

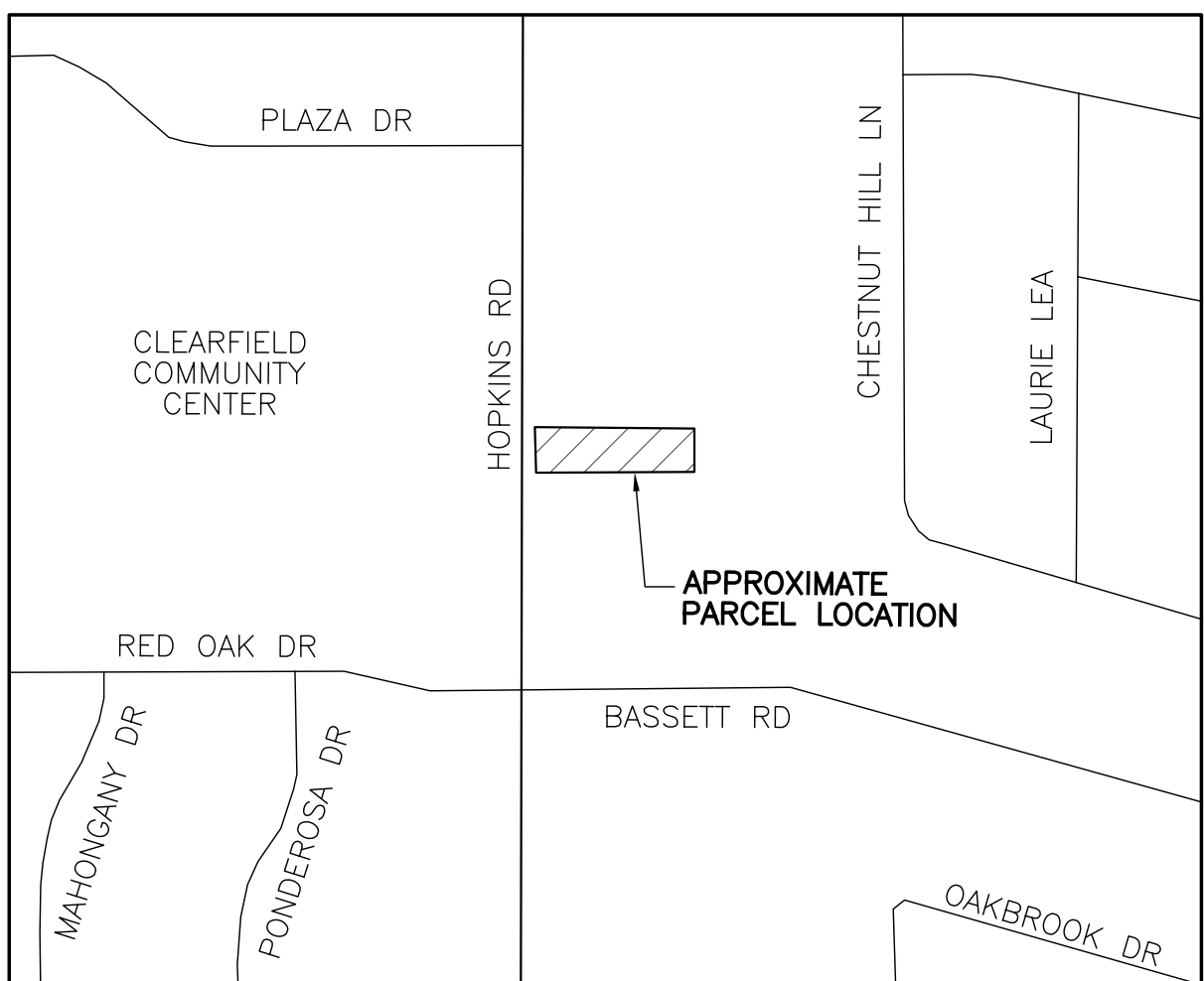
# CENTER FOR JEWISH LIFE

## 757 HOPKINS ROAD

TOWN OF AMHERST,

ERIE COUNTY,

NEW YORK



**SITE LOCATION MAP**

SCALE: NTS

### PROJECT LEGEND

EXISTING FEATURES*	PROPOSED FEATURES*
PROJECT BOUNDARY LINE	STORM CATCH BASIN
CENTERLINE	WATER VALVE
MAIL BOX	SANITARY SEWER LATERAL
SIGN	STORM SEWER LINE
ELEC. M.H.	WATERLINE
TELE. M.H.	SIGN
SANITARY MANHOLE & LINE	SPOT ELEVATION
WATER LINE	FLOW DIRECTION
UTILITY POLE	INLET PROTECTION
WATER VALVE	SILT SOCK
HYDRANT	STABILIZED CONSTRUCTION ENTRANCE
GAS LINE	
OVERHEAD WIRES	

\* WHERE APPLICABLE



METZGER CIVIL ENGINEERING, PLLC

### SCHEDULE OF DRAWINGS:

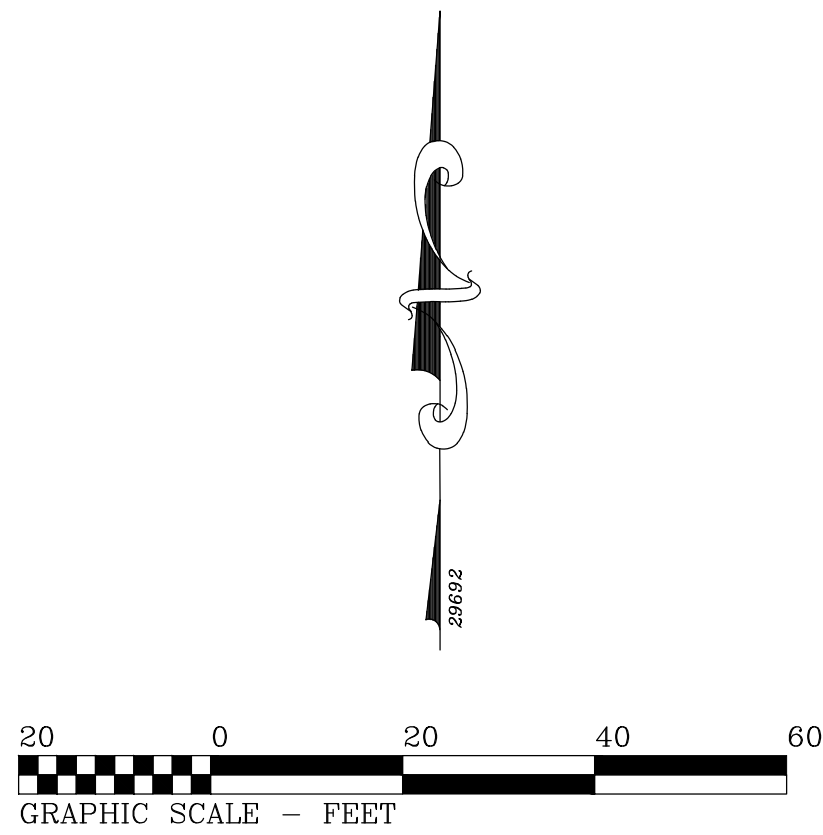
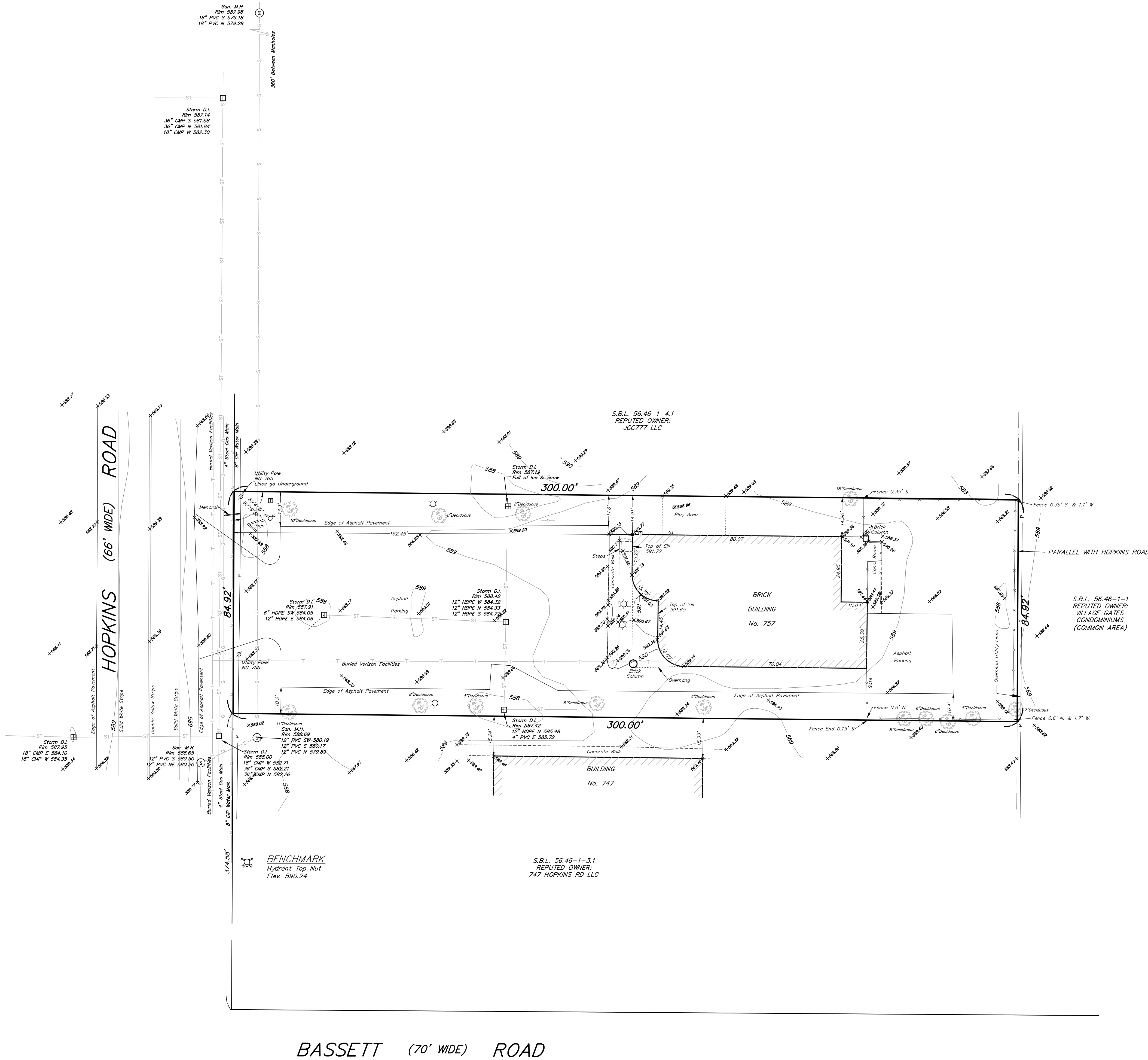
SHEET NO	DRAWING	DESCRIPTION
1	CS-1	COVER SHEET
2	--	TRUE NORTH BOUNDARY & TOPOGRAPHY SURVEY
3	DP-1	DEMOLITION PLAN
4	SP-1	SITE PLAN
5	GD-1	GRADING & DRAINAGE PLAN
6	ESC-1	EROSION & SEDIMENT CONTROL PLAN
7	LP-1	LANDSCAPE PLAN
8	DT-1	SITE DETAILS

**OWNER:**  
CENTER FOR JEWISH LIFE, INC.  
757 HOPKINS ROAD  
WILLIAMSVILLE, NEW YORK 14221

**CIVIL ENGINEER:**  
METZGER CIVIL ENGINEERING, PLLC.  
8245 SHERIDAN DRIVE  
WILLIAMSVILLE, NEW YORK 14221  
PHONE: (716) 633-2601  
FAX: (716) 633-2704  
EMAIL: meteng@roadrunner.com

**ARCHITECT:**  
SUTTON ARCHITECTURE, PLLC  
5409 MAIN STREET - SUITE #2  
WILLIAMSVILLE, NEW YORK 14221  
PHONE: (716) 932-7156  
EMAIL: mikeb@design2build.com

TOWN OF AMHERST NOTES:  
1) CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN CONSTRUCTION SPECIFICATIONS WHERE APPLICABLE AND/OR SUBJECT TO THE LATEST REVISIONS.



LEGEND		
	UTILITY / SERVICE POLE	R.O.W. RIGHT OF WAY
	WATER LINE VALVE	CONC. CONCRETE
	FIRE HYDRANT	INV. INVERT
	D.I. (DROP INLET - STORM)	M.H. MANHOLE
	MANHOLE (STORM)	—G— GAS LINE
	MANHOLE (ELECTRIC)	—W— WATER LINE
	MANHOLE (TRAFFIC)	—T— TELEPHONE LINE
	MANHOLE (SANITARY)	—E— ELECTRIC LINE
	MANHOLE (TELEPHONE)	—P— UTILITY LINES
	GAS LINE MARKER	—C— CABLE LINES
	GAS LINE VALVE	D. DEED
	LIGHT STANDARD	M. MEASURED
	SIGN	L. LIBER
	H.C. HANDICAP	P. PAGE
	TELEPHONE PEDESTAL	
	GAS METER	
	ELECTRIC METER	
	CLEANOUT	

ELEVATION DATUM  
ELEVATIONS ON THIS MAP WERE DETERMINED UTILIZING GPS DATUM:  
NAD83 (2011) EPOCH 2010.0 DATUM  
STONEX S900 GPS UNIT (CONUS 12B GEOD)  
NAVD83 VERTICAL DATUM

UTILITIES

The underground utilities shown have been located from field survey information & existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from the information available. This surveyor has not physically located the underground utilities.

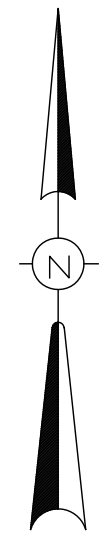
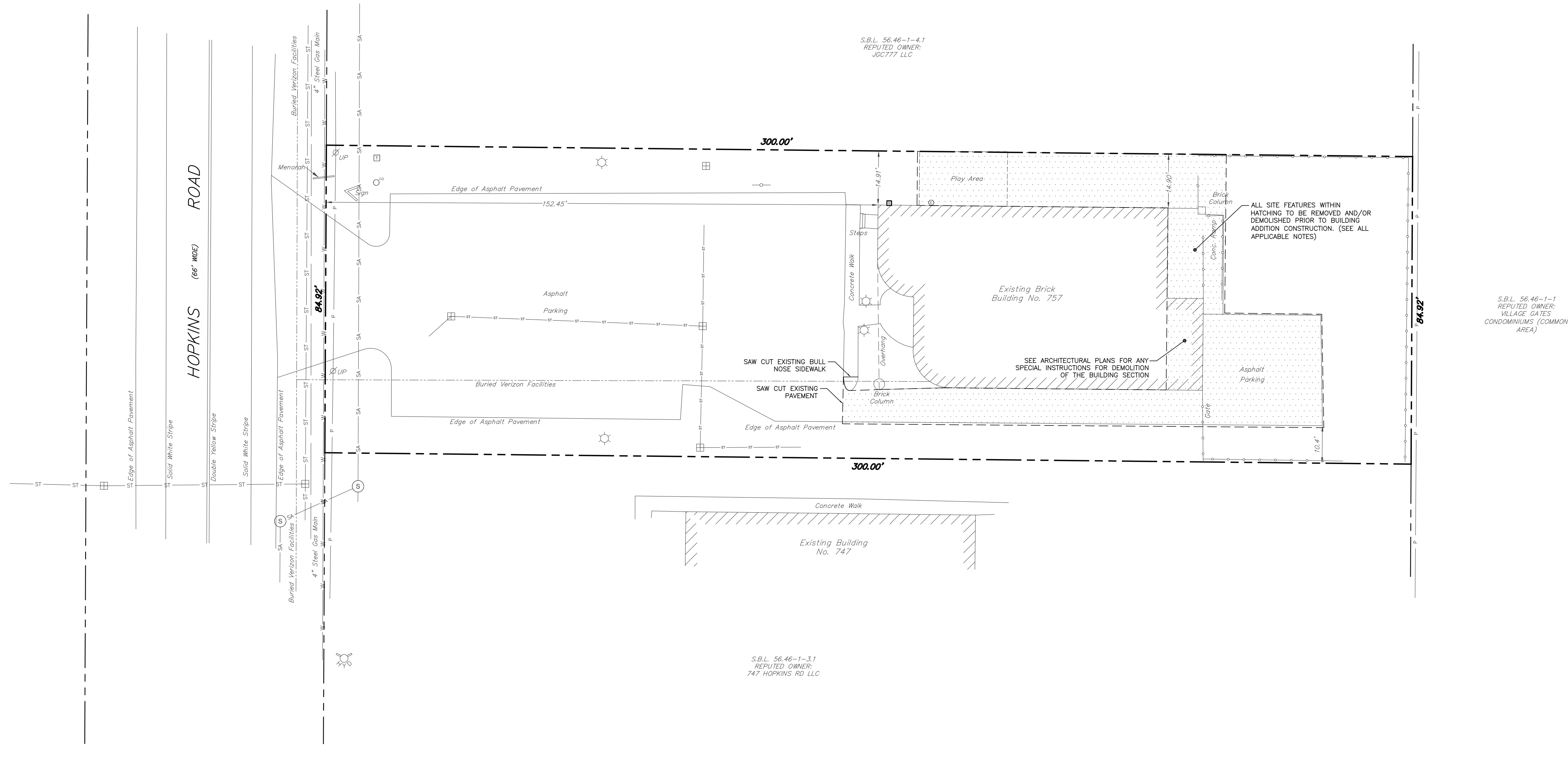
Note: Underground Utility information has been ordered from the respective utility companies. As the information is received, this map will be amended to reflect said information.

National Fuel Attn: Ed Holpa (716) 857-7967	Time Warner Cable Attn: Chris Smith (800) 262-8600	Verizon Attn: Mark Granschow (716) 840-8656
Erie County Water Dept. Attn: Steve Dender (716) 855-8289	N.Y.S. Electric & Gas Attn: Sam Cappaglia (716) 651-5255	National Grid Attn: Ray Schultz (315) 428-6319

INSTRUMENT(S) UTILIZED IN DETERMINING LOCATION OF BOUNDARY LINES: Liber 11408 Deeds P.1209 (First Described Parcel)  
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED IN SAID ABSTRACT.  
NOTE: PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY. NOTE: THIS SURVEY WAS PERFORMED UNDER SEVERE SNOW AND ICE CONDITIONS.

	©COPYRIGHT 2025, BY: <b>TRUE NORTH</b> <b>LAND SURVEYING, PLLC</b> 150 AERO DRIVE BUFFALO, NEW YORK 14225 (716) 631-5140 ~ Truenorthpllc@aol.com	AMEND: SURVEY DATE: 2-12-25 DRAWING DATE: 2-18-25 SCALE: 1" = 20' "ALL RIGHTS RESERVED"
	BOUNDARY AND TOPOGRAPHIC SURVEY PART OF LOT 49 SECTION 12 TOWNSHIP 12 RANGE 7 OF THE Holland Land Company's SURVEY - Erie COUNTY, N.Y. SURVEY OF: 757 Hopkins Road, Town of Amherst	THIS MAP VOID UNLESS EMBOSSED WITH NEW YORK STATE LICENSED LAND SURVEYOR'S SEAL. ALTERING ANY ITEM ON THIS MAP IS A VIOLATION OF THE LAW EXCEPT AS PROVIDED IN SECTION 7209, PART 2, OF THE NEW YORK STATE EDUCATION LAW SBL No. 56.46-1-3.2





NOTES:

1. CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES AND FEATURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS CAUSED BY DAMAGE TO EXISTING STRUCTURES DURING THE CONSTRUCTION PROCESS. ALL REPAIRS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE.
2. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING PAVEMENT SECTIONS THAT OCCUR DURING CONSTRUCTION.
3. ALL NECESSARY DEMOLITION PERMITS SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO ANY DEMOLITION WORK.
4. ALL VEGETATION AND TREES WITHIN THE LIMITS OF DISTURBANCE SHALL BE REMOVED UNLESS OTHERWISE NOTED. SEE LANDSCAPE PLAN FOR FURTHER DETAILS.
5. DEMOLITION OF STRUCTURES AND DISPOSAL OF MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE TOWN AND STATE REGULATIONS. ANY FOUNDATIONS, INCLUDING BASEMENTS, ARE TO BE COMPLETELY REMOVED AND BACKFILLED WITH SUITABLE GRANULAR FILL.
6. EXISTING UTILITY SERVICE CONNECTIONS SHALL REMAIN IN PLACE TO SERVE THE BUILDING ADDITION.

NOTES:

1) THESE PLANS HAVE BEEN DEVELOPED FROM THE BOUNDARY AND TOPOGRAPHY SURVEYS COMPLETED BY TRUE NORTH LAND SURVEYING, PLLC DATED FEBRUARY 16, 2025.  
THIS IS NOT A PROPERTY SURVEY.

DESIGNED BY:	JCM			
DRAWN BY:	JCM			
CHECKED BY:	MJM			
CAD FILE:	M2514			
NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 7209, PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW				
REVISIONS		DATE	BY/CHK	

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E

METZGER

CIVIL

ENGINEERING, PLLC

8245 SHERIDAN DRIVE

WILLIAMSVILLE, NY 14221

PH: 716-633-2601

FAX: 716-633-2704

CIVIL ENGINEERING

LAND PLANNING

SITE DESIGN

MUNICIPAL ENGINEERING

CENTER FOR JEWISH LIFE

757 HOPKINS ROAD

TOWN OF AMHERST, ERIE COUNTY, NEW YORK

DEMOLITION PLAN

SCALE: 1" = 20'

DATE: MAY 16, 2025

JOB NO: M2514

DRAWING NO:

DP-1

SHEET 3

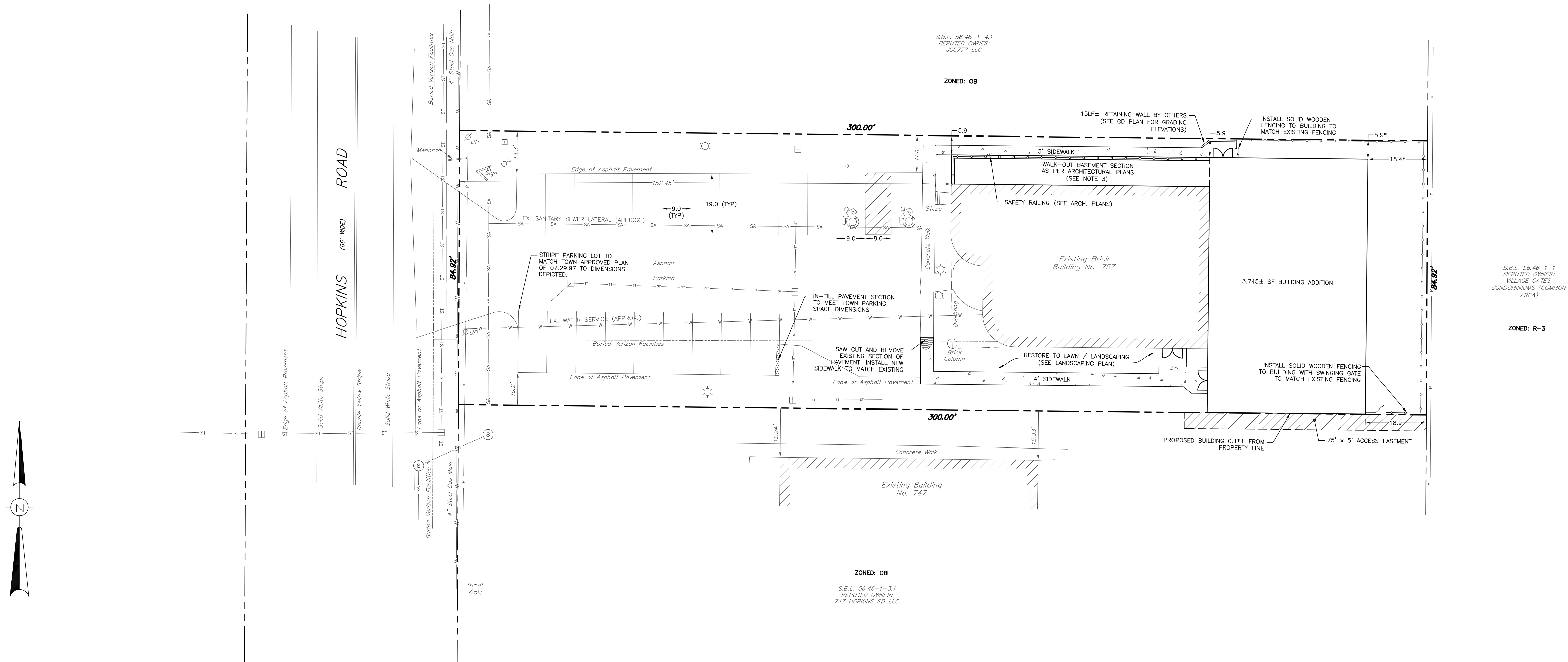
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ZONED:	OB
PARCEL SIZE:	0.58 ACRES
MINIMUM LOT AREA:	NONE
MINIMUM LOT WIDTH:	NONE
MAXIMUM BUILDING HEIGHT:	65'
PROPOSED BUILDING HEIGHT:	<65' (FOR BLDG <35')
FRONT YARD SETBACK (FYSB) REQUIRED:	12.0' (FOR BLDG <35')
FRONT YARD SETBACK (FYSB) EXISTING:	20.5'
FYSB TO CL HOPKINS ROAD REQUIRED:	90.0'
FYSB TO CL HOPKINS ROAD EXISTING:	184'±
SIDE YARD SETBACK REQUIRED:	15.0' (FOR BLDG <30' ADJ. TO NONRES.)
SIDE YARD SETBACK PROVIDED:	0.1'*
REAR YARD SETBACK REQUIRED:	30.0' (FOR BLDG <30' ADJ. TO RES.)
REAR YARD SETBACK PROVIDED:	18.4'

VUA FRONT YARD SETBACK REQUIRED:	15.0'
VUA FRONT YARD SETBACK EXISTING:	17.7'
VUA SIDE YARD SETBACK REQUIRED:	10.0' (ADJACENT TO NONRES.)
VUA SIDE YARD SETBACK EXISTING:	10.2'
VUA REAR YARD SETBACK REQUIRED:	25.0'
VUA REAR YARD SETBACK EXISTING:	157'±

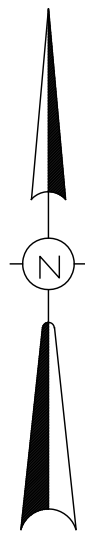
\* VARIANCES WERE GRANTED BY THE TOWN OF AMHERST ZBA ON MARCH 19, 2024 FOR BOTH SIDE YARDS SETBACKS (5' TO NORTH AND 0' TO SOUTH) AS WELL AS THE REAR YARD SETBACK (18')

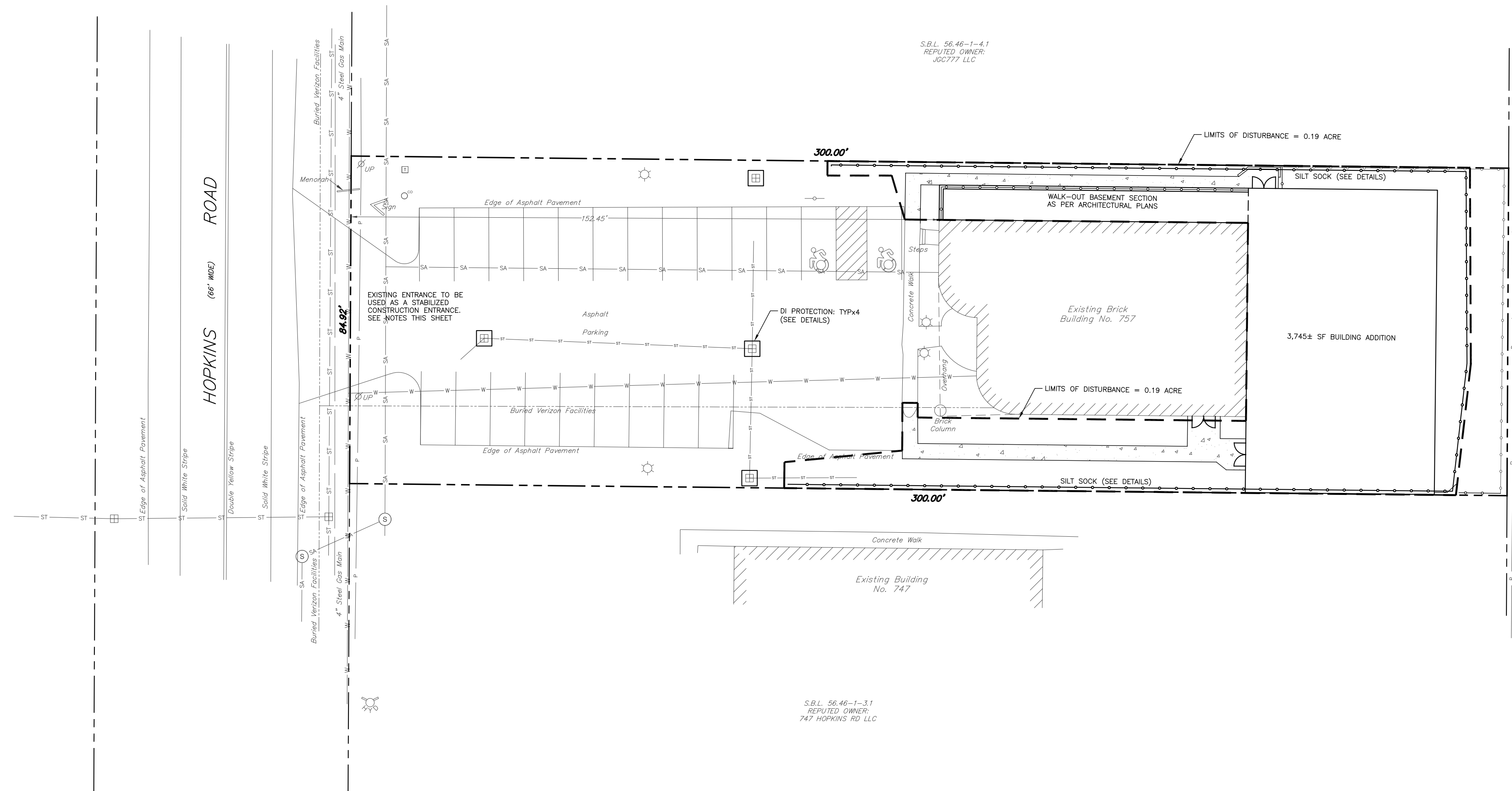


1. NO NEW WATER SERVICE OR SANITARY SEWER UTILITIES ARE PROPOSED FOR THE BUILDING ADDITION. THE NEW ADDITION SHALL CONNECT TO THE EXISTING WATER AND SANITARY SEWER SERVICES CURRENTLY IN PLACE SERVING THE EXISTING BUILDING INTERNALLY. REFER TO THE BUILDING PLANS FOR DETAILS. THE EXISTING WATER AND SANITARY SEWER SERVICES ARE DISPLAYED FOR ILLUSTRATION PURPOSES ONLY.
2. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
3. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S AND ENGINEER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
4. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
5. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK. ANNOTATED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO SATISFACTION OF OWNER.
7. CONTRACTOR SHALL ASCERTAIN LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
8. CONTRACTORS SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.



<div>NOTES:</div> <div>1) THESE PLANS HAVE BEEN DEVELOPED FROM THE BOUNDARY AND TOPOGRAPHY SURVEYS COMPLETED BY TRUE NORTH LAND SURVEYING, PLLC DATED FEBRUARY 18, 2025.</div> <div>THIS IS NOT A PROPERTY SURVEY.</div>	DESIGNED BY:	JCM				<div>MCE</div> <div>METZGER CIVIL ENGINEERING, PLLC</div>	<div>STATE OF NEW YORK</div> <div>MICHAEL METZGER</div> <div>0069786</div> <div>REGISTERED PROFESSIONAL ENGINEER</div>	<div>CENTER FOR JEWISH LIFE</div> <div>757 HOPKINS ROAD</div> <div>TOWN OF AMHERST, ERIE COUNTY, NEW YORK</div>			SCALE:	1" = 20'
	DRAWN BY:	JCM						DATE:	MAY 16, 2025			
	CHECKED BY:	MMJ						JOB NO:	M2514			
	CAD FILE:	M2514						DRAWING NO:				
	<div>NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 7209, PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW.</div>							<div>SITE PLAN</div>			<div>SP-1</div> <div>SHEET 4</div>	
	REVISIONS		DATE	BY/CHK								
						<div>8245 SHERIDAN DRIVE</div> <div>WILLIAMSVILLE, NY 14221</div> <div>PH: 716-633-2601</div> <div>FAX: 716-633-2704</div>	<div>CIVIL ENGINEERING</div> <div>LAND PLANNING</div> <div>SITE DESIGN</div> <div>MUNICIPAL ENGINEERING</div>					



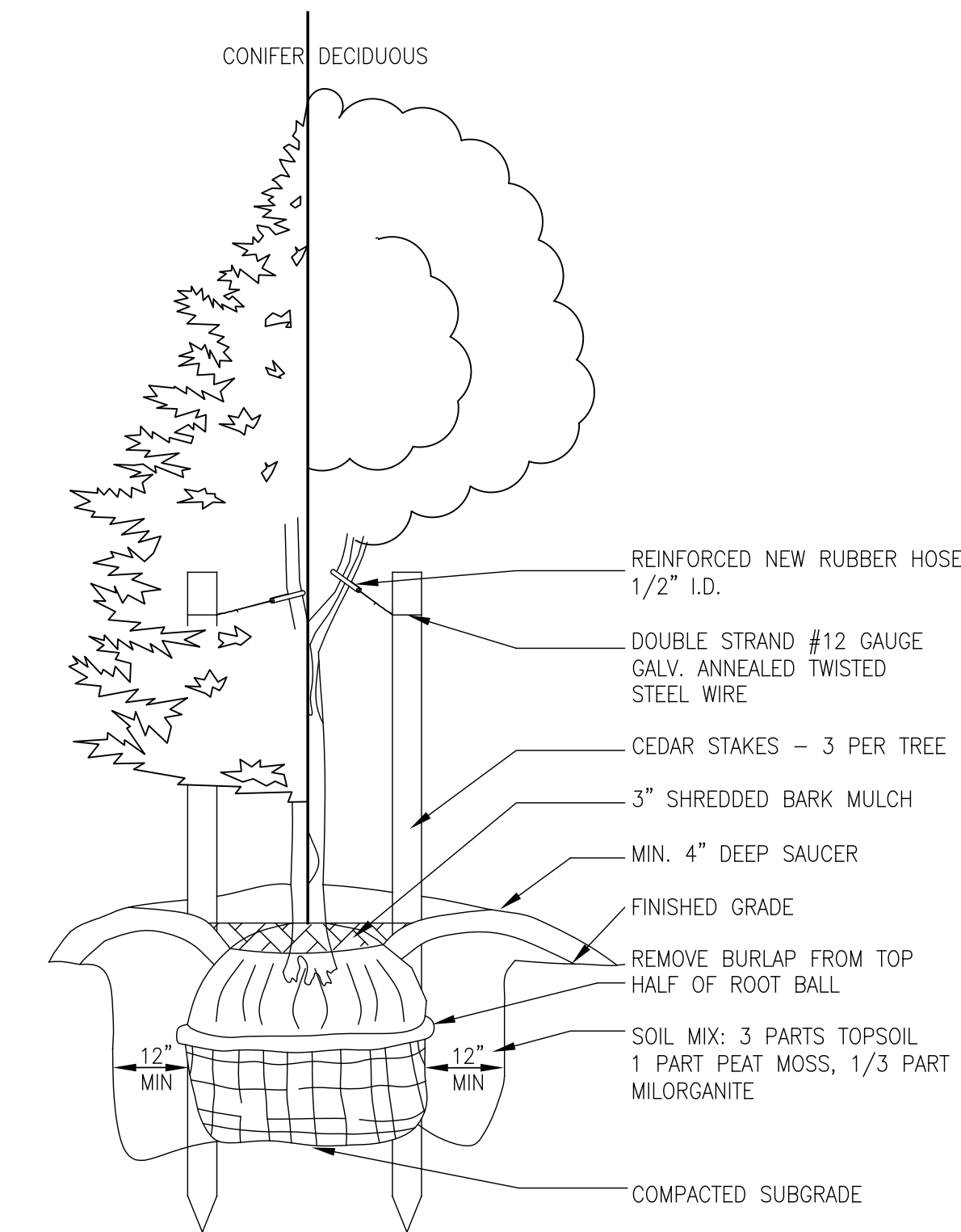
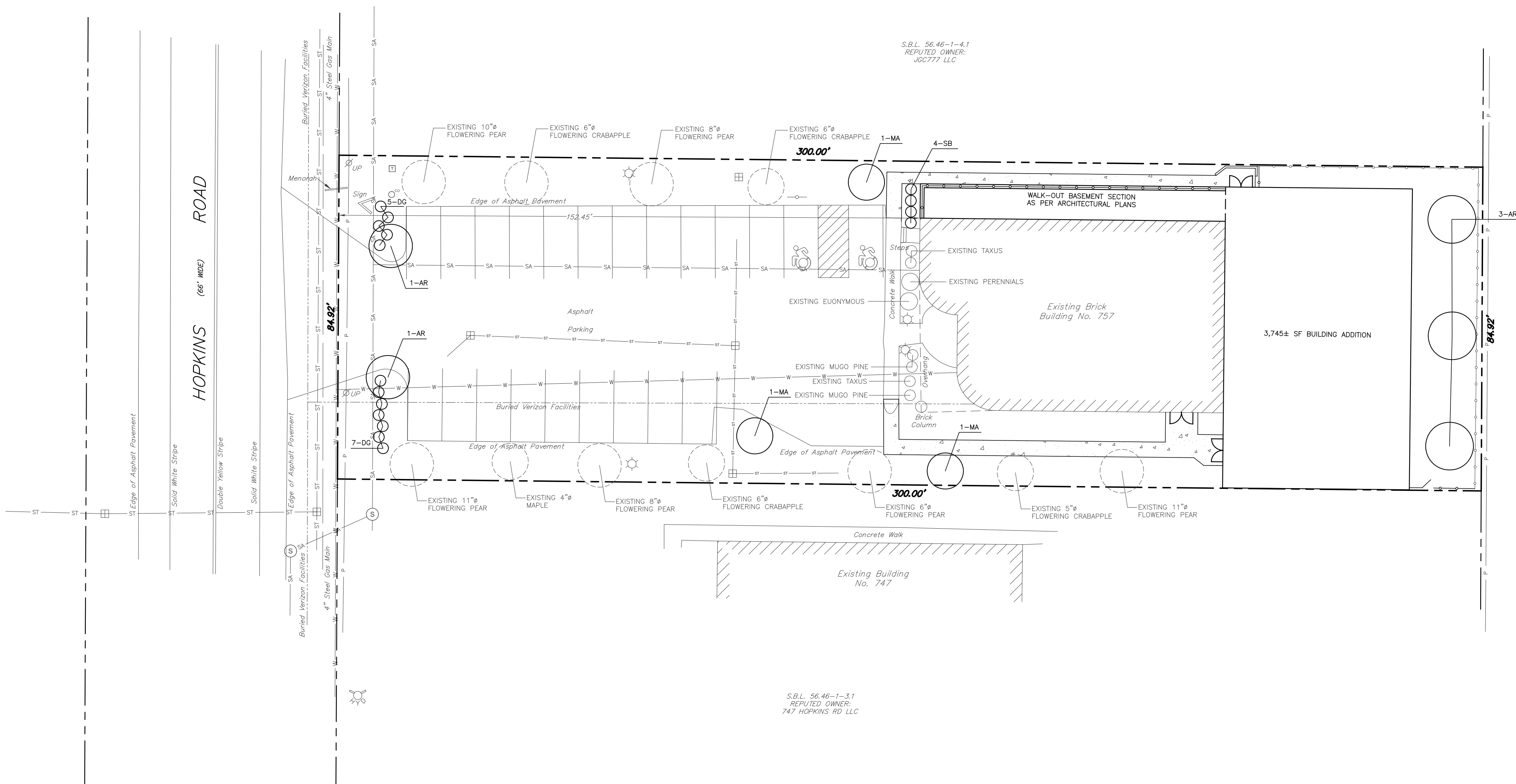




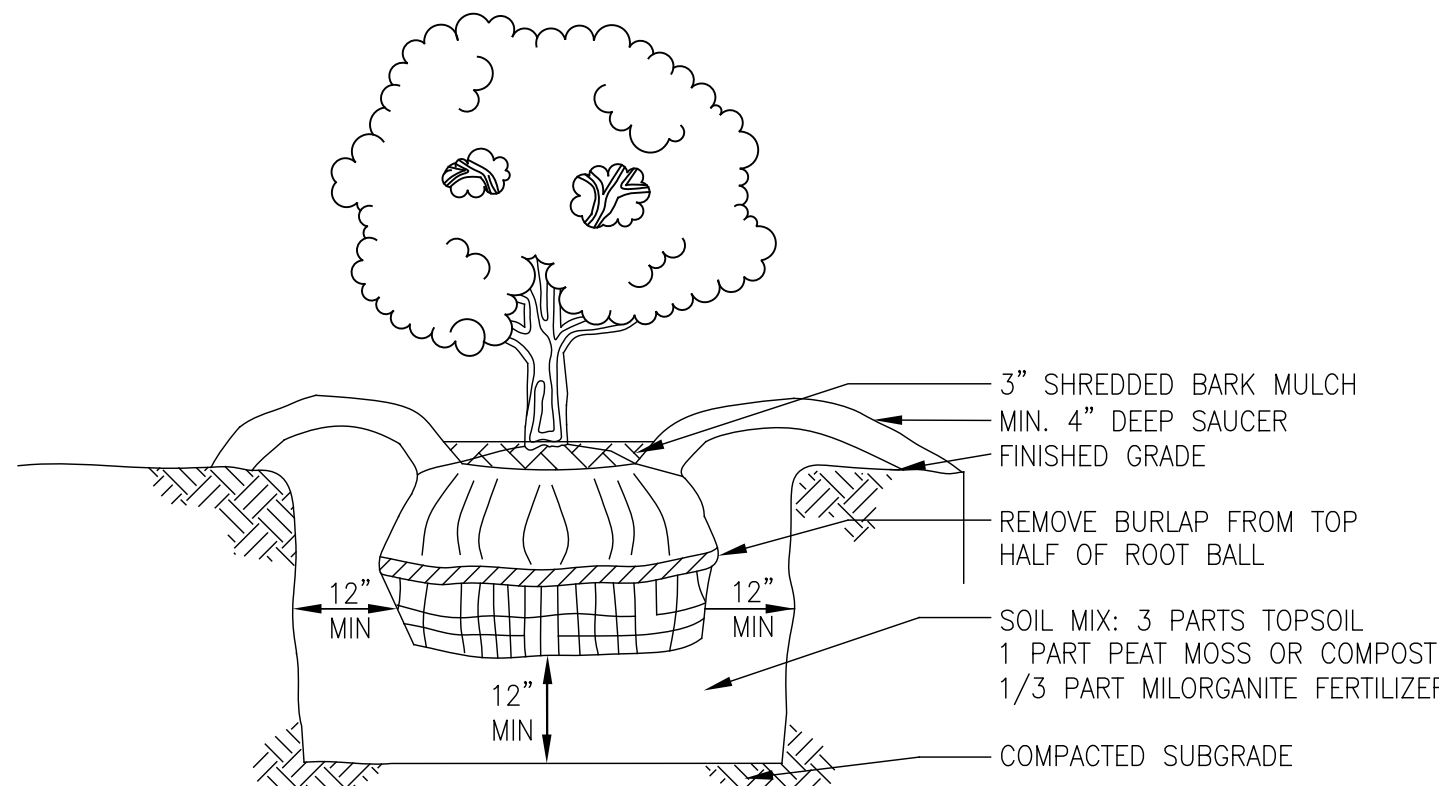
1. ALL DISTURBED AREAS AND SITE STOCKPILES ARE TO HAVE TEMPORARY VEGETATIVE COVER ESTABLISHED WITHIN 14 DAYS, IF IDLE.
2. AFTER EACH RAINFALL EVENT OR WHENEVER WARRANTED, THE CONTRACTOR MUST INSPECT AND IF NECESSARY, REPAIR ALL EROSION CONTROL DEVICES.
3. THE CONTRACTOR SHALL USE ALL MEASURES APPROPRIATE TO LIMIT THE AMOUNT OF SEDIMENTS, DIRT AND MUD FROM TRACKING ONTO PUBLIC ROADWAYS. CONTINUOUS SWEEPING MAY BE NECESSARY.
4. AFTER "FINAL STABILIZATION" HAS BEEN ACHIEVED, INCLUDING THE ESTABLISHMENT OF COMPETENT VEGETATION, THE CONTRACTOR IS TO REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.

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	DRAWN BY:	JCM							DATE:	MAY 16, 2025
	CHECKED BY:	MJM							JOB NO:	M2514
	CAD FILE:	M2514							DRAWING NO:	
	NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 7209, PROVISION 2 OF THE NEW YORK STATE CONSTRUCTION LAW								8245 SHERIDAN DRIVE WILLIAMSVILLE, NY 14221 PH: 716-633-2601 FAX: 716-633-2704	CIVIL ENGINEERING LAND PLANNING SITE DESIGN MUNICIPAL ENGINEERING
REVISIONS		DATE		BY/CHK				EROSION & SEDIMENT CONTROL PLAN	ESC-1  SHEET 6	





PLANTING DETAIL  
N.T.S.



SHRUB PLANTING DETAIL  
BALLED AND BURLAP  
N.T.S.

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
<b>DECIDUOUS TREES</b>					
AR	5	ACER RUBRUM 'SUN VALLEY'	SUN VALLEY RED MAPLE	2 1/2" - 3" CAL	B&B; GROWS TO 40' HIGH, 35' WIDE
<b>ORNAMENTAL TREES</b>					
MA	3	MALUS 'ADIRONDACK'	ADIRONDACK CRABAPPLE	1 3/4" - 2" CAL	B&B; GROWS TO 18' HIGH, 10' WIDE; WHITE FLOWERS
<b>SHRUBS</b>					
DG	12	DIERVILLA 'G2X88544'	KODIAK ORANGE DIERVILLA	24" HIGH	NO. 5 CONT.; GROWS 3-4' TALL AND WIDE
SB	4	SPIRAEA X BUMALDA 'GOLDFLAME'	GOLDFLAME SPIREA	24" HIGH	NO. 5 CONT.; GROWS 3-4' TALL AND WIDE

NOTE: ALL PLANTING BEDS AND TREE SAUCERS SHALL RECEIVE A MINIMUM 3-INCH DEPTH OF DARK SHREDDED HARDWOOD BARK MULCH.

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DRAWN BY:	JCM				
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REVISIONS		DATE	BY/CHK		

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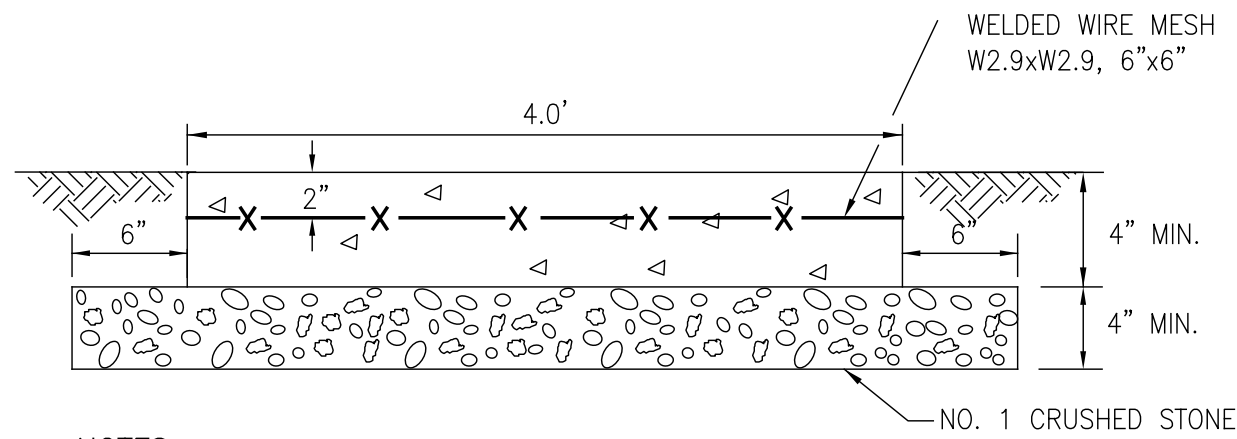
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CIVIL ENGINEERING  
LAND PLANNING  
SITE DESIGN  
MUNICIPAL ENGINEERING

CENTER FOR JEWISH LIFE  
757 HOPKINS ROAD  
TOWN OF AMHERST, ERIE COUNTY, NEW YORK

LANDSCAPE PLAN

SCALE: 1" = 20'  
DATE: MAY 16, 2025  
JOB NO: M2514  
DRAWING NO: LP-1  
SHEET 7

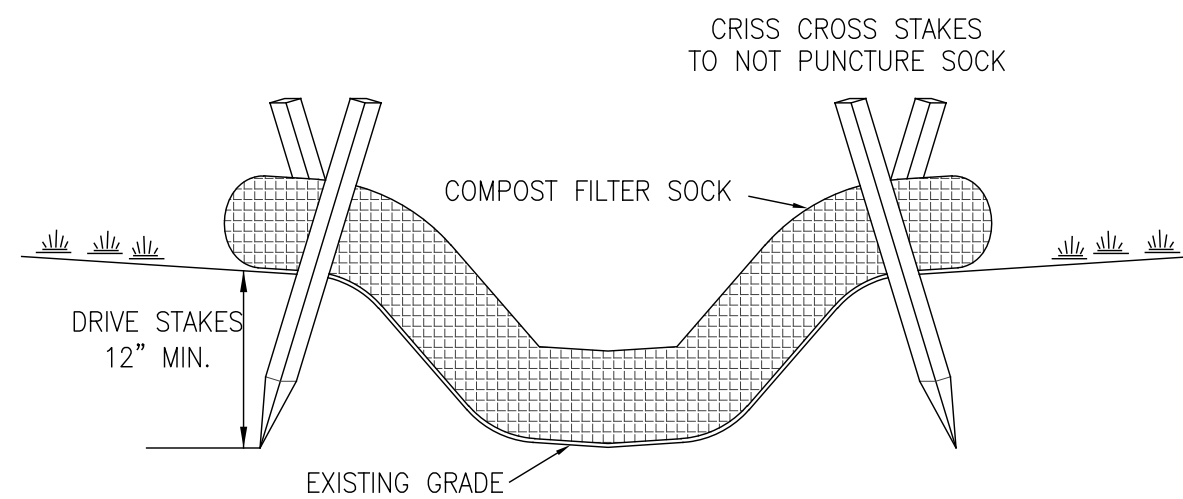


**NOTES**

1. CONCRETE SHALL BE NYSDOT CLASS A, 3,500 PSI, AIR ENTRAINED, MAX. SLUMP 4"
2. WELDED WIRE MESH (WWM) SHALL BE W2.9xW2.9, 6"x6".
3. INSTALL TOOLED CONTROL JOINTS @ 4' INTERVALS.
4. INSTALL CONSTRUCTION JOINTS AT 20' SPACING MINIMUM.
5. PROVIDE LIGHT BROOM FINISH WITH  $\frac{1}{4}$ " R. TOOLED EDGES.
6. ALL CONCRETE PLACED AS PART OF THIS CONTRACT SHALL BE SEALED AS SOON AS POSSIBLE AFTER INSTALLATION.

**SIDEWALK DETAIL**

N.T.S.



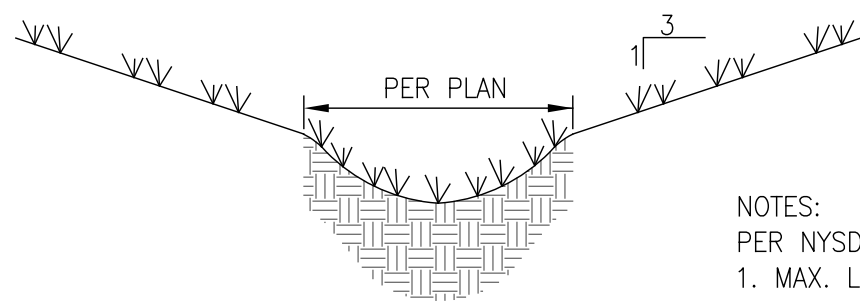
**NOTES:**

1. COMPOST FILTER SOCK MUST CONFORM TO NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (FILTREXX SILTSDXX OR APPROVED EQUAL).
2. INSTALL 3' LONG 2"x2" HARDWOOD STAKES AT 10' INTERVALS OR AS SPECIFIED BY THE SOCK MANUFACTURER.
3. WOODEN STAKES TO BE INSTALLED IN A CRISS CROSS PATTERN SO AS NOT TO PUNCTURE THE SOCK.
4. WOODEN STAKES TO BE DRIVEN AT LEAST 12" INTO GROUND.
5. ABUTTING ENDS MUST BE OVERLAPPED TO PROVIDE CONTINUOUS PROTECTION.
6. ALL SOCK SHALL BE 12".

MINIMUM SOCK SPACING	
SLOPE %	12 INCH SOCK
0-2%	250'
2-5%	225'
5-10%	125'

**COMPOST FILTER SILT SOCK**

N.T.S.

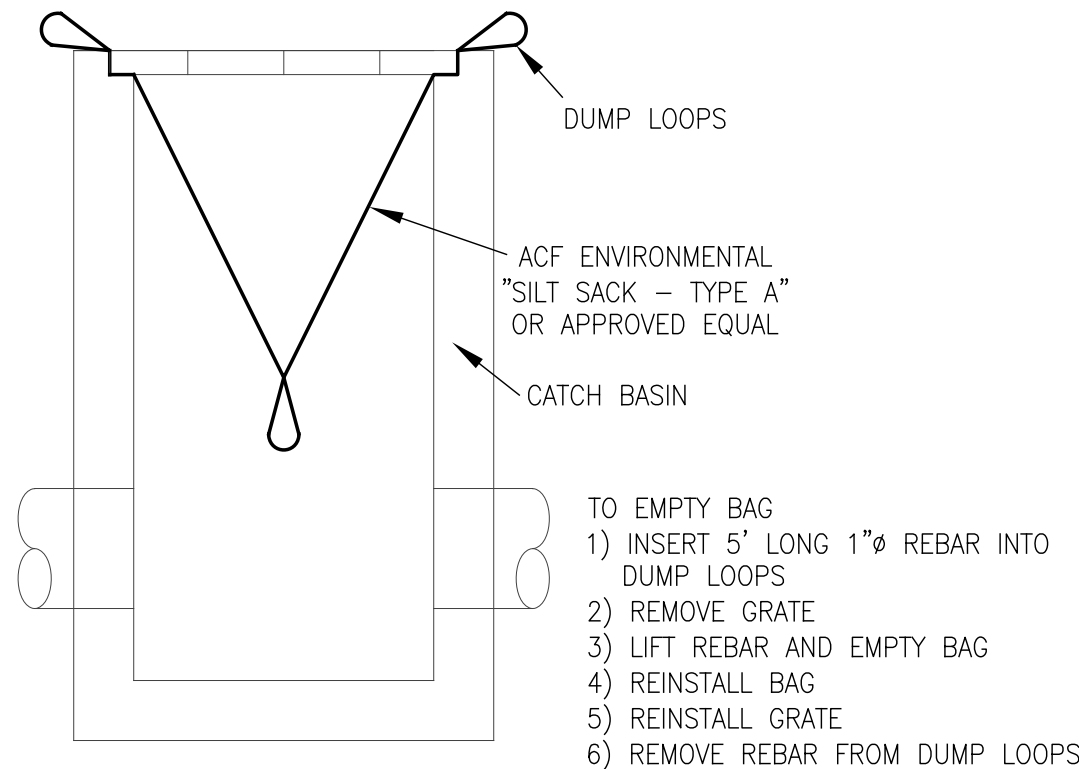


**NOTES:**

- PER NYSDEC SWDM §5.3.3
1. MAX. LENGTH 2000'
  2. 3:1 SIDESLOPES (WHERE POSSIBLE)
  3. SLOPE SWALE PER PLAN

**VEGETATIVE SWALE**

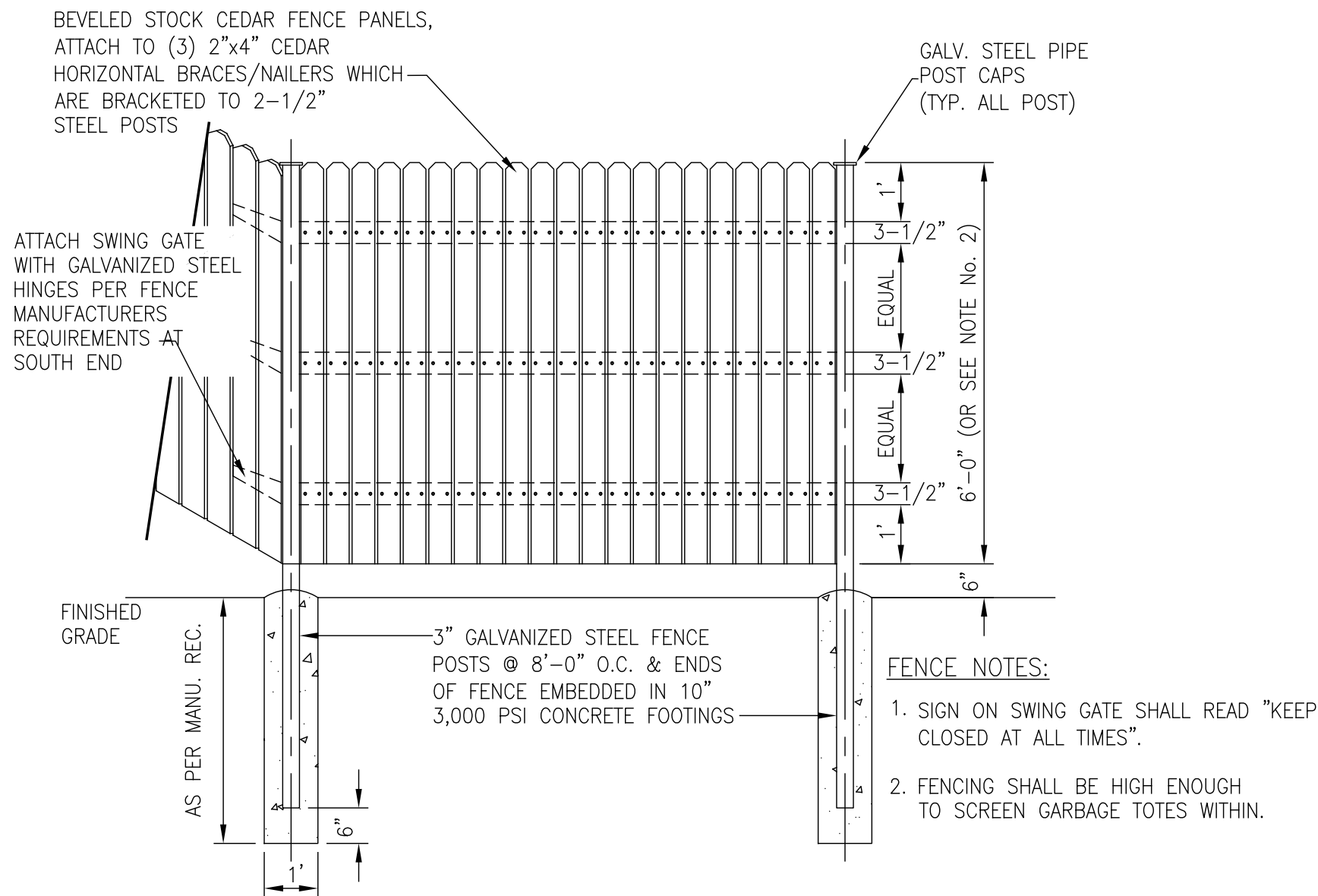
N.T.S.



**DI PROTECTION DETAIL**

N.T.S.

- TO EMPTY BAG:
- 1) INSERT 5' LONG 1"Ø REBAR INTO DUMP LOOPS
  - 2) REMOVE GRATE
  - 3) LIFT REBAR AND EMPTY BAG
  - 4) REINSTALL BAG
  - 5) REINSTALL GRATE
  - 6) REMOVE REBAR FROM DUMP LOOPS



**STOCKADE FENCE DETAIL**

N.T.S.

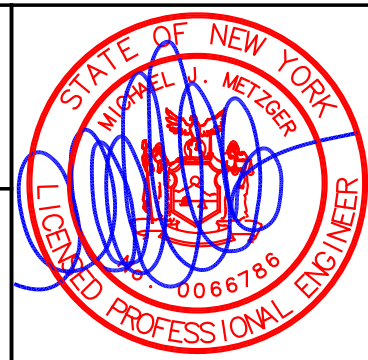
- FENCE NOTES:**
1. SIGN ON SWING GATE SHALL READ "KEEP CLOSED AT ALL TIMES".
  2. FENCING SHALL BE HIGH ENOUGH TO SCREEN GARBAGE TOTES WITHIN.

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DRAWN BY:	JCM			
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**MCE** METZGER CIVIL ENGINEERING, PLLC

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CENTER FOR JEWISH LIFE  
757 HOPKINS ROAD  
TOWN OF AMHERST, ERIE COUNTY, NEW YORK

**SITE DETAILS**

SCALE:	AS SHOWN
DATE:	MAY 16, 2025
JOB NO:	M2514
DRAWING NO:	DT-1 SHEET 8