REPRESENTATION ONLY. REFER TO LAYOUT FOR PROPOSED GRADES.

- NOTES:**
- CONCRETE SIDEWALK AND DRIVEWAY MATERIAL SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 501 AND CONSTRUCTION METHODS SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 608-3
 - BUTT JOINTS TO BE AT 5'-0" O.C. BOTH WAYS - SEE SPECIFICATIONS FOR FURTHER JOINT REQUIREMENTS NYS DOT 702-0700.

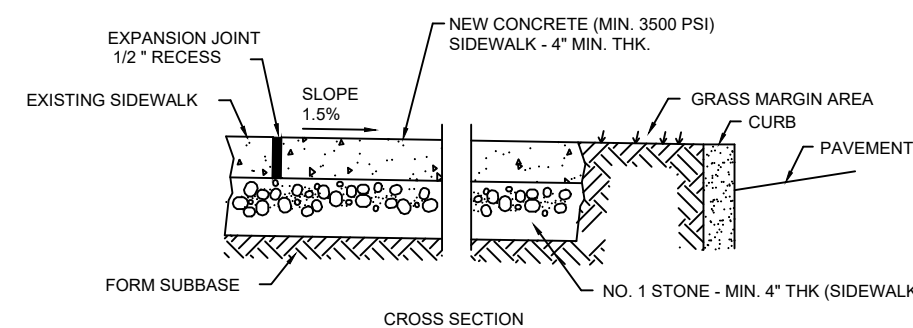
- CONCRETE SIDEWALK SEALERS:**
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REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES FOR SIDEWALKS.



BUILDING SIDEWALK DETAIL

CONTRACTOR TO VERIFY WITH OWNER ON CURB DETAIL

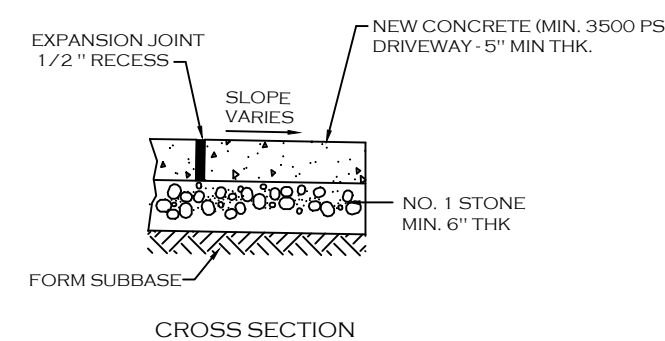


- NOTES:**
- CONTROL JOINTS TO BE AT 5'-0" O.C. BOTHWAYS - SEE SPECIFICATIONS FOR FURTHER JOINT REQUIREMENTS NYS DOT 702-0700
 - CONCRETE SIDEWALK MATERIAL SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 501 AND CONSTRUCTION METHODS SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 608-3

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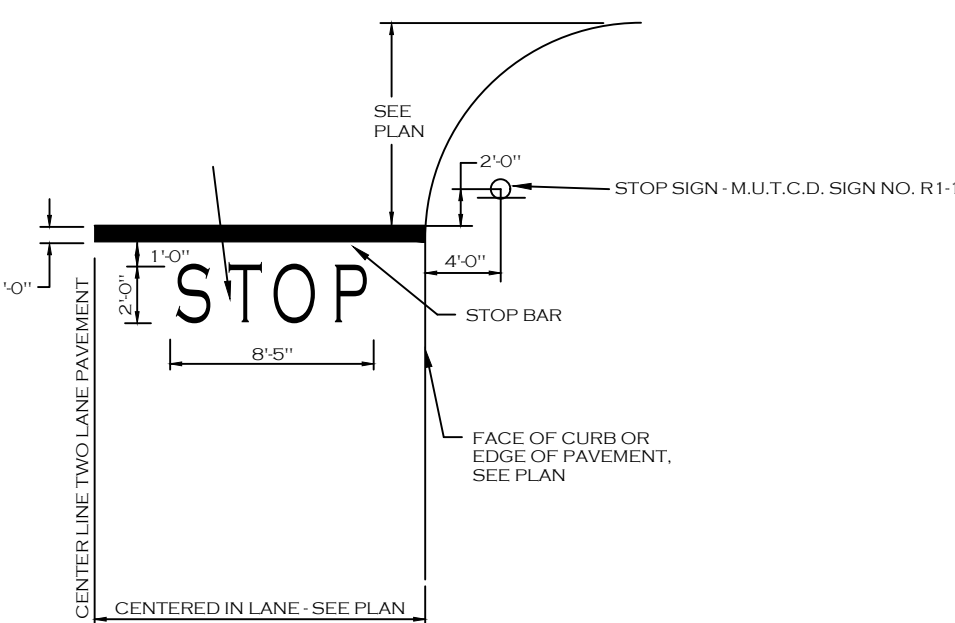
REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES FOR SIDEWALKS.

STANDARD CONCRETE SIDEWALK

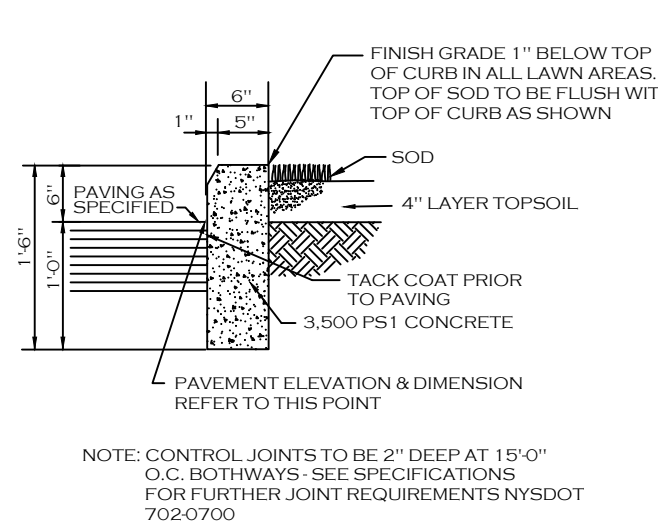


- NOTES:**
- CONTROL JOINTS TO BE AT 10'-0" O.C. BOTHWAYS - SEE SPECIFICATIONS FOR FURTHER JOINT REQUIREMENTS NYS DOT 702-0700
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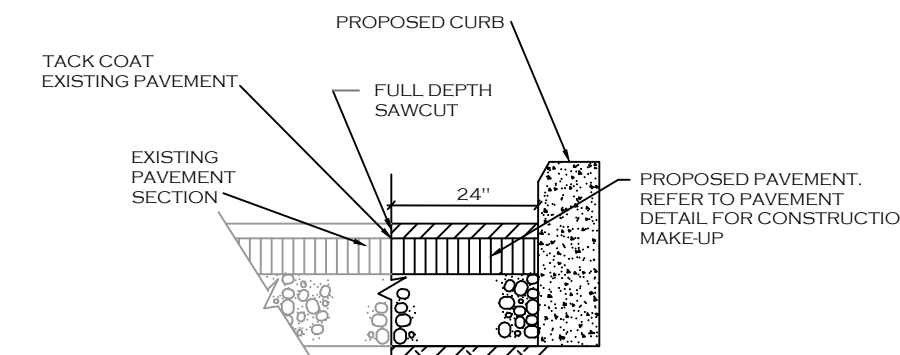
RPZ ENCLOSURE PAD



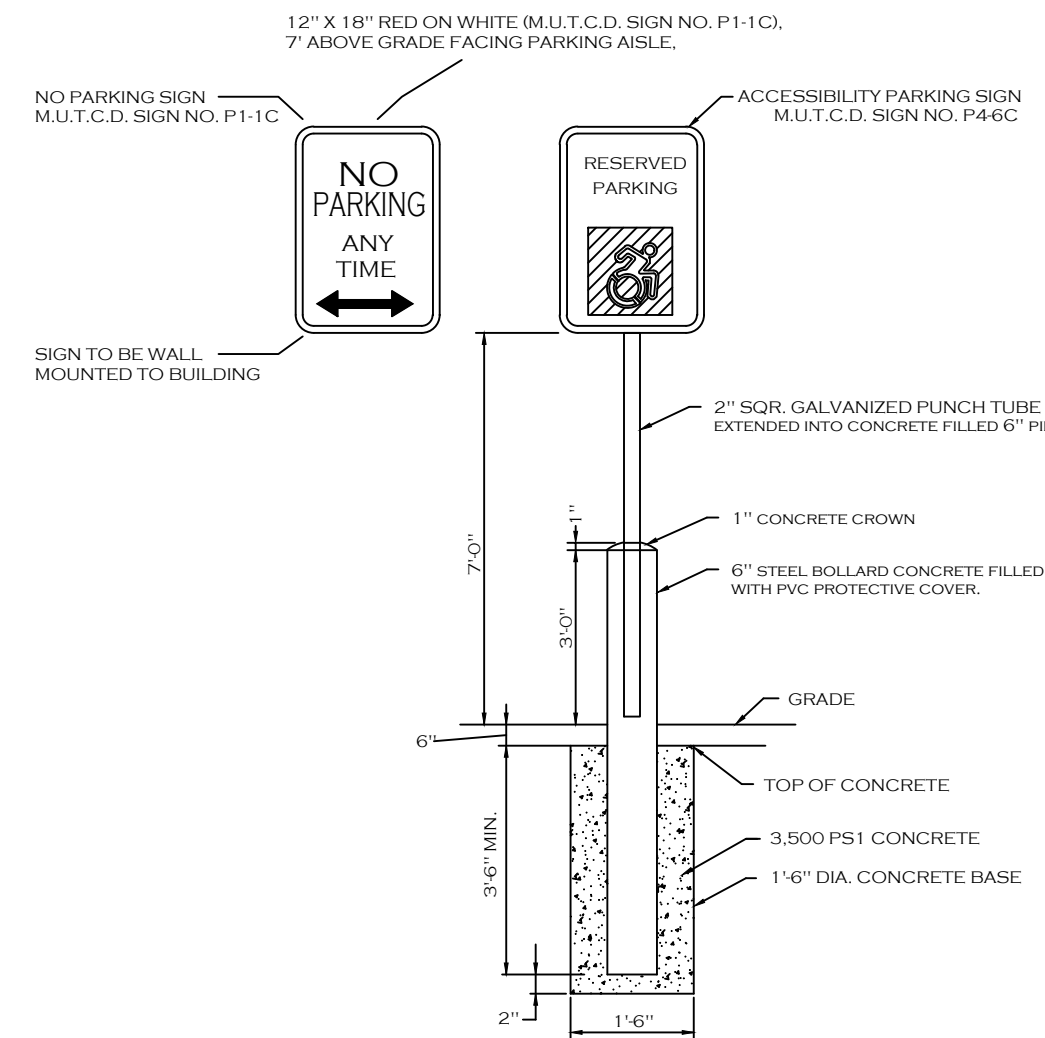
STOP BAR DETAIL



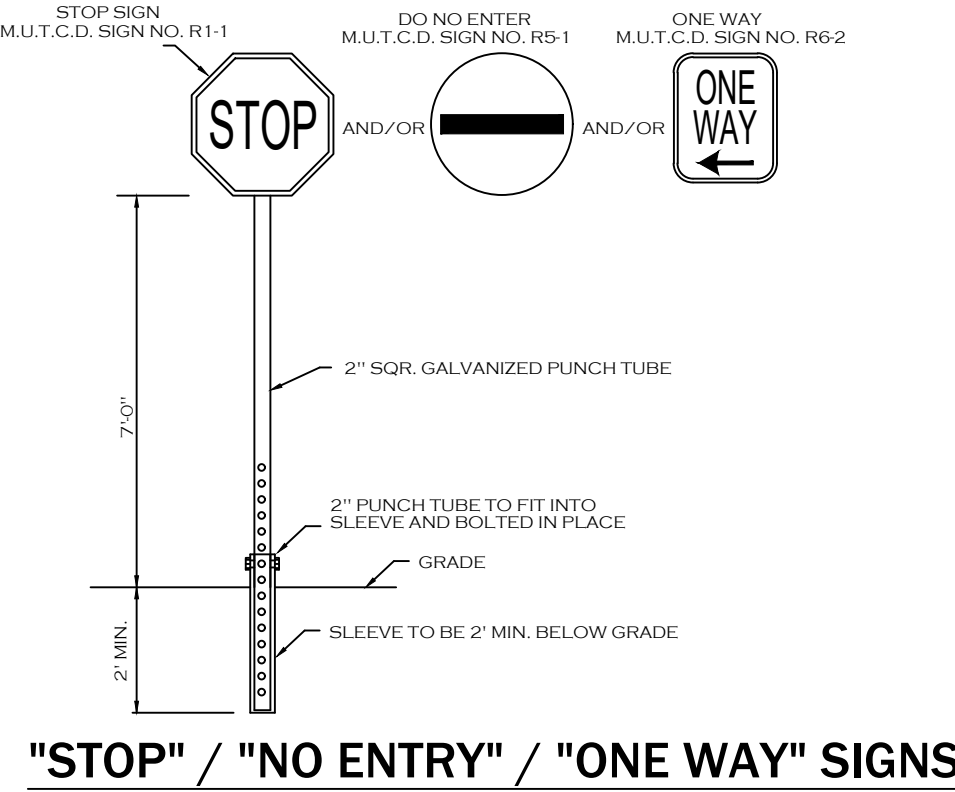
TYPE "A" CONCRETE CURB



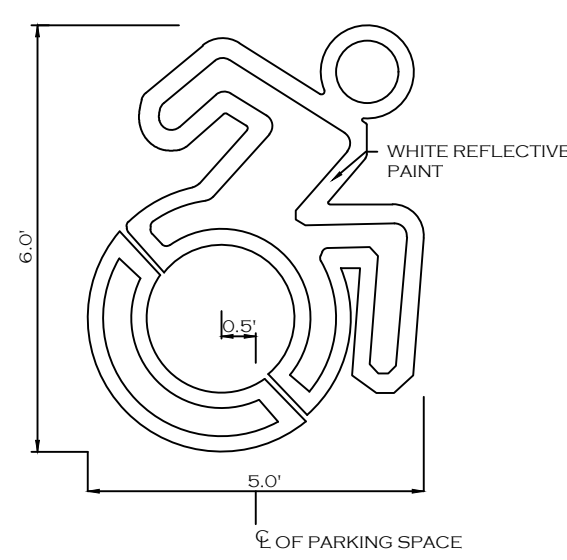
CURB AND PAVEMENT TRANSITION DETAIL



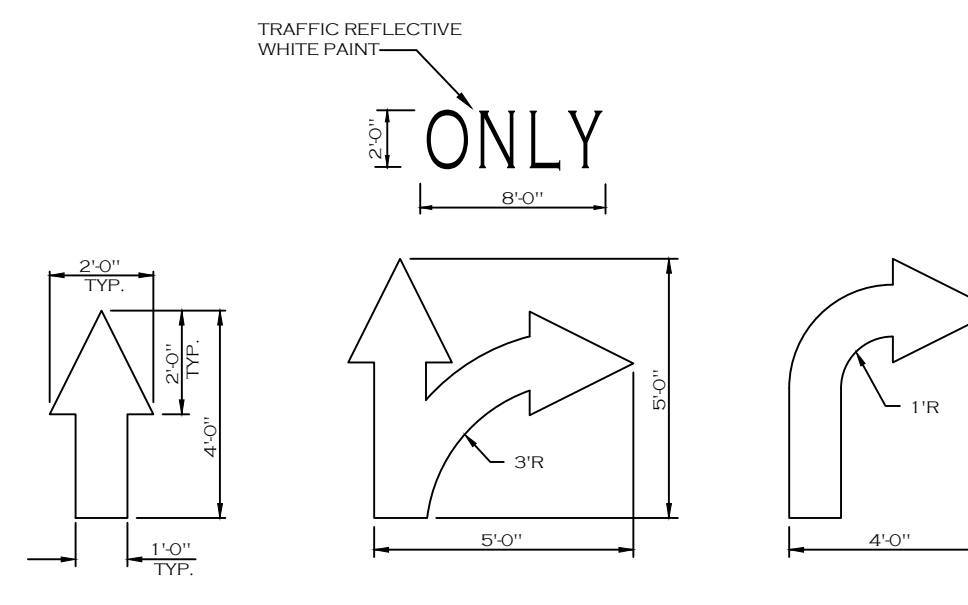
HANDICAP / NO PARKING SIGNS



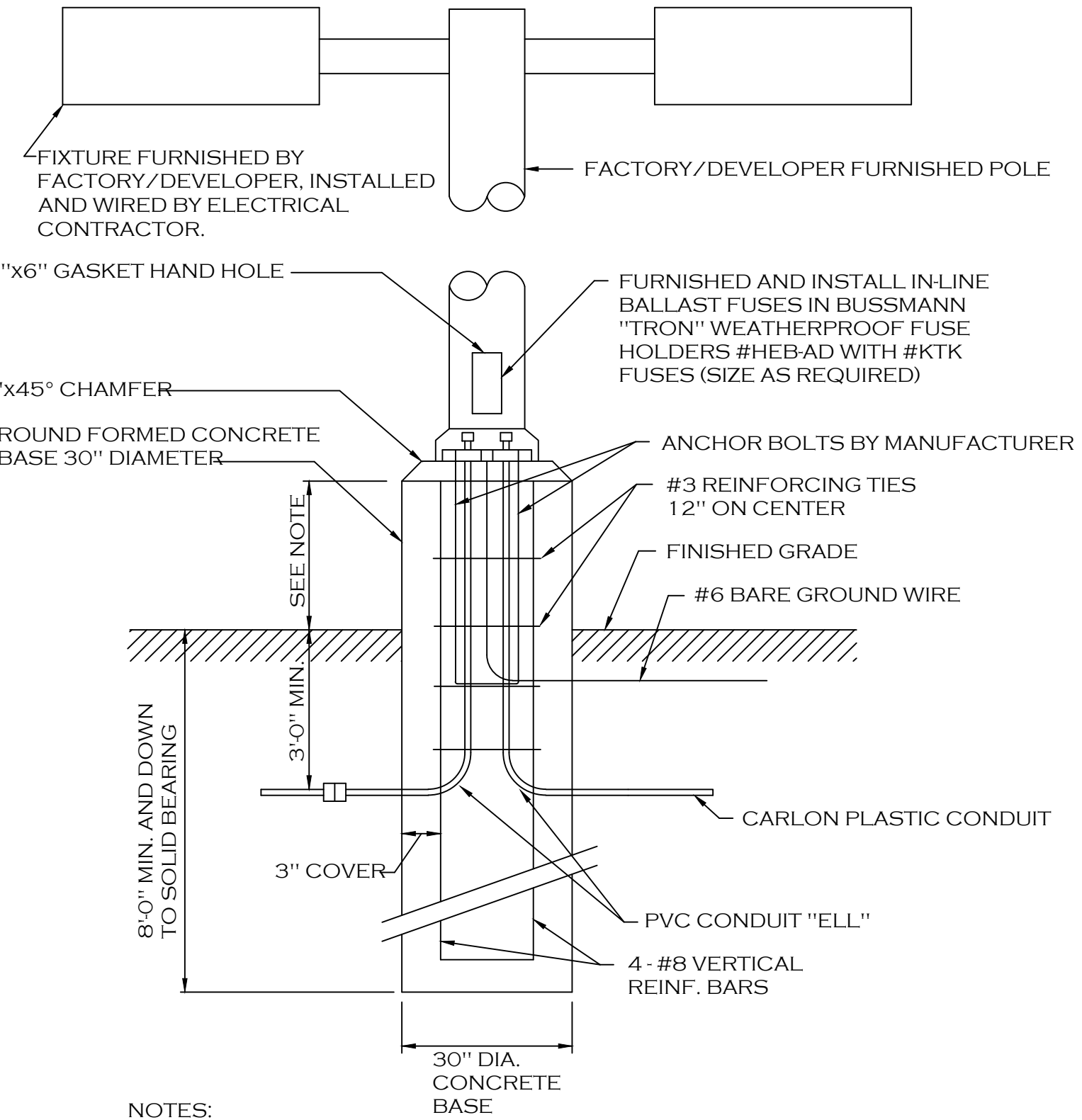
"STOP" / "NO ENTRY" / "ONE WAY" SIGNS



INTERNATIONAL ACCESSIBILITY SYMBOL

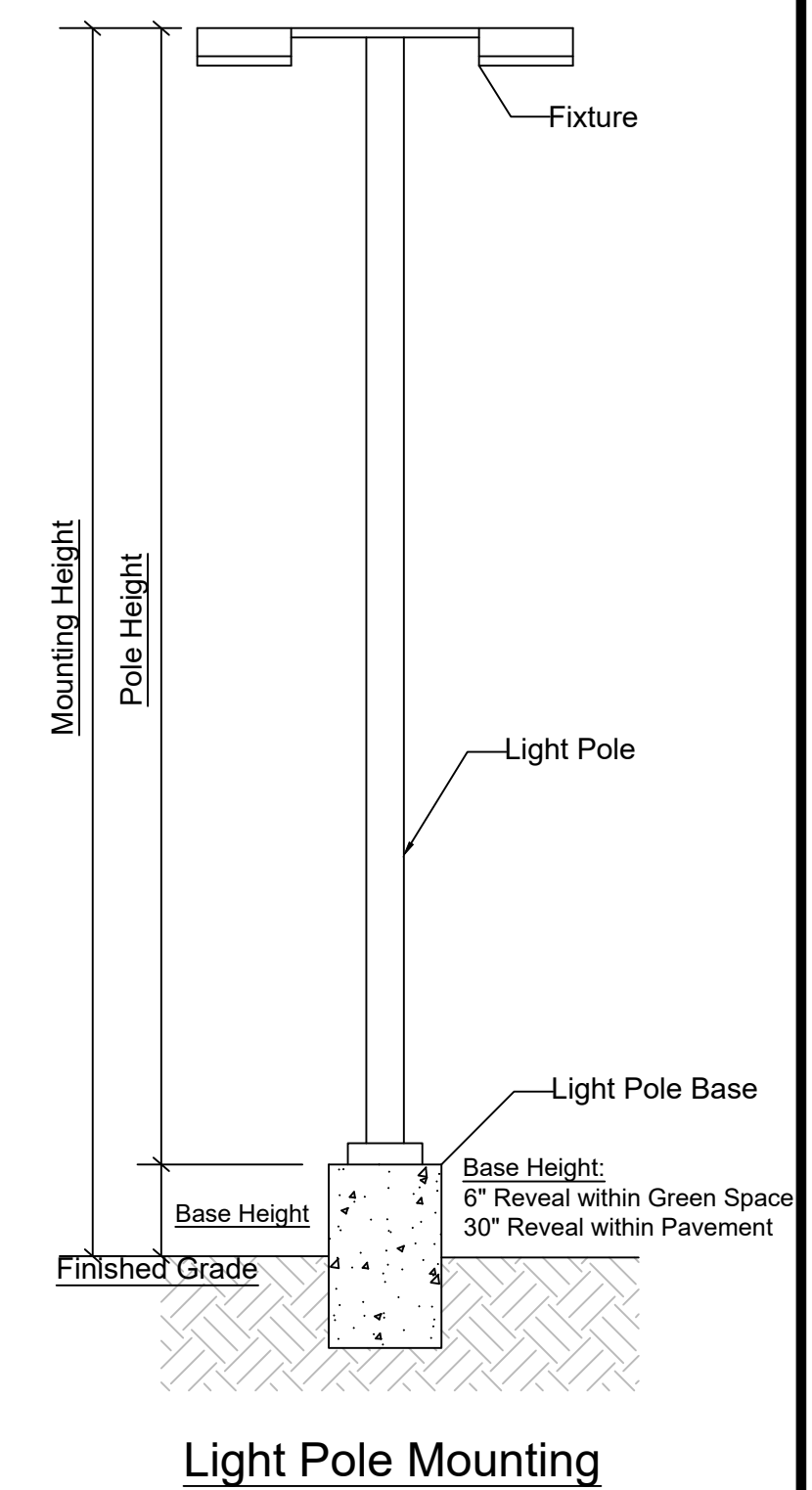


PAINTED TRAFFIC ARROWS



- NOTES:**
- FOR LOCATIONS OF FOUNDATIONS SEE SITE PLAN
 - FOR LIGHT FIXTURE ORDERING INFORMATION SEE SITE LIGHTING PLAN
 - LIGHT POLE BASE EXPOSURE ABOVE GRADE SHALL BE:
IN CURBED ISLANDS: 6" ABOVE TOP OF CURB ELEVATION
IN PAVEMENT: 30" ABOVE GRADE
IN NON-CURBED GRASS AREAS: 6" ABOVE GRADE

LIGHT POLE FOUNDATION



Light Pole Mounting

OFFICIAL TOWN USE ONLY

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

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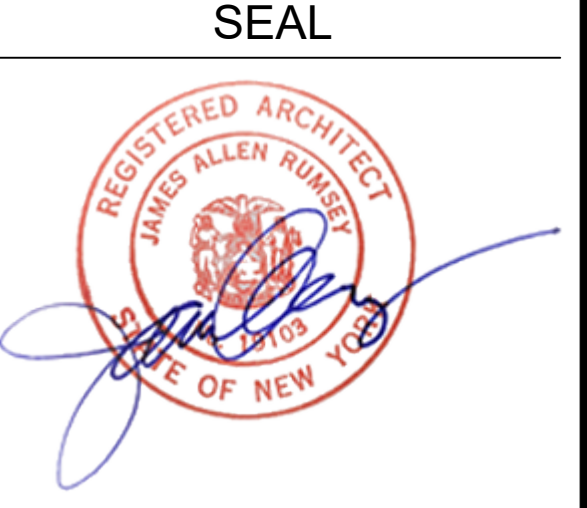
PROPERTY NUMBER: #1723
AREA: -

Amherst Development Park
6000 - 6040 North Bailey Ave
Amherst, NY 14226

PROPOSED SITE MODIFICATIONS

CONSULTANT

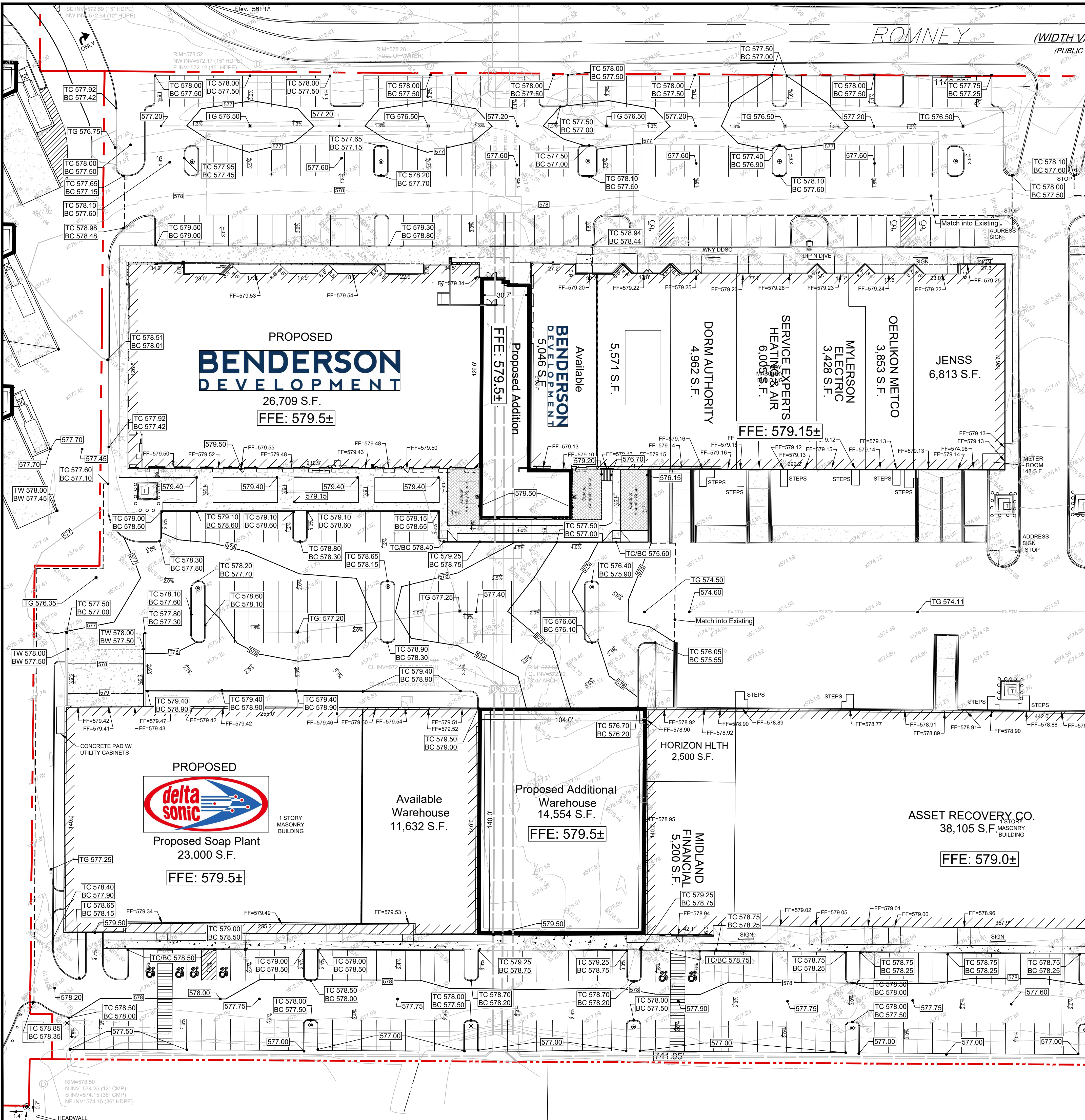
JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
BENDERSON DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211



TITLE: **Construction Details**

SCALE: NTS
DRAWN BY: DMZ
CHECKED BY: MAO
DATE: 11.08.2023

DRAWING NO. **C4.20**



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GRADING LEGEND:

- Property Line
- 6" Curb (typ.)
- ⊠ TG## Catch Basin - Top of Grade
- Proposed Contour Line
- ### Slope Direction

DRAWING REVISIONS:

No.	DATE	BY	REMARKS
1	11.16.2023	DZ	SWPPP Update

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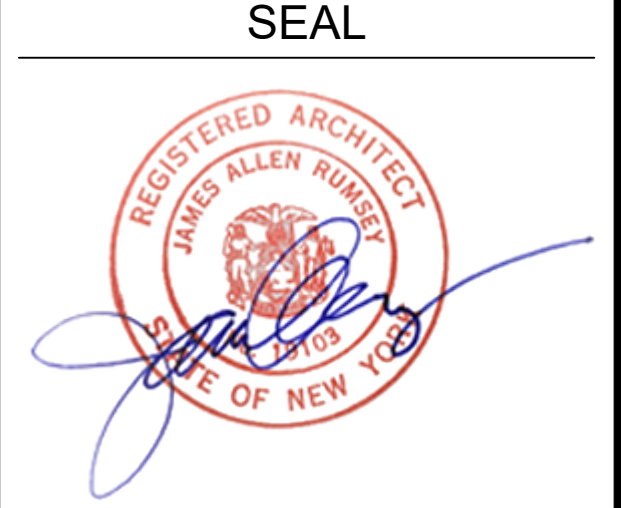
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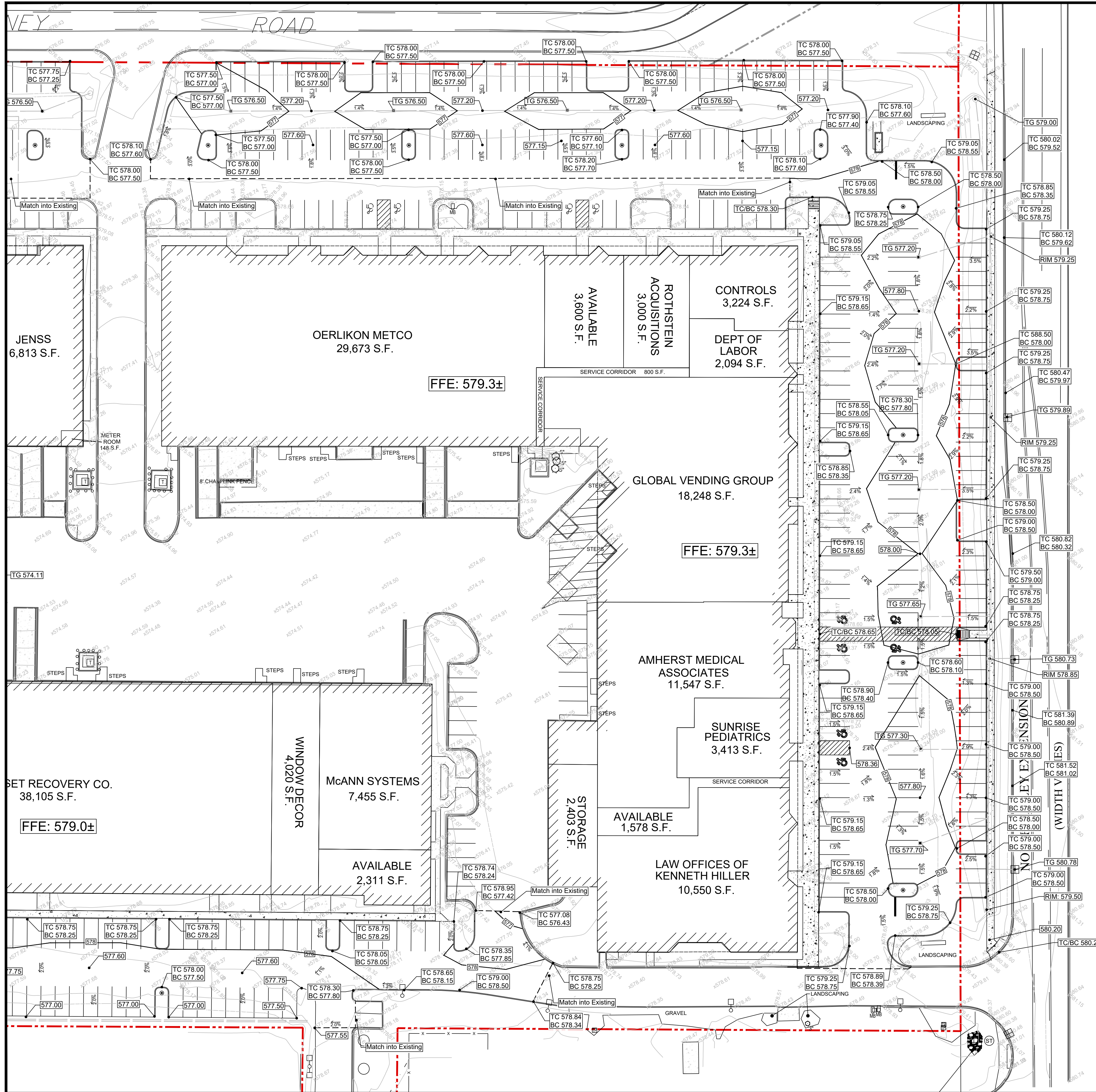
OFFICIAL TOWN USE ONLY

TITLE:
Grading Plan (West)

SCALE:
 1:30

DRAWN BY: DMZ
 CHECKED BY: MAO
 DATE: 11.08.2023

DRAWING NO.
C5.00



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- ⊠ Catch Basin - Top of Grade
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- ### Slope Direction

DRAWING REVISIONS:

No.	DATE	BY	REMARKS

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PROPERTY NUMBER: #1723
 AREA: -

Amherst Development Park
 6000 - 6040 North Bailey Ave
 Amherst, NY 14226

PROPOSED SITE MODIFICATIONS

CONSULTANT

JAMES ALLEN RUMSEY
 ARCHITECT
 PREPARED FOR
BENDERSON DEVELOPMENT
 570 DELAWARE AVE., BUFFALO, NY 14202
 (716) 886-0211



TITLE:
Grading Plan (East)

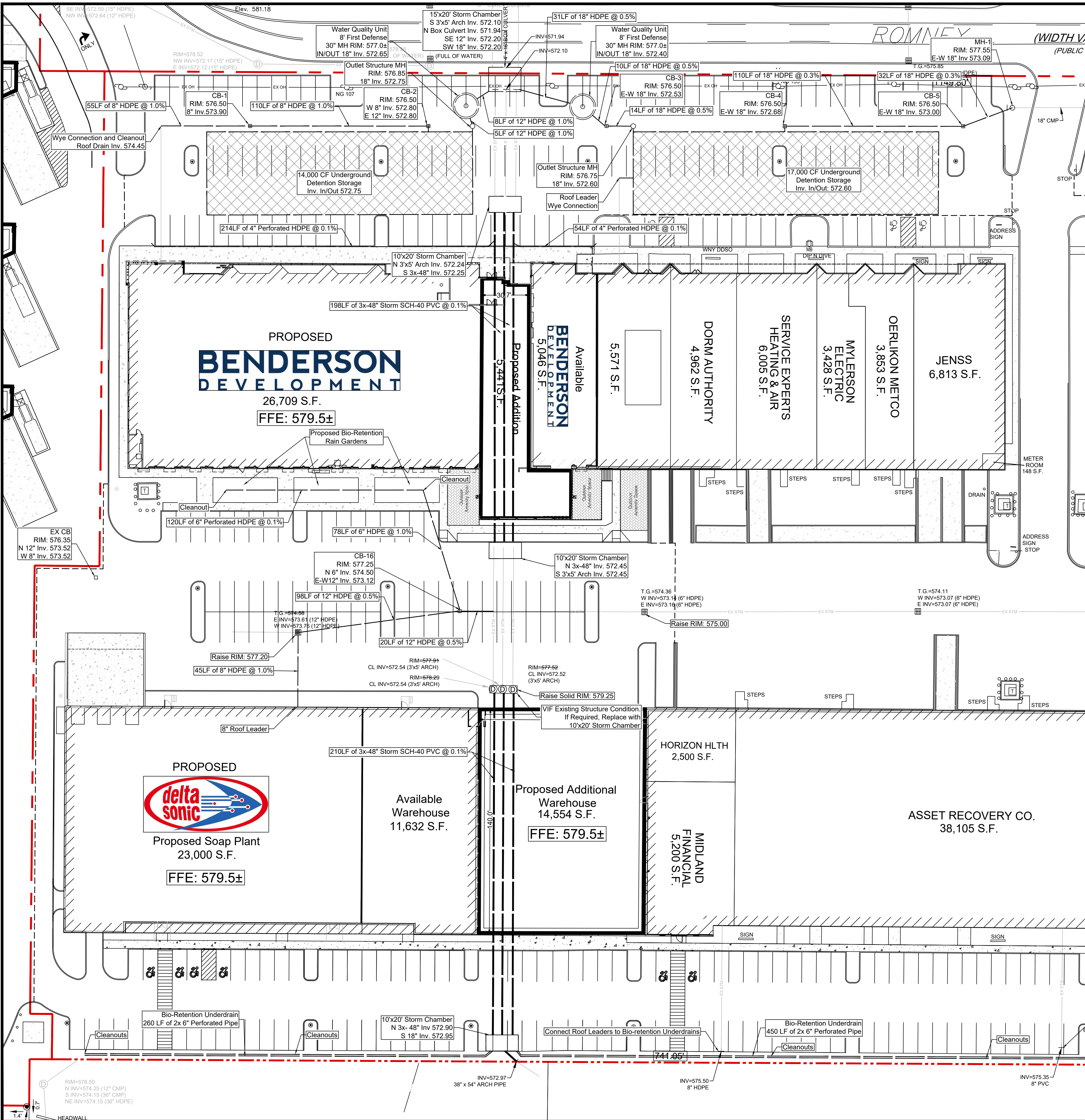
SCALE:
 1:30

DRAWN BY: DMZ
 CHECKED BY: MAO

DATE: 11.08.2023

DRAWING NO.: **C5.01**

OFFICIAL TOWN USE ONLY



- GENERAL NOTES:**
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 2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
 3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
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 - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLED WATER HAS DISSIPATED.
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 13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.

GRADING LEGEND:

- Property Line
- 6" Curb (typ.)
- ⊠ Catch Basin - Top of Grade
- ### Proposed Contour Line
- ### Slope Direction

DRAWING REVISIONS:

No.	DATE	BY	REMARKS

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SEAL

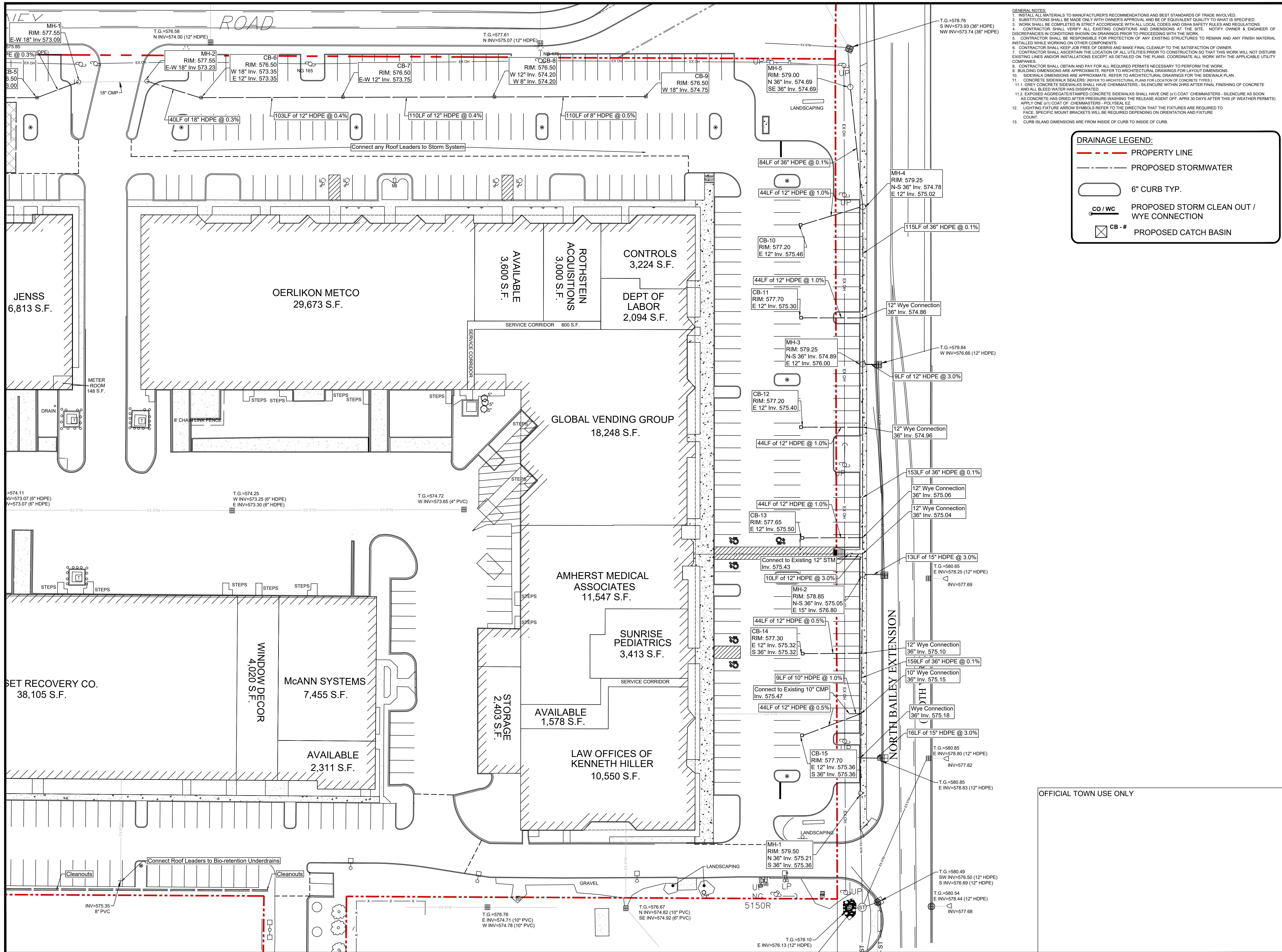
OFFICIAL TOWN USE ONLY

TITLE:
Drainage Plan (West)

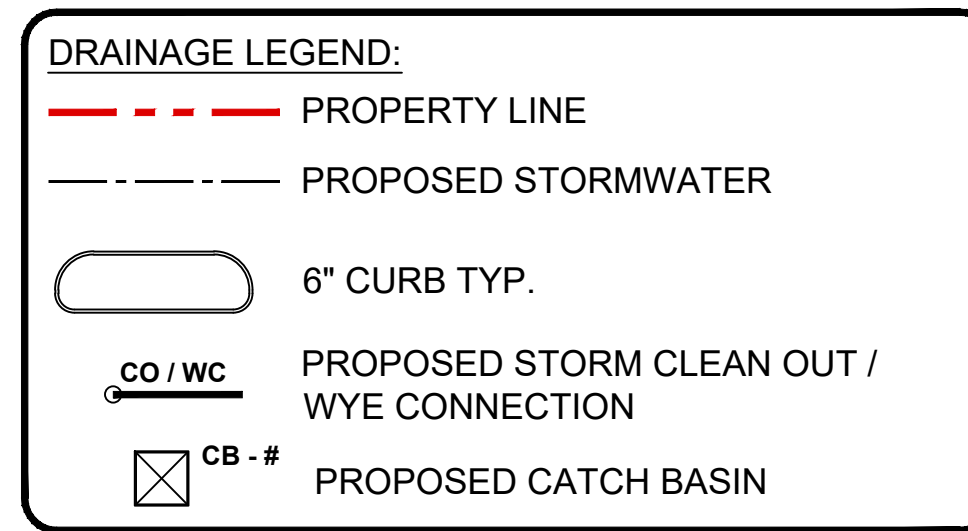
SCALE:
 1:30

DRAWN BY: DMZ
 CHECKED BY: MAO
 DATE: 11.08.2023

DRAWING NO.
C5.10



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SEAL

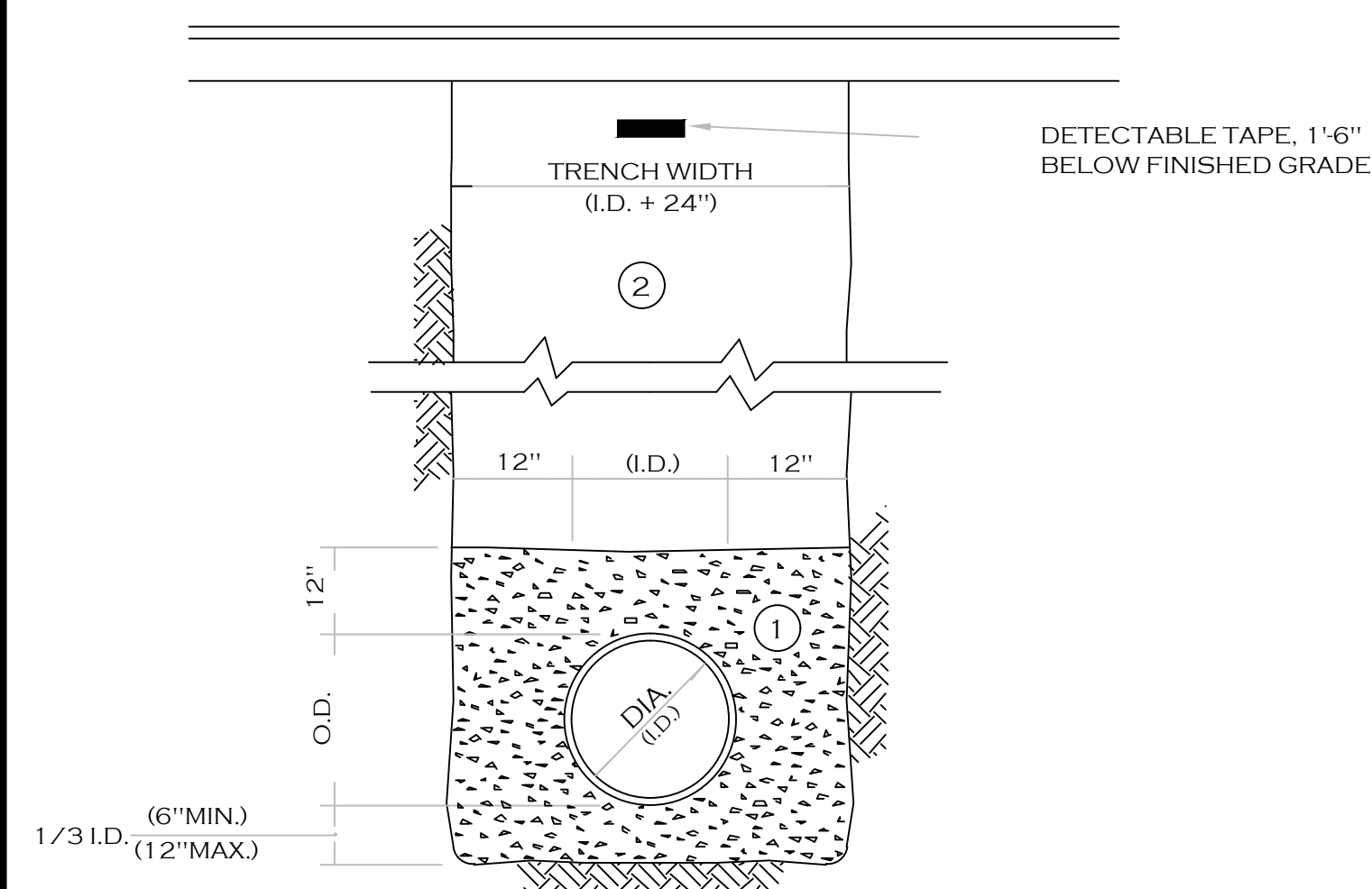


TITLE: **Drainage Plan (East)**

SCALE: 1:30
 DRAWN BY: DMZ
 CHECKED BY: MAO
 DATE: 11.08.2023

DRAWING NO. **C5.11**

OFFICIAL TOWN USE ONLY



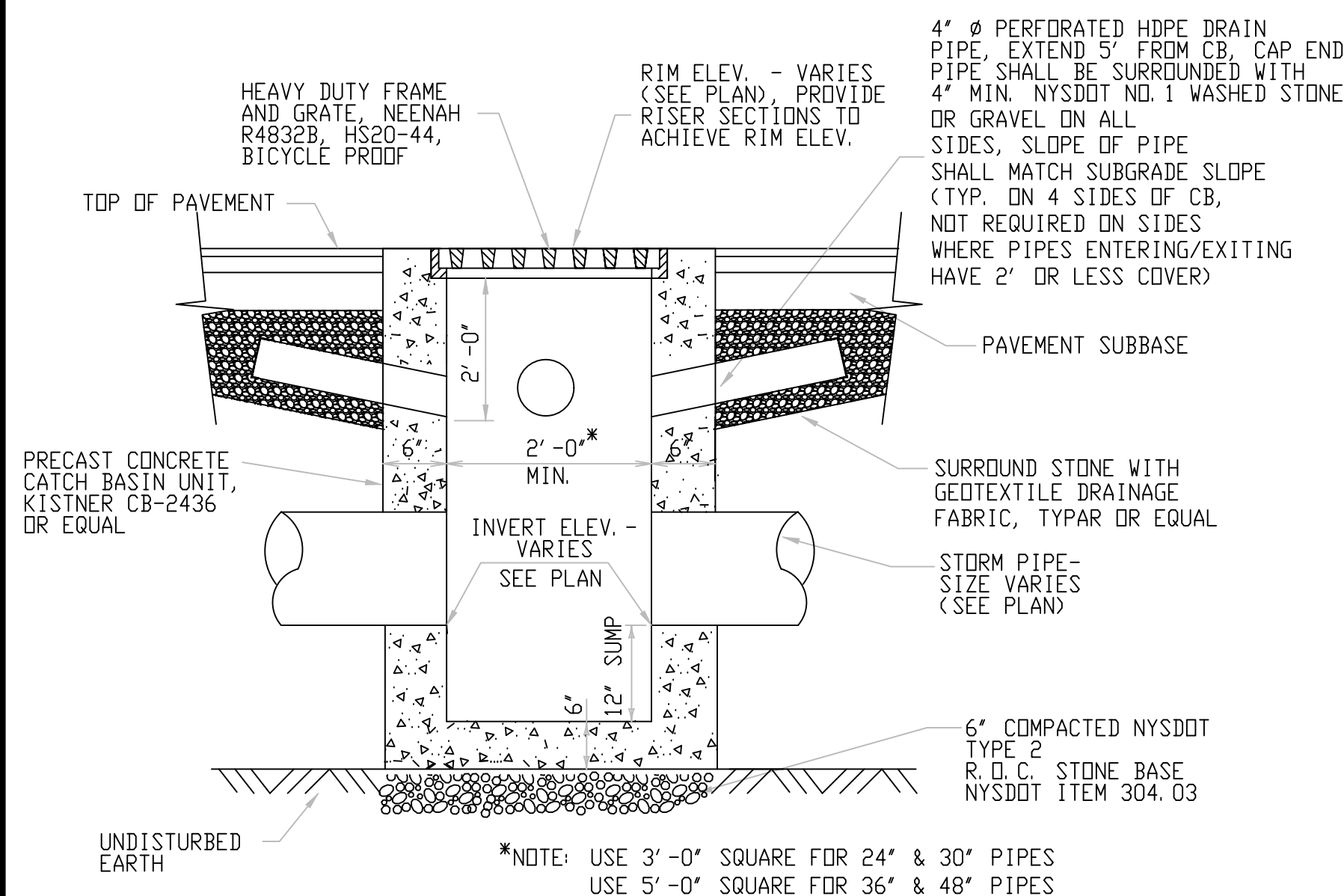
- NOTES:
- PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 - TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
 - TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
 - AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS.

MATERIALS

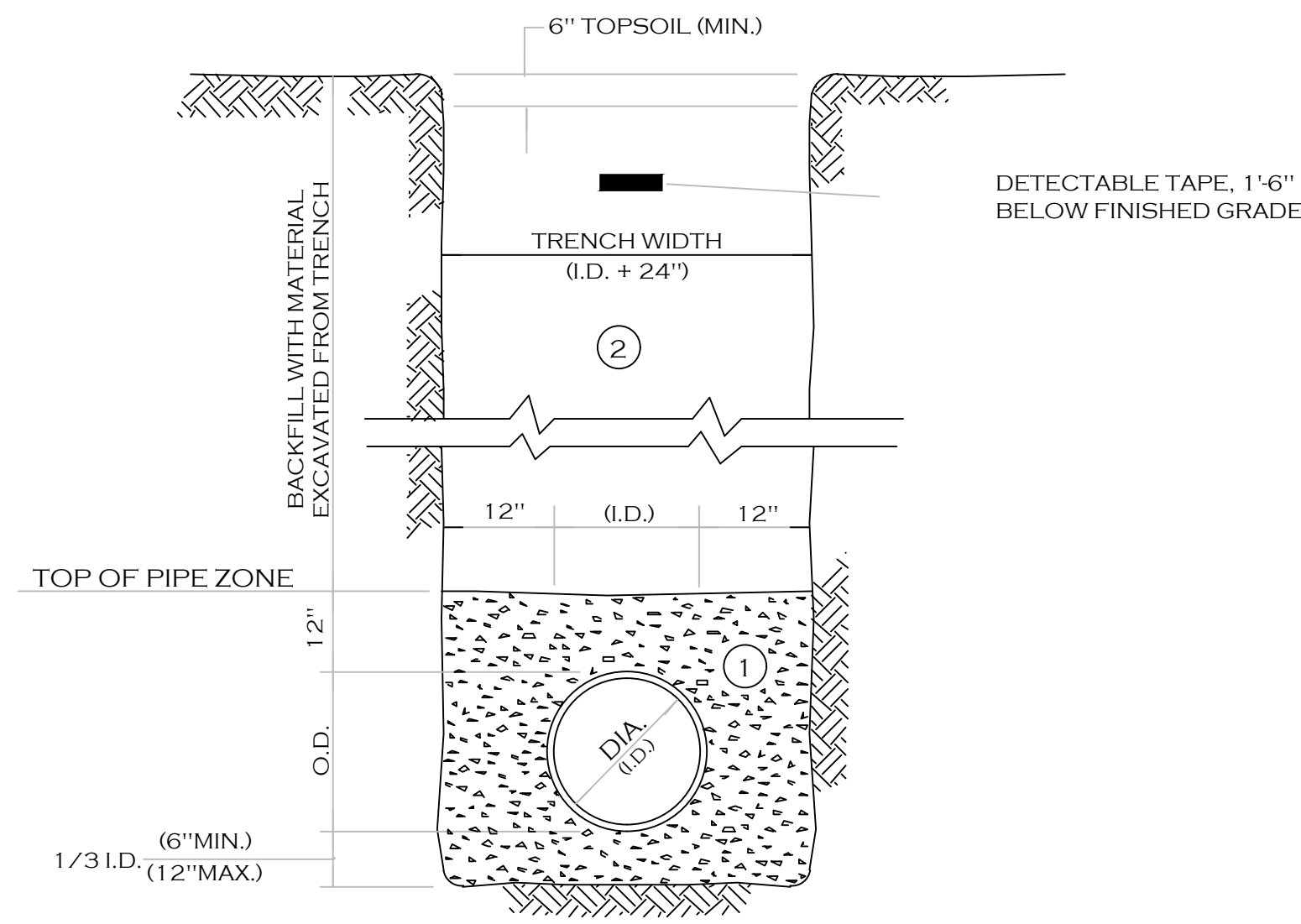
PIPE BEDDING MATERIAL (NYS DOT 1985 EDITION)

- NO. 1 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYSDOT SECTION 703.02. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
NO SLAG SHALL BE ALLOWED FOR MATERIAL 1
- TYPE 2 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYSDOT SECTION 304.2.02 TYPE 2. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN TWO INCHES AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
NO SLAG SHALL BE ALLOWED FOR MATERIAL 2

TRENCH SECTION IN PAVED AREAS



TYPICAL PRECAST CATCH BASIN



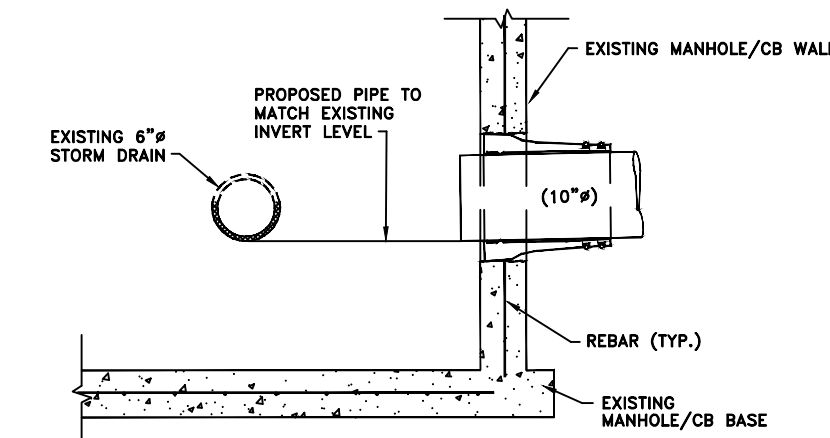
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MATERIALS

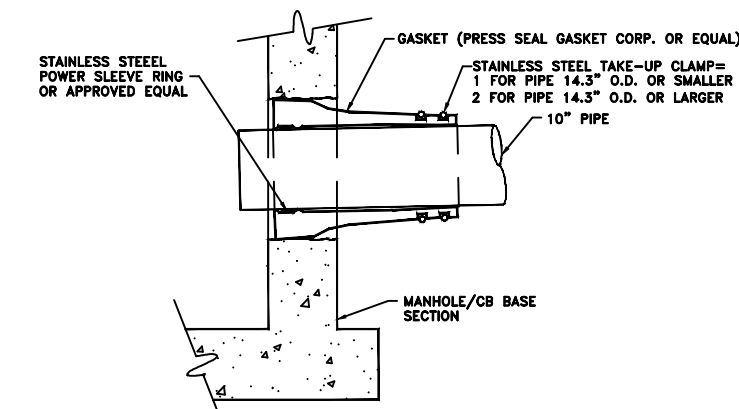
PIPE BEDDING MATERIAL (NYS DOT 1985 EDITION)

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NO SLAG SHALL BE ALLOWED FOR MATERIAL 1
- BACKFILL MATERIAL SHALL BE NATIVE SOIL CONTAINING NO UNSUITABLE MATERIAL COMPACTED IN 6" LIFTS.

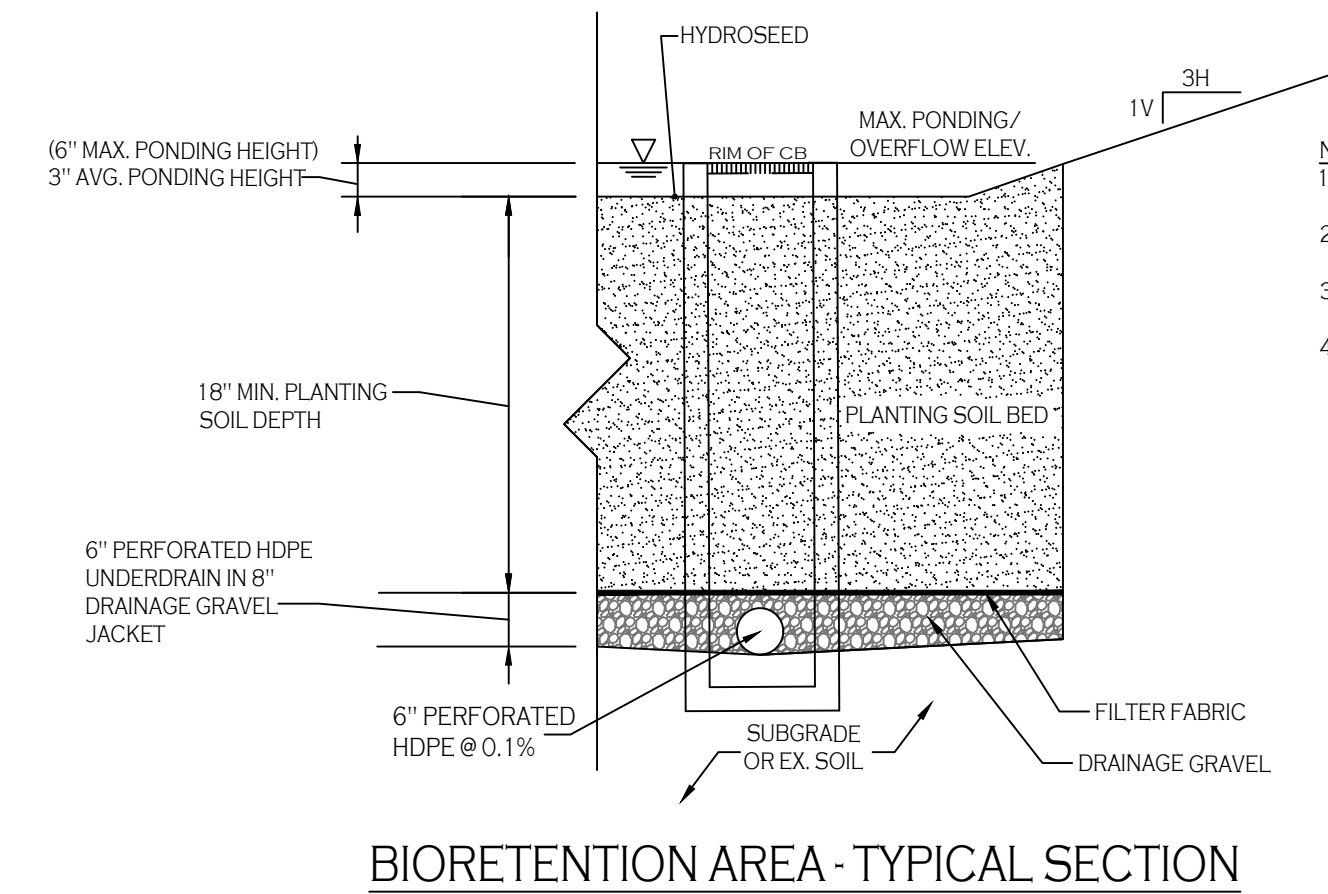
TRENCH SECTION IN UNPAVED AREAS



- NOTES:
- CORE DRILL ENTRANCE HOLE IN PRECAST MANHOLE BARREL, BASE AND/OR BENCH FOR REQUIRED PIPE CLEARANCE. PER MANUFACTURERS RECOMMENDATIONS.
 - DOES NOT APPLY TO HOUSE LATERALS.
 - WATER TIGHT PIPE TO MANHOLE BOOT SEAL REQUIRED FOR ALL CORE DRILLED ENTRANCE HOLES IN MANHOLE BARREL AS SHOWN BELOW.



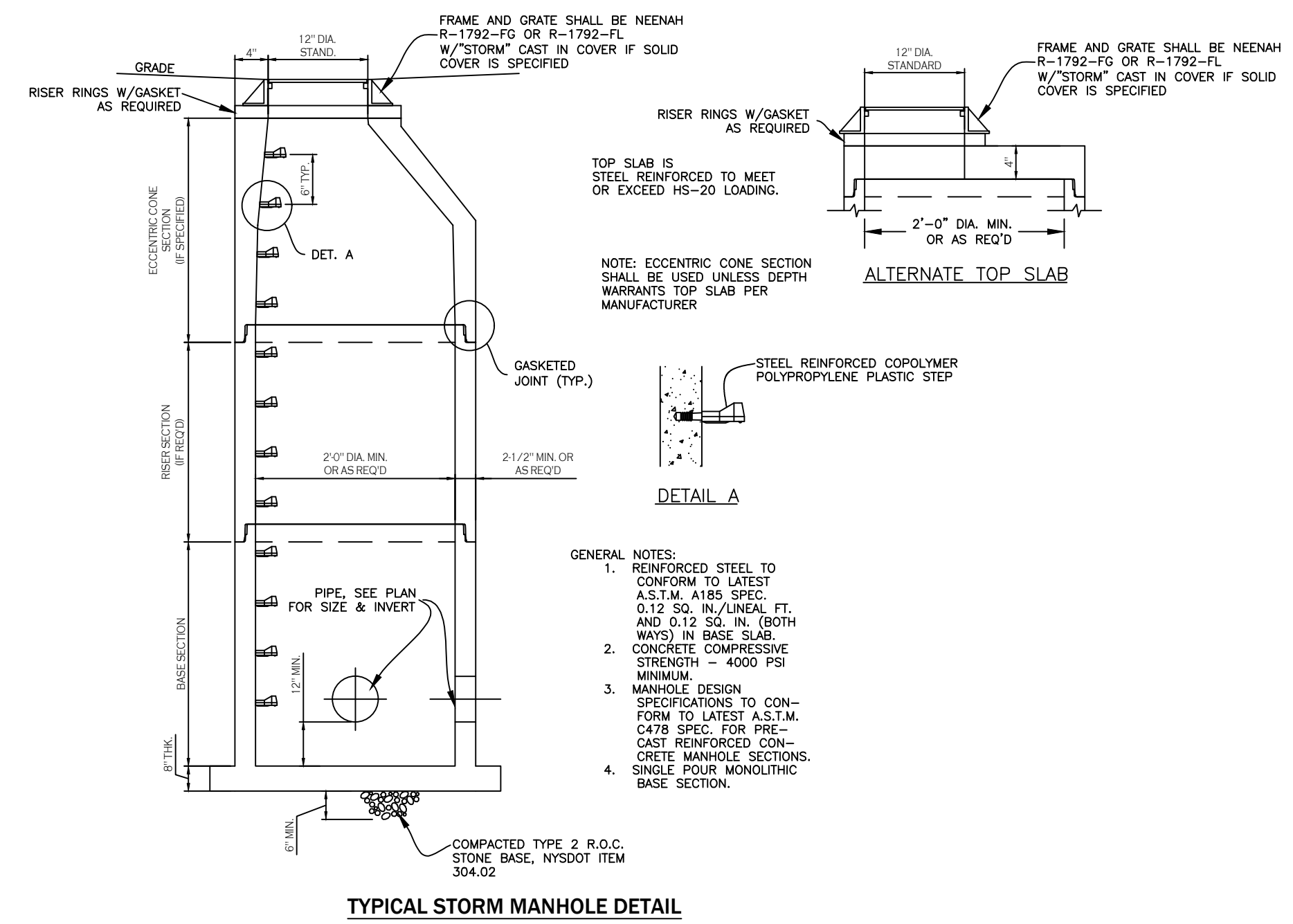
CONNECTION TO EXISTING MANHOLE/CB



BIORETENTION AREA - TYPICAL SECTION

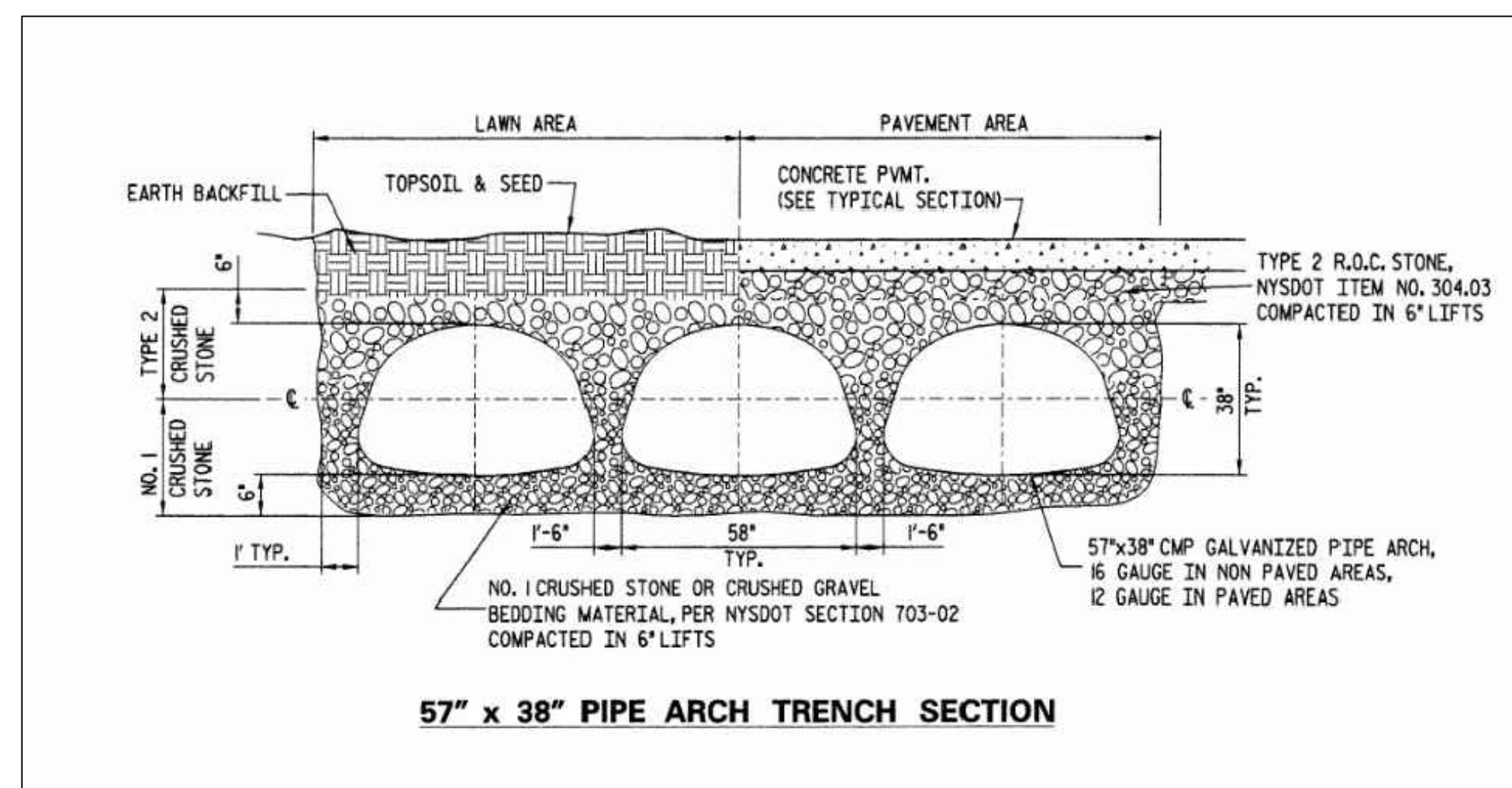
BIORETENTION AREA SEEDING SPEC (NORTHEAST WETLAND GRASS SEED MIX):

SEED MIXTURE	VARIETY	PERCENT BY NO. OF SEEDS
CREeping BENTGRASS	AGROSTIS STOLONIFERA	63.0
POA TRIVIALIS	POA TRIVIALIS	17.0
MEADOW FORTAL	ALOPECURUS ARLUNDINACEUS	11.0
ANNUAL RYEGRASS	LOLIUM MULTIFLORUM	4.5
DEERTONGUE	PANICUM CLAUDESTINUM	4.5



TYPICAL STORM MANHOLE DETAIL

- GENERAL NOTES:
- REINFORCED STEEL TO CONFORM TO LATEST A.S.T.M. A185 SPEC. 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) IN BASE SLAB. MINIMUM STRENGTH = 4000 PSI
 - CONCRETE COMPRESSIVE STRENGTH = 4000 PSI
 - MANHOLE DESIGN SPECIFICATIONS TO CONFORM TO LATEST A.S.T.M. C478 SPEC FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS. SINGLE POUR MONOLITHIC BASE SECTION.



57" x 38" PIPE ARCH TRENCH SECTION

DRAWING REVISIONS:

No.	DATE	BY	REMARKS

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SEAL

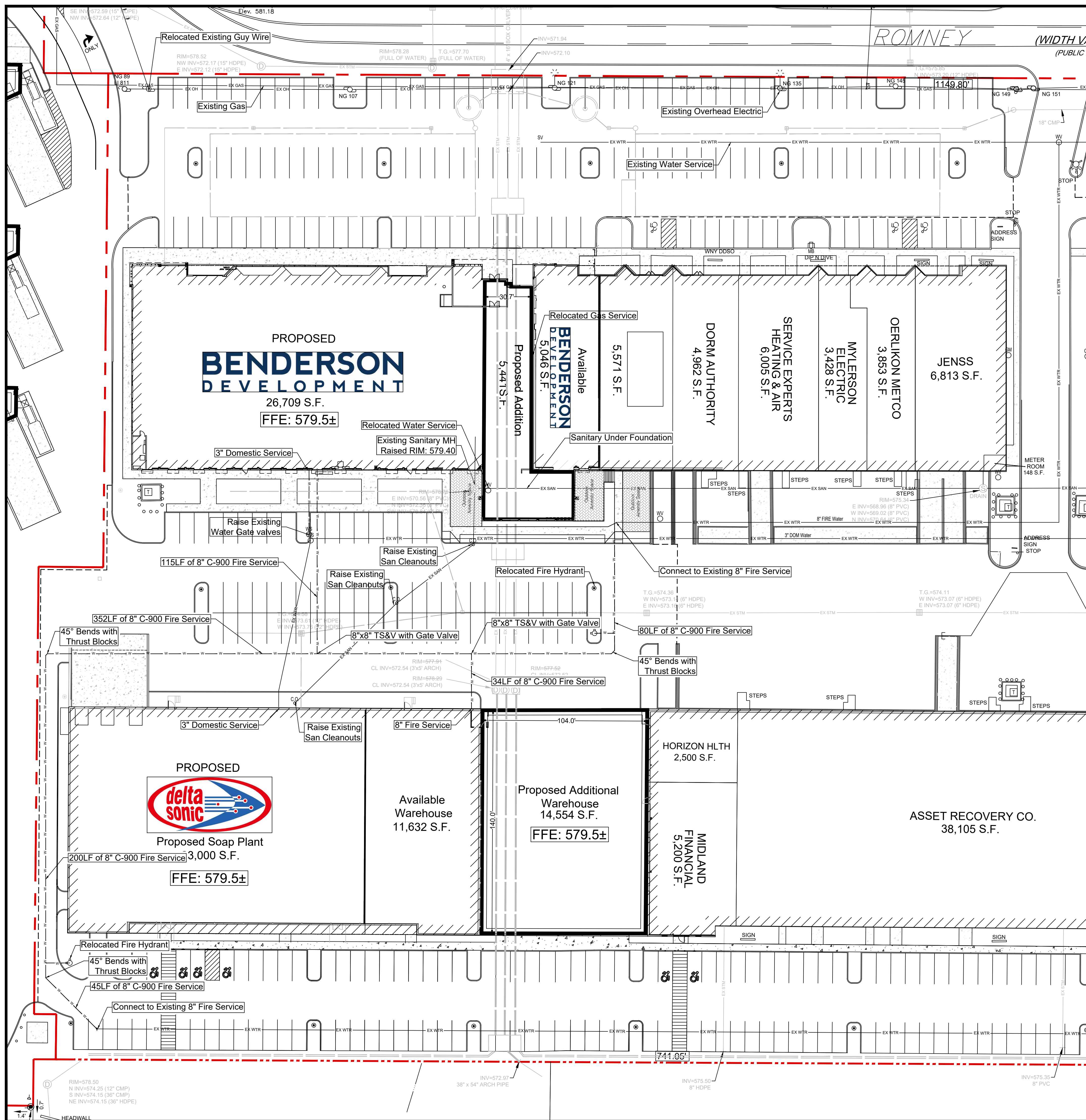
REGISTERED ARCHITECT
JAMES ALLEN RUMSEY
NOV 1993
STATE OF NEW YORK

TITLE: **Drainage Details**

SCALE: NTS
DRAWN BY: DMZ
CHECKED BY: MAO
DATE: 11.08.2023

DRAWING NO. **C5.20**

OFFICIAL TOWN USE ONLY



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 3. CONSTRUCTION SHALL CONFORM TO THE RULES AND REGULATIONS OF THE TOWN AND NEW YORK STATE CODES.
 4. IF ANY PROPOSED SEWER LATERAL RUNS UNDER PAVED AREA AND HAS LESS THAN 4" COVER, CONCRETE ENCASUREMENT IS REQUIRED. IF MORE THAN 4" COVER IS PROVIDED IN PAVED AREAS SELECT FILL IS REQUIRED.
 5. THE CONTRACTOR MUST NOTIFY THE TOWN ENGINEER OFFICE AND THE PLUMBING INSPECTOR 24 HOURS IN ADVANCE OF CONSTRUCTION.
 6. CLEANOUTS ARE REQUIRED EVERY 100' AND AT CHANGE IN DIRECTION.
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 4. WATER MAINS TO HAVE MINIMUM 8FT COVER.

DRAWING REVISIONS:

No.	DATE	BY	REMARKS
1	11.16.2023	DZ	SWPPP Update

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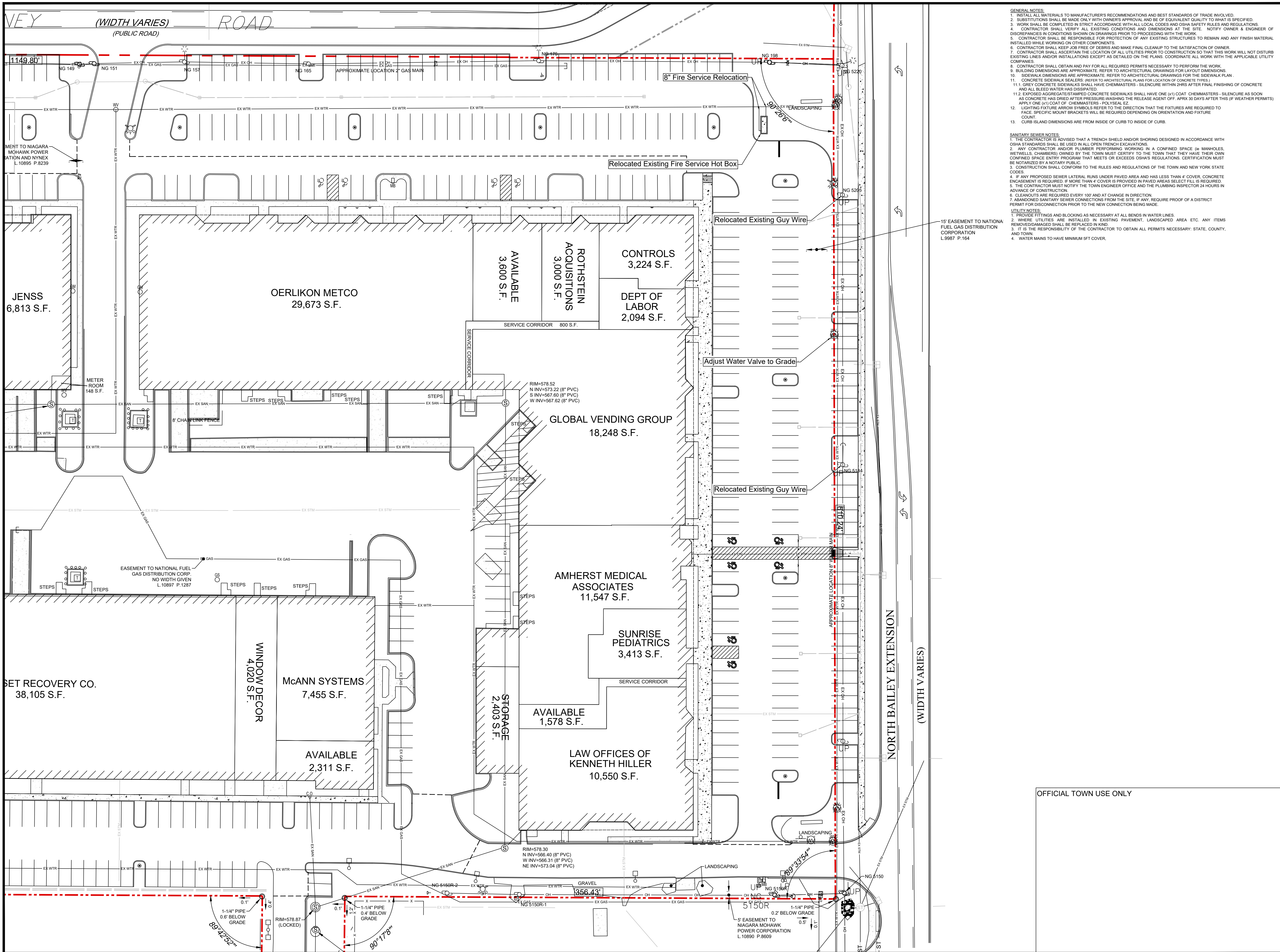
SEAL

OFFICIAL TOWN USE ONLY

TITLE: **Utility Plan (West)**

SCALE: 1:30
 DRAWN BY: DMZ
 CHECKED BY: MAO
 DATE: 11.08.2023

DRAWING NO. **C6.00**



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16' EASEMENT TO NATIONAL FUEL GAS DISTRIBUTION CORPORATION L.9967 P.164

DRAWING REVISIONS:

No.	DATE	BY	REMARKS

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NOTICE
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PROPERTY NUMBER: #1723 AREA: -


Amherst Development Park
 6000 - 6040 North Bailey Ave
 Amherst, NY 14226

PROPOSED
SITE MODIFICATIONS

CONSULTANT

JAMES ALLEN RUMSEY
 ARCHITECT
 PREPARED FOR
BENDERSON DEVELOPMENT
 570 DELAWARE AVE., BUFFALO, NY 14202
 (716) 886-0211

SEAL

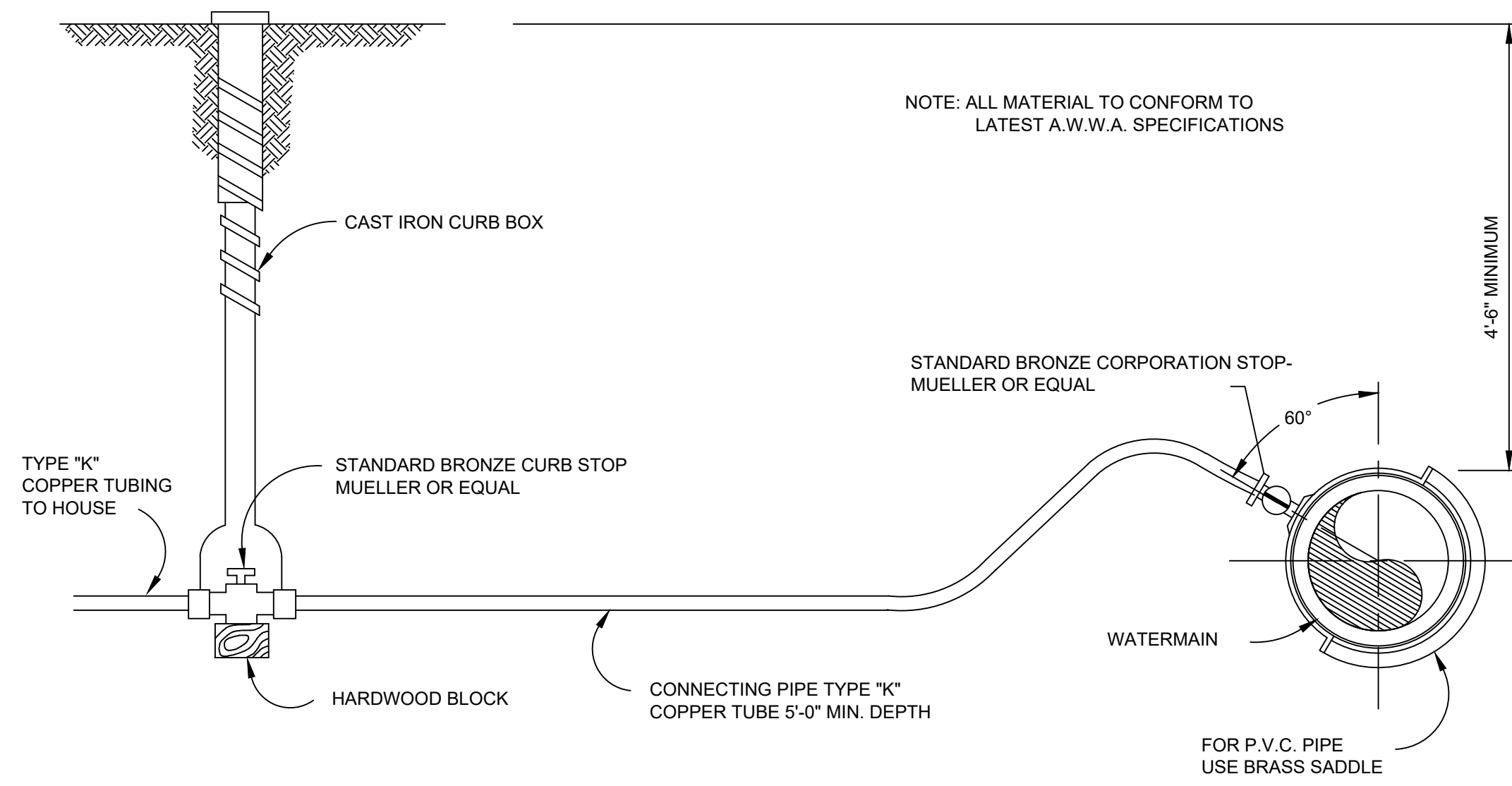


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Utility Plan (East)

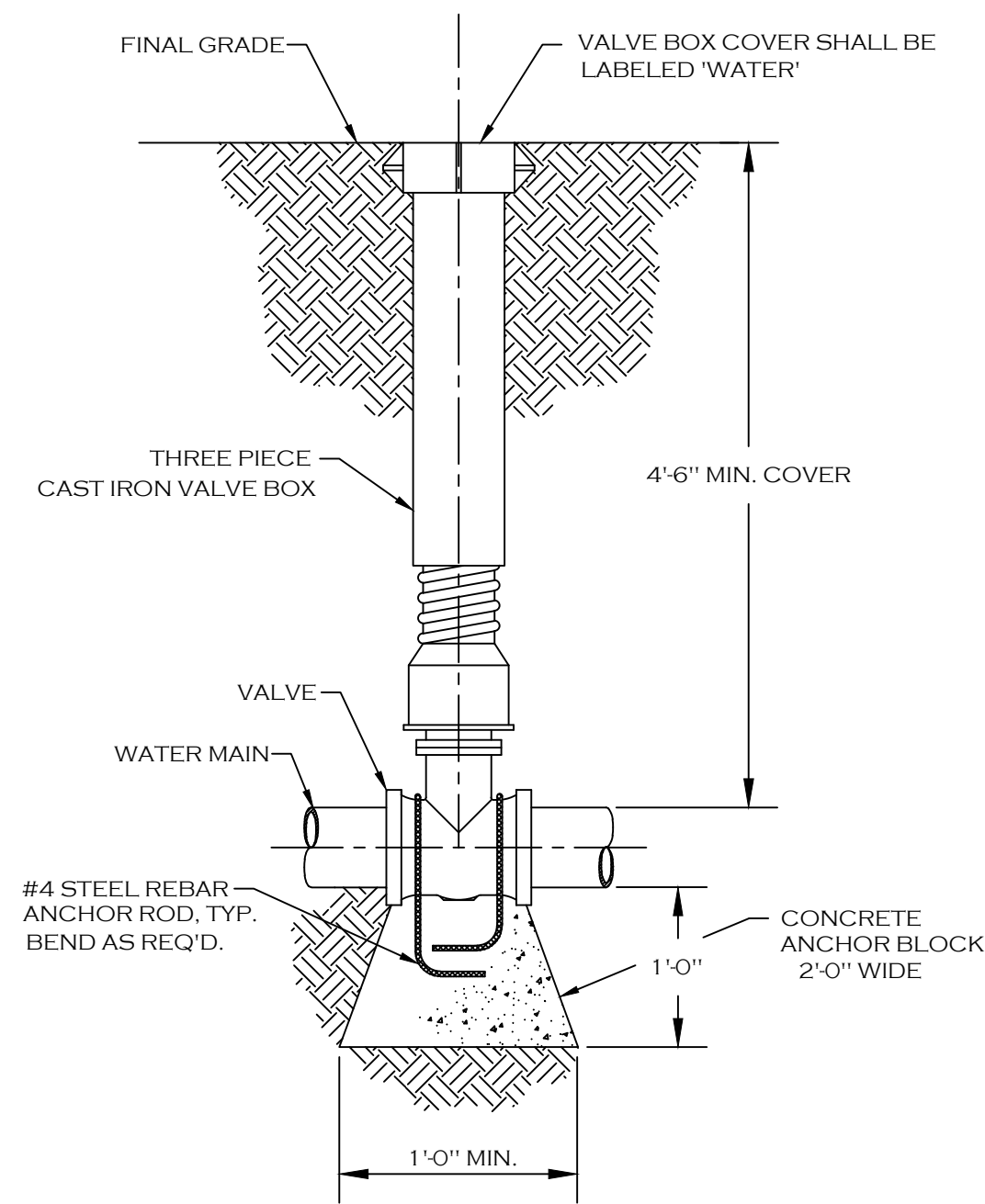
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 CHECKED BY: MAO
 DATE: 08.16.2023

C6.01

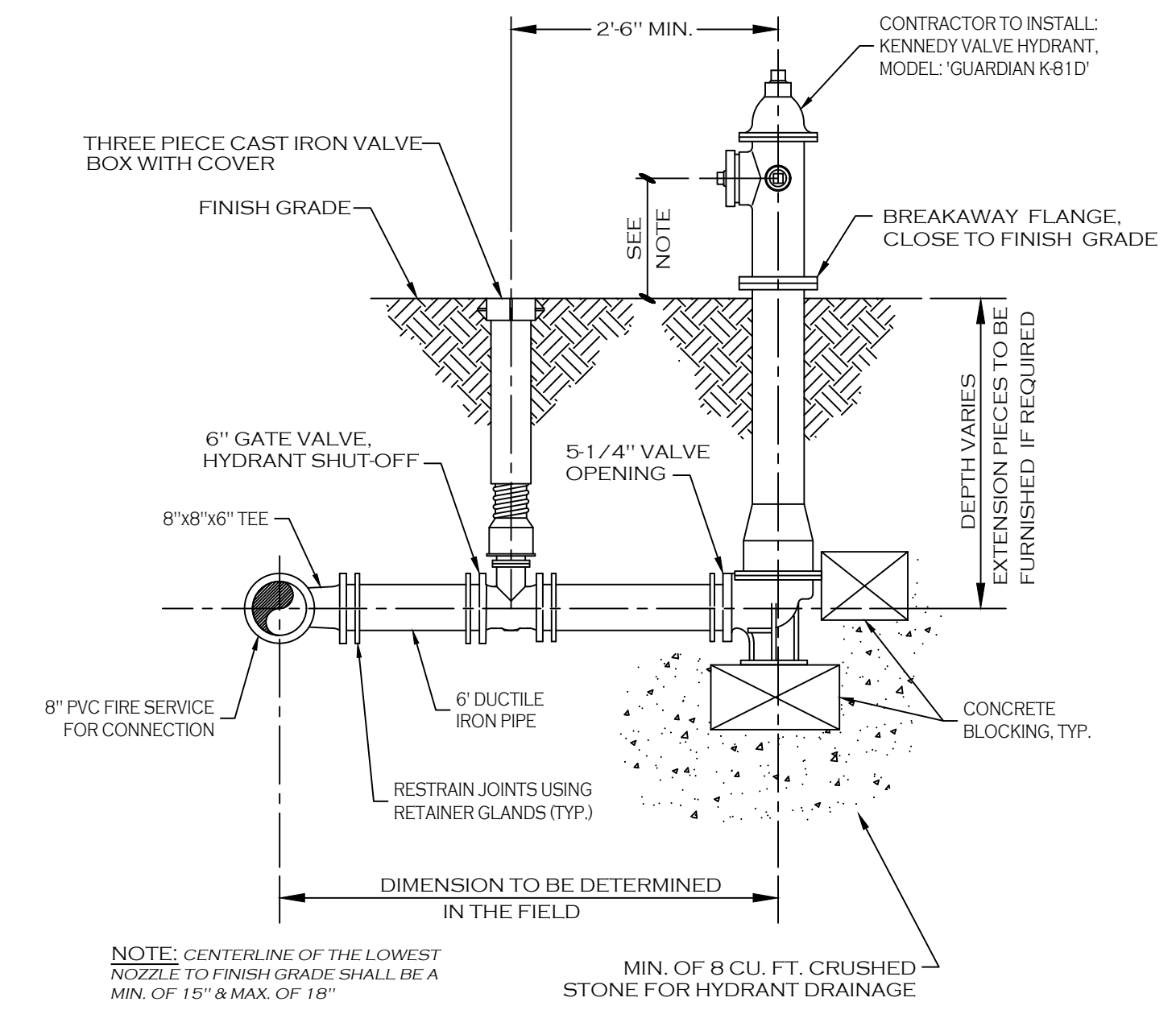
OFFICIAL TOWN USE ONLY



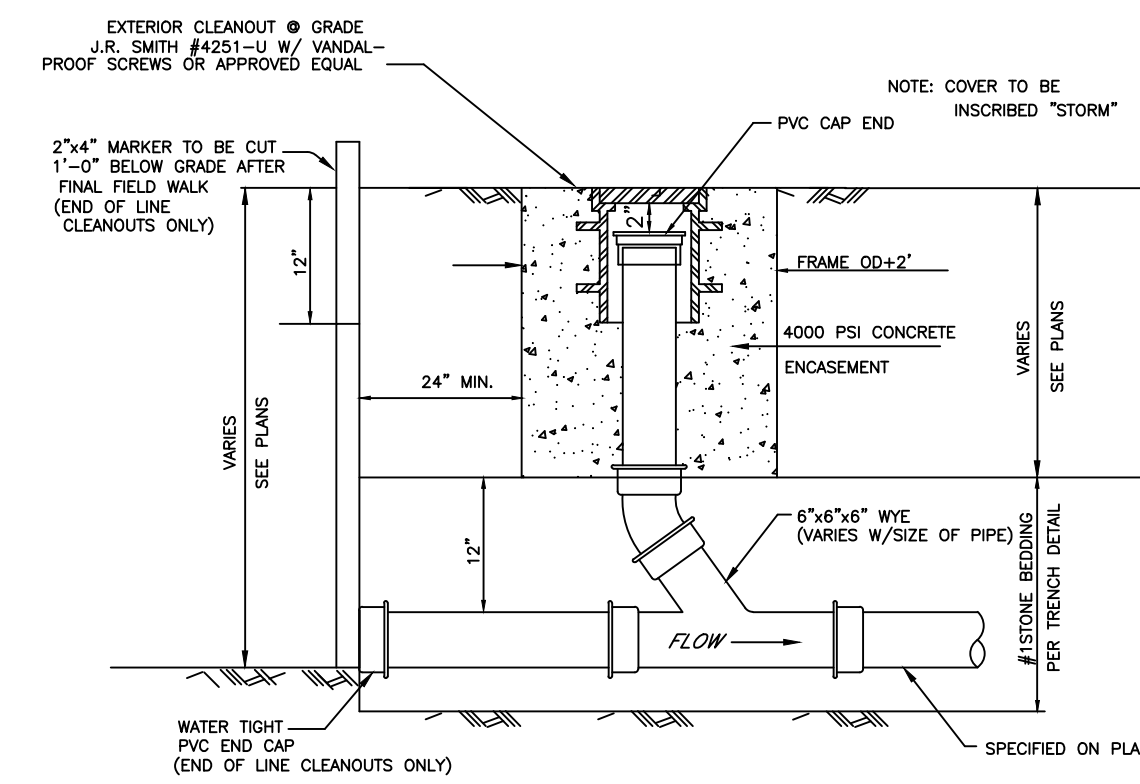
TYPICAL WATER SERVICE LINE INSTALLATION



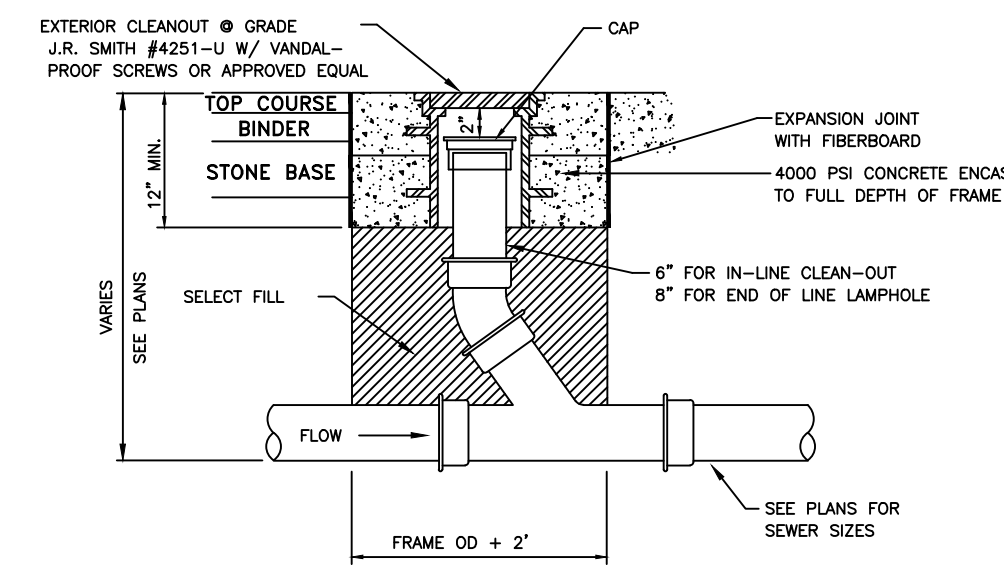
TYPICAL GATE VALVE DETAIL



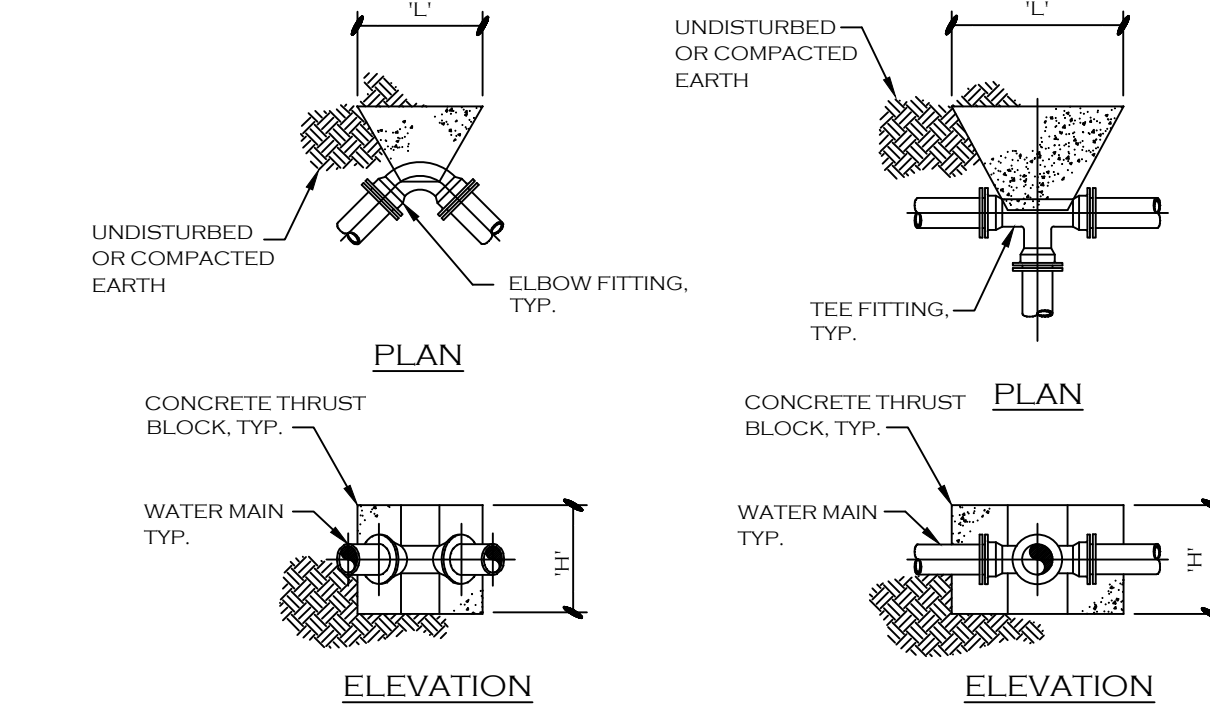
TYPICAL FIRE HYDRANT ASSEMBLY DETAIL



CLEANOUT IN LANDSCAPED AREAS
NOT TO SCALE



CLEANOUT IN PAVED AREAS
NOT TO SCALE



DIMENSION SCHEDULE

PIPE SIZE	90° ELBOW		45° ELBOW		22.5° ELBOW		11.25° ELBOW	
	'H'	'L'	'H'	'L'	'H'	'L'	'H'	'L'
4"	1.5'	2.0'	1.0'	2.0'	1.0'	1.0'	1.0'	1.0'
6"	2.0'	2.5'	1.5'	2.0'	1.0'	1.5'	1.0'	1.5'
8"	2.5'	3.5'	2.0'	2.5'	1.5'	1.5'	1.0'	2.0'
10"	3.0'	4.5'	2.5'	3.0'	1.5'	3.0'	1.0'	2.5'
12"	3.5'	5.0'	3.0'	3.5'	2.5'	2.5'	1.5'	2.5'

DIMENSION SCHEDULE

PIPE SIZE	TEE OR TAP SLEEVE	
	'H'	'L'
4"	1.5'	1.0'
6"	1.5'	2.5'
8"	1.5'	3.5'
10"	2.5'	3.5'
12"	3.5'	3.5'

THRUST BLOCK SCHEDULE
WATER MAIN

OFFICIAL TOWN USE ONLY

DRAWING REVISIONS:

No.	DATE	BY	REMARKS

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PROPERTY NUMBER: #1723
AREA: -

Amherst Development Park
6000 - 6040 North Bailey Ave
Amherst, NY 14226

PROPOSED SITE MODIFICATIONS

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

BENDERSON DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

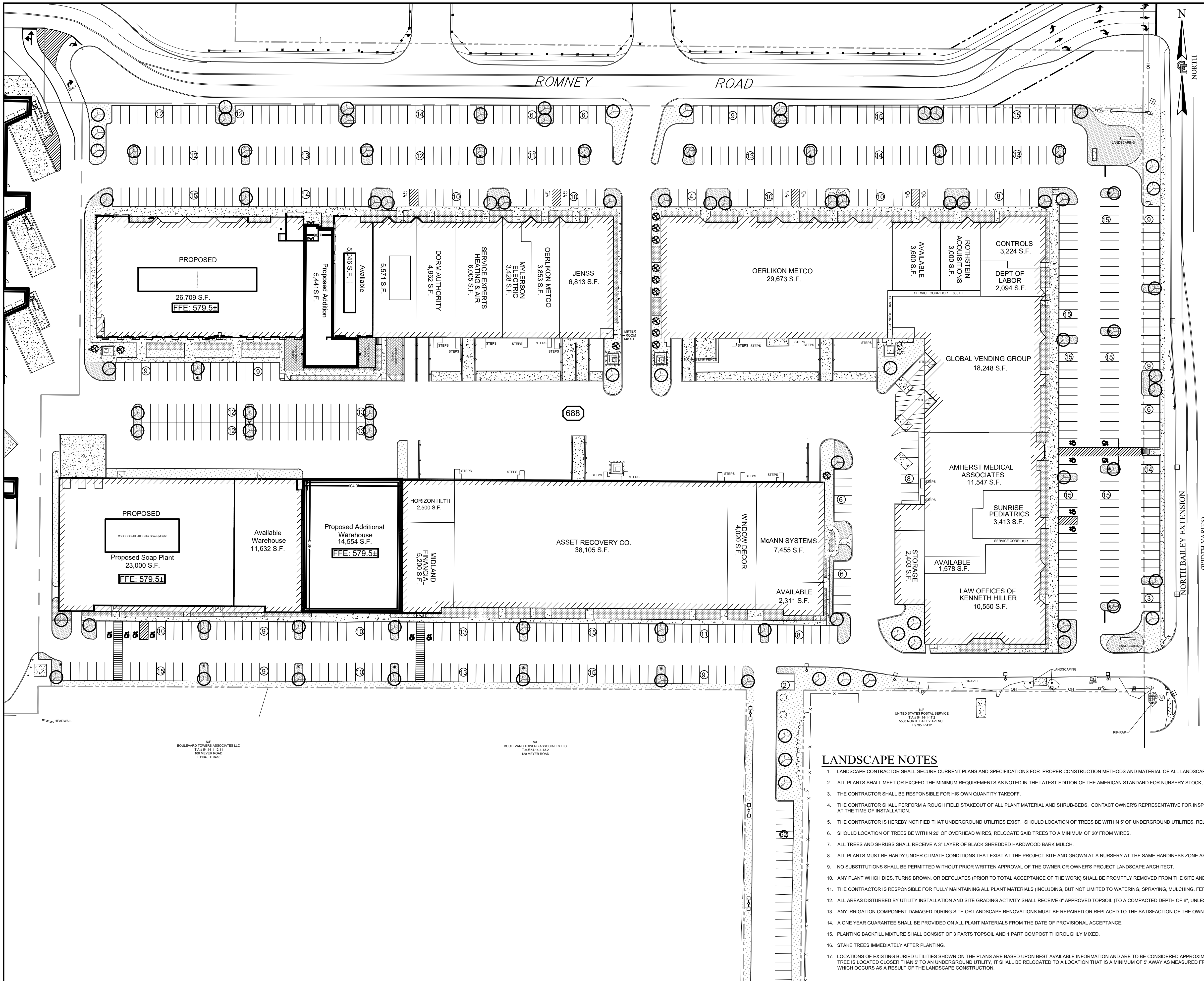
SEAL



TITLE:
Utility Details

SCALE:
NTS
DRAWN BY: DMZ
CHECKED BY: MAO
DATE: 11.08.2023

DRAWING NO.
C6.10



FOUNDATION PLANT PALETTE

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE SIZE
EVERGREEN TREES						
To		THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6-8' HT.	BB	HT. 15', SP. 3-4'
ORNAMENTAL TREES						
Ag		AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	6-8' HT.	BB	HT. 15-25', SP. 15-25'
Cf		CORNUS FLORIDA	FLOWERING DOGWOOD	6-8' HT.	BB	HT. 15-30', SP. 15-30'
SHRUBS						
Ig		ILEX GLABRA 'STRONG BOX'	STRONGBOX INKBERY HOLLY	HT. 24" MIN	BB	HT. 2'-3', SP. 2'-3'
Iv		ITEA VIRGINICA	VIRGINIA SWEETSPIRE	HT. 24" MIN	CONT.	HT. 3'-5', SP. 4'-6'
Ra		ROSA 'RADTKO'	DOUBLE KNOCKOUT ROSE	NO. 3 (24" MIN)	CONT.	HT. 2'-5', SP. 6'-8'
Tx		TAXUS X MEDIA 'DENSIFORMIS'	DENSE SPREADING YEW	HT. 24" MIN	CONT.	HT. 3'-4', SP. 4'-6'
Vi		VIBURNUM CARLESII 'KOREAN SPICE'	KOREAN SPICE VIBURNUM	HT. 24" MIN	CONT.	HT. 3'-5', SP. 4'-5'
PERENNIALS & GRASSES						
Ca		CALAMAGROSTIS X ACUTIFLORA 'KARL FÖRSTER'	FEATHER REED GRASS	NO. 2	CONT.	HT. 4'-6', SP. 2'-3'
Ha		HAKONECHLOA MACRA 'ALL GOLD'	ALL GOLD JAPANESE FOREST GRASS	NO. 3	CONT.	HT. 1.5', SP. 1.5'
Hm		HEUCHERA MICRANTHA 'PALACE PURPLE'	CORAL BELLS PALACE PURPLE	NO. 2	CONT.	HT. 2', SP. 1.5'
Nf		NEPETA HYBRID 'CATS PAJAMAS'	CAT'S PAJAMA'S CATMINT	NO. 3	CONT.	HT. 18-20" SP. 18-20"
Pv		PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCHGRASS	NO. 2	CONT.	HT. 3'-4', SP. 3'-4'
Ss		SEDUM 'AUTUMN JOY'	AUTUMN JOY STONE CROP SEDUM	NO. 2	CONT.	HT. 18-24", SP. 18-24"

ABBREVIATIONS:
 BB-BALLED & BURLAPPED
 BR-BARE ROOT
 CAL-CALIPER IN INCHES
 CONT.-CONTAINER
 HT-HEIGHT
 NO-#-GALLON SIZE
 SP-SPREAD
 - CALIPER TO BE MEASURED 6" ABOVE GRADE
 - PLANT SYMBOLS REPRESENT 2/3 MATURE SIZE

PARKING LOT PLANT PALETTE

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE SIZE
EVERGREEN TREES						
Pm		PSUEDOTSUGA MENZIESII	DOUGLAS FIR	6-7' HT.	BB	HT. 40-80', SP. 12-20'
To		THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6-8' HT.	BB	HT. 15', SP. 3-4'
DECIDUOUS TREES						
Gt		GLEDITSIA TRIACANTHOS INERM.	THORNLESS HONEY LOCUST	2.5-3" CAL.	BB	HT. 60-80', SP. 60-80'
Zs		ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	2.5-3" CAL.	BB	HT. 45', SP. 15'
SHRUBS						
Am		ARONIA MELANOCARPA	LOWSCAPE MOUND CHOKEBERRY	NO. 3 (24" MIN)	CONT.	HT. 1'-2', SP. 1.5'-2'
Iv		ITEA VIRGINICA	VIRGINIA SWEETSPIRE	HT. 24" MIN	CONT.	HT. 3'-5', SP. 4'-6'
Rm		ROSA MEIGALPIO	RED DRIFT GROUNDCOVER ROSE	NO. 3 (24" MIN)	CONT.	HT. 1-1.5', SP. 2-2.5'
Ra		ROSA 'RADTKO'	DOUBLE KNOCKOUT ROSE	NO. 3 (24" MIN)	CONT.	HT. 2'-5', SP. 6'-8'
Sj		SPIRAEA JAPONICA 'GOLDMOUND'	GOLDMOUND SPIREA	HT. 24" MIN	CONT.	HT. 2'-3', SP. 4'
Tx		TAXUS X MEDIA 'DENSIFORMIS'	DENSE SPREADING YEW	HT. 24" MIN	CONT.	HT. 3'-4', SP. 4'-6'
PERENNIALS & GRASSES						
He		HEMEROCALLIS X 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	NO. 1	CONT.	HT. 1-1.5', SP. 1-1.5'
Ir		IRIS PALLIDA 'VARIEGATA'	VARIEGATED SWEET IRIS	BULB	CONT.	HT. 2', SP. 1'
Nf		NEPETA HYBRID 'CATS PAJAMAS'	CAT'S PAJAMA'S CATMINT	NO. 3	CONT.	HT. 18-20" SP. 18-20"
Pc		PANICUM VIRGATUM 'CHEYENNE SKY'	CHEYENNE SKY SWITCHGRASS	NO. 3	CONT.	HT. 2'-3', SP. 1.5'-2'
Pe		PENNISETUM ALOPECUROIDES 'LEMON SQUEEZE'	LEMON SQUEEZE FLOWERING FOUNTAIN GRASS	NO. 3	CONT.	HT. 2-5.3', SP. 2-2.5'

ABBREVIATIONS:
 BB-BALLED & BURLAPPED
 BR-BARE ROOT
 CAL-CALIPER IN INCHES
 CONT.-CONTAINER
 HT-HEIGHT
 NO-#-GALLON SIZE
 SP-SPREAD
 - CALIPER TO BE MEASURED 6" ABOVE GRADE
 - PLANT SYMBOLS REPRESENT 2/3 MATURE SIZE

PROPOSED LAWN

AREAS TO RECEIVE 4-6" TOPSOIL AND PERMANENT LAWN HYDRO SEED MIX

NOTE:
 ALL DISTURBED LAWN AREAS SHALL RECEIVE 4-6" TOPSOIL AND PERMANENT LAWN HYDROSEED MIX.

SEED MIX:	LBS/ACRE	%BY PURITY	%GERM
Perennial Perennial Rye Grass	35	85	85
Perennial Red Fescue	35	97	80
Barron and Midnight Kentucky Bluegrass	30	85	80

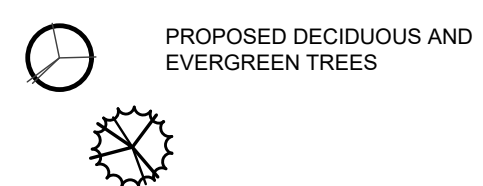
SEEDING RATE: 6.0 POUNDS PER 1,000 SQUARE FEET

MULCH: STRAW OR WOOD FIBER MULCH APPLIED AT THE RATE OF TWO TONS PER ACRE

STARTING FERTILIZER: 5-10-10 AT 20 POUNDS PER 1,000 SQUARE FEET

FOR FALL OR EARLY WINTER, SEED WITH CERTIFIED 'AROSTOCK' WINTER RYE (CEREAL RYE) AT 100 POUNDS PER ACRE.

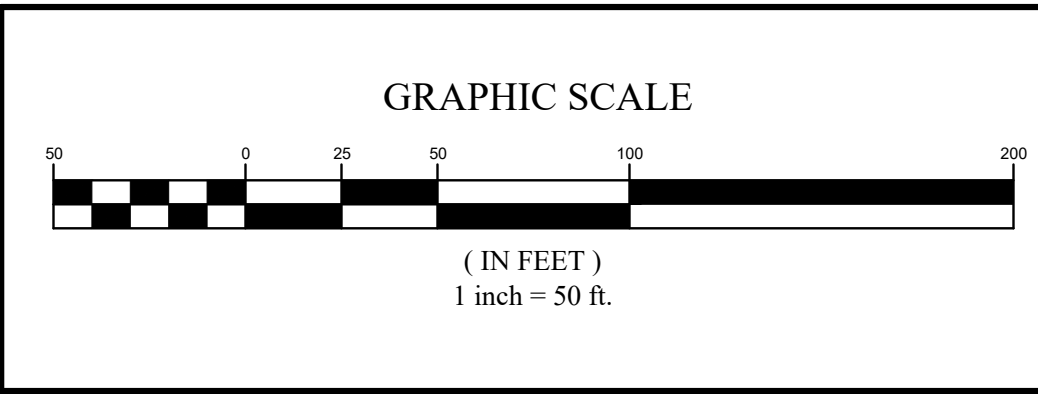
TREE LEGEND



LANDSCAPE NOTES

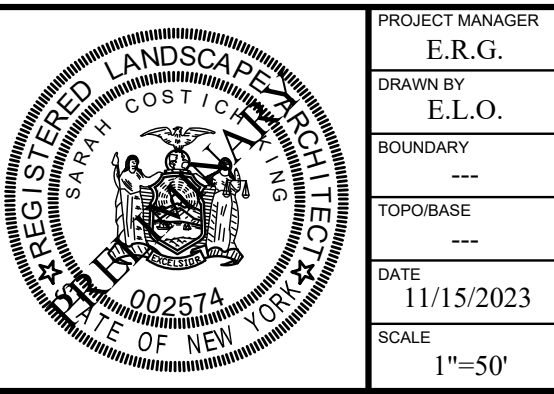
- LANDSCAPE CONTRACTOR SHALL SECURE CURRENT PLANS AND SPECIFICATIONS FOR PROPER CONSTRUCTION METHODS AND MATERIAL OF ALL LANDSCAPING PRIOR TO COMMENCING WORK.
- ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z60.1 (LATEST EDITION).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF.
- THE CONTRACTOR SHALL PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANT MATERIAL AND SHRUB-BEDS. CONTACT OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL. LOCATIONS SHOWN ON THE PLANS CONVEY DESIGN INTENT ONLY. ACTUAL LOCATIONS WILL BE AS DIRECTED BY THE LANDSCAPE ARCHITECT AT THE TIME OF INSTALLATION.
- THE CONTRACTOR IS HEREBY NOTIFIED THAT UNDERGROUND UTILITIES EXIST. SHOULD LOCATION OF TREES BE WITHIN 5' OF UNDERGROUND UTILITIES, RELOCATE SAID TREES TO A MINIMUM OF 5' FROM BALL TO UTILITIES.
- SHOULD LOCATION OF TREES BE WITHIN 20' OF OVERHEAD WIRES, RELOCATE SAID TREES TO A MINIMUM OF 20' FROM WIRES.
- ALL TREES AND SHRUBS SHALL RECEIVE A 3" LAYER OF BLACK SHREDDED HARDWOOD BARK MULCH.
- ALL PLANTS MUST BE HARDY UNDER CLIMATE CONDITIONS THAT EXIST AT THE PROJECT SITE AND GROWN AT A NURSERY AT THE SAME HARDINESS ZONE AS THE PROJECT LOCATION.
- NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER OR OWNER'S PROJECT LANDSCAPE ARCHITECT.
- ANY PLANT WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANT MATERIALS (INCLUDING, BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING, AND REMOVAL OF STAKES AND GUYS) AND NEWLY ESTABLISHED LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
- ALL AREAS DISTURBED BY UTILITY INSTALLATION AND SITE GRADING ACTIVITY SHALL RECEIVE 6" APPROVED TOPSOIL (TO A COMPACTED DEPTH OF 6", UNLESS OTHERWISE SPECIFIED BY THE GOVERNING MUNICIPALITY) BE FINE GRADES, SEEDED, MULCHED, AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ANY IRRIGATION COMPONENT DAMAGED DURING SITE OR LANDSCAPE RENOVATIONS MUST BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER.
- A ONE YEAR GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM THE DATE OF PROVISIONAL ACCEPTANCE.
- PLANTING BACKFILL MIXTURE SHALL CONSIST OF 3 PARTS TOPSOIL AND 1 PART COMPOST THOROUGHLY MIXED.
- STAKE TREES IMMEDIATELY AFTER PLANTING.
- LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE WORK AREA. IF ANY TREE IS LOCATED CLOSER THAN 5' TO AN UNDERGROUND UTILITY, IT SHALL BE RELOCATED TO A LOCATION THAT IS A MINIMUM OF 5' AWAY AS MEASURED FROM THE ROOTBALL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, AND SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.

EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.



NO.	DATE	REVISION	BY	CHKD.	APVLS.

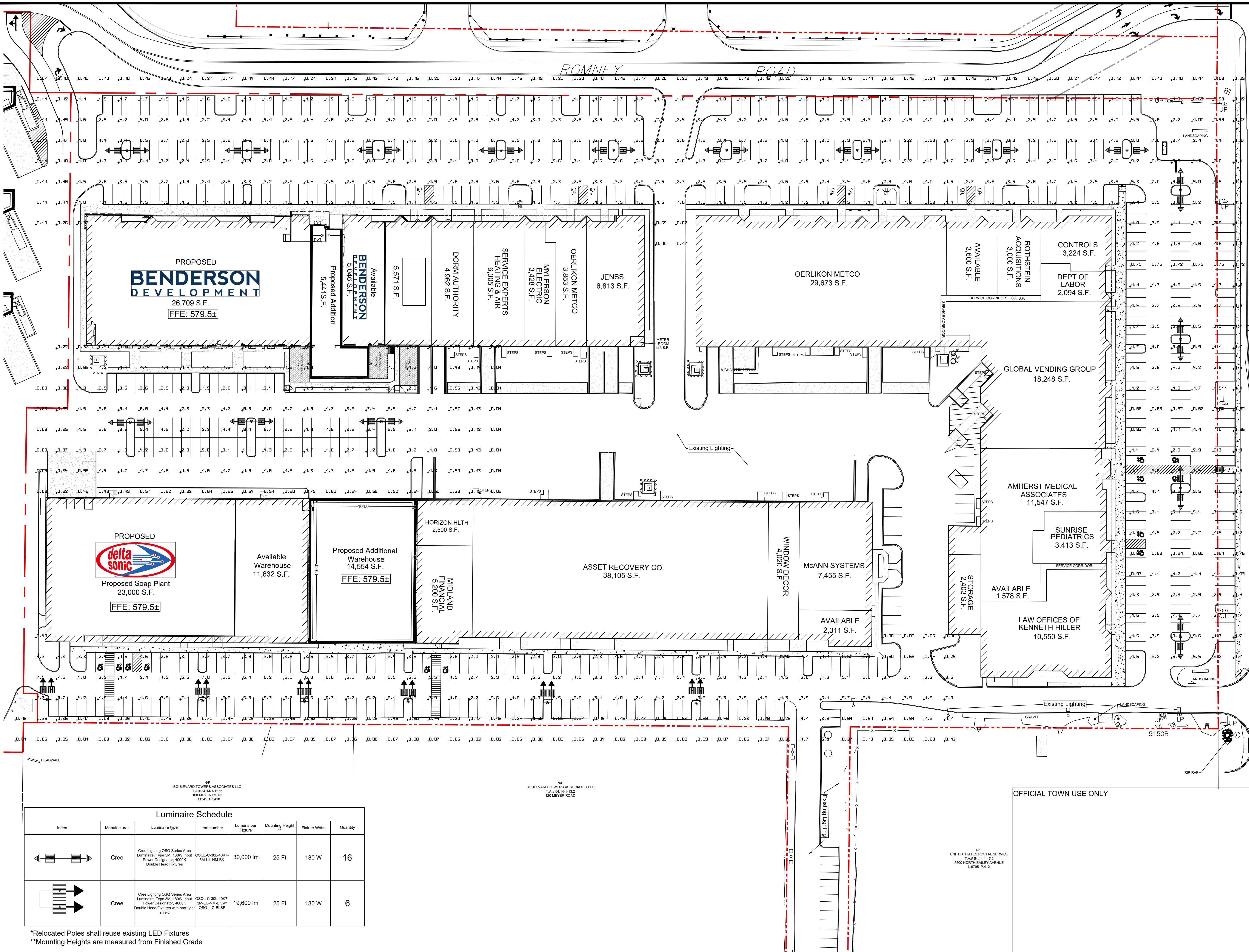
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 IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT OR LANDSCAPE ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT BY ANY MEANS. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS/HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATION TO THE DOCUMENT.



PROJECT MANAGER: E.R.G.
 DRAWN BY: E.L.O.
 BOUNDARY: ---
 TOP/BASE: ---
 DATE: 11/15/2023
 SCALE: 1"=50'

217 LAKE AVENUE
 ROCHESTER, NY 14608
 (585) 458-3020

PROJECT TITLE	
PRJ. DESCRIPTION OR ST. ADDRESS	
LANDSCAPE PLAN EXHIBIT	
LOCATION OF PROJECT: TOWN LOT, TOWNSHIP, RANGE, SECTION, TRACT, PURCHASE, COUNTY OF MONROE, STATE OF NEW YORK	TAX PARCEL NO. S
CLIENT: _____	CLIENT NAME: _____
CLIENT ADDRESS: _____	CLIENT ADDRESS: _____
CLIENT ADDRESS: _____	CLIENT ADDRESS: _____
DWG # 8084.01	SHEET 1 OF 2



DRAWING REVISIONS:

No.	DATE	BY	REMARKS

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811
 Know what's below.
 Call before you dig.

PROPERTY NUMBER: #1723 AREA: -

Amherst Development Park
 6000 - 6040 North Bailey Ave
 Amherst, NY 14226

**PROPOSED
 SITE MODIFICATIONS**

CONSULTANT

JAMES ALLEN RUMSEY
 ARCHITECT
 PREPARED FOR
BENDERSON DEVELOPMENT
 570 DELAWARE AVE., BUFFALO, NY 14202
 (716) 886-0211

SEAL

TITLE:
Site Lighting Plan

SCALE:
 1:70

DRAWN BY: DMZ DRAWING NO. C8.00

CHECKED BY: MAO

DATE: 11.08.2023



Luminaire Schedule

Index	Manufacturer	Luminaire type	Item number	Lumens per Fixture	Mounting Height	Fixture Watts	Quantity
1	Cree	Cree Lighting OSO Series Area Luminaire, Type SM, 180W Input Power Designator, 4000K Double Head Fixtures	OSQL-C-30L-40K7-3M-UL-NM-BK	30,000 lm	25 Ft	180 W	16
2	Cree	Cree Lighting OSO Series Area Luminaire, Type SM, 180W Input Power Designator, 4000K Double Head Fixtures with backlight shield	OSQL-C-30L-40K7-3M-UL-NM-BK w/ OSQL-C-8L-SF	19,600 lm	25 Ft	180 W	6

*Relocated Poles shall reuse existing LED Fixtures
 **Mounting Heights are measured from Finished Grade

NF
 BOULEVARD TOWERS ASSOCIATES LLC
 T.A.# 54 14-112.1
 100 MEYER ROAD
 L 1346 P.3018

NF
 BOULEVARD TOWERS ASSOCIATES LLC
 T.A.# 54 14-113.2
 100 MEYER ROAD

NF
 UNITED STATES POSTAL SERVICE
 T.A.# 54 14-117.2
 5500 NORTH BAILEY AVENUE
 L 9795 P.412