

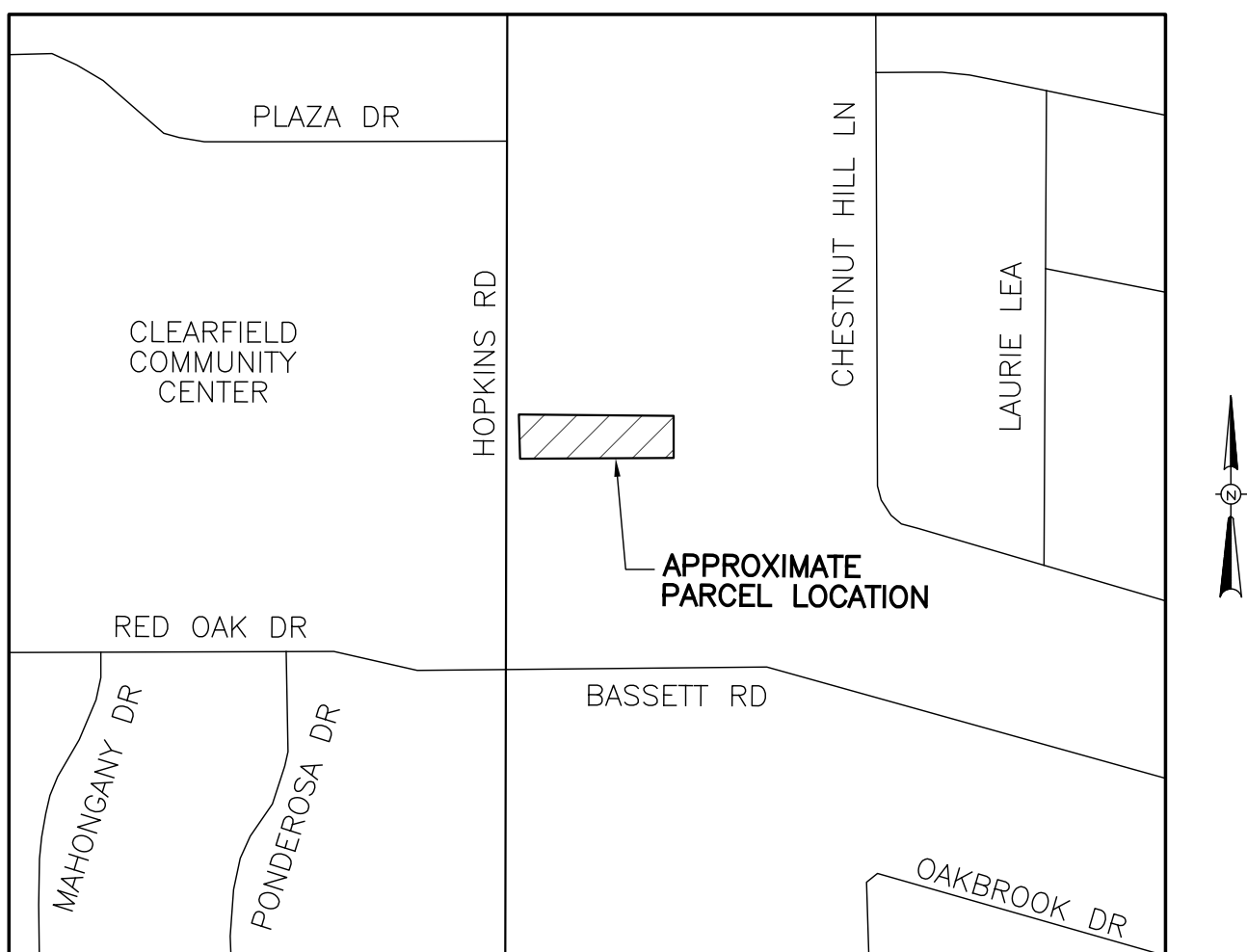
CENTER FOR JEWISH LIFE

757 HOPKINS ROAD

TOWN OF AMHERST,

ERIE COUNTY,

NEW YORK



SITE LOCATION MAP

SCALE: NTS

PROJECT LEGEND

EXISTING FEATURES*	PROPOSED FEATURES*
PROJECT BOUNDARY LINE	STORM CATCH BASIN
CENTERLINE	WATER VALVE
MAIL BOX	SANITARY SEWER LATERAL
SIGN	STORM SEWER LINE
ELEC. M.H.	WATERLINE
TELE. M.H.	SIGN
SANITARY MANHOLE & LINE	SPOT ELEVATION
WATER LINE	FLOW DIRECTION
UTILITY POLE	INLET PROTECTION
WATER VALVE	SILT SOCK
HYDRANT	STABILIZED CONSTRUCTION ENTRANCE
GAS LINE	
OVERHEAD WIRES	

* WHERE APPLICABLE



METZGER CIVIL ENGINEERING, PLLC

SCHEDULE OF DRAWINGS:

SHEET NO	DRAWING	DESCRIPTION
1	CS-1	COVER SHEET
2	--	TRUE NORTH BOUNDARY & TOPOGRAPHY SURVEY
3	DP-1	DEMOLITION PLAN
4	SP-1	SITE PLAN
5	GD-1	GRADING & DRAINAGE PLAN
6	ESC-1	EROSION & SEDIMENT CONTROL PLAN
7	LP-1	LANDSCAPE PLAN
8	DT-1	SITE DETAILS

OWNER:

CENTER FOR JEWISH LIFE, INC.
757 HOPKINS ROAD
WILLIAMSVILLE, NEW YORK 14221

CIVIL ENGINEER:

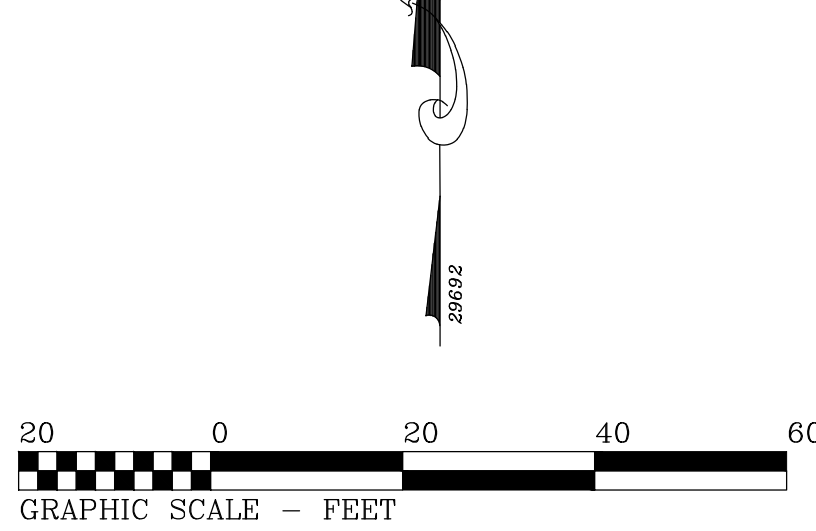
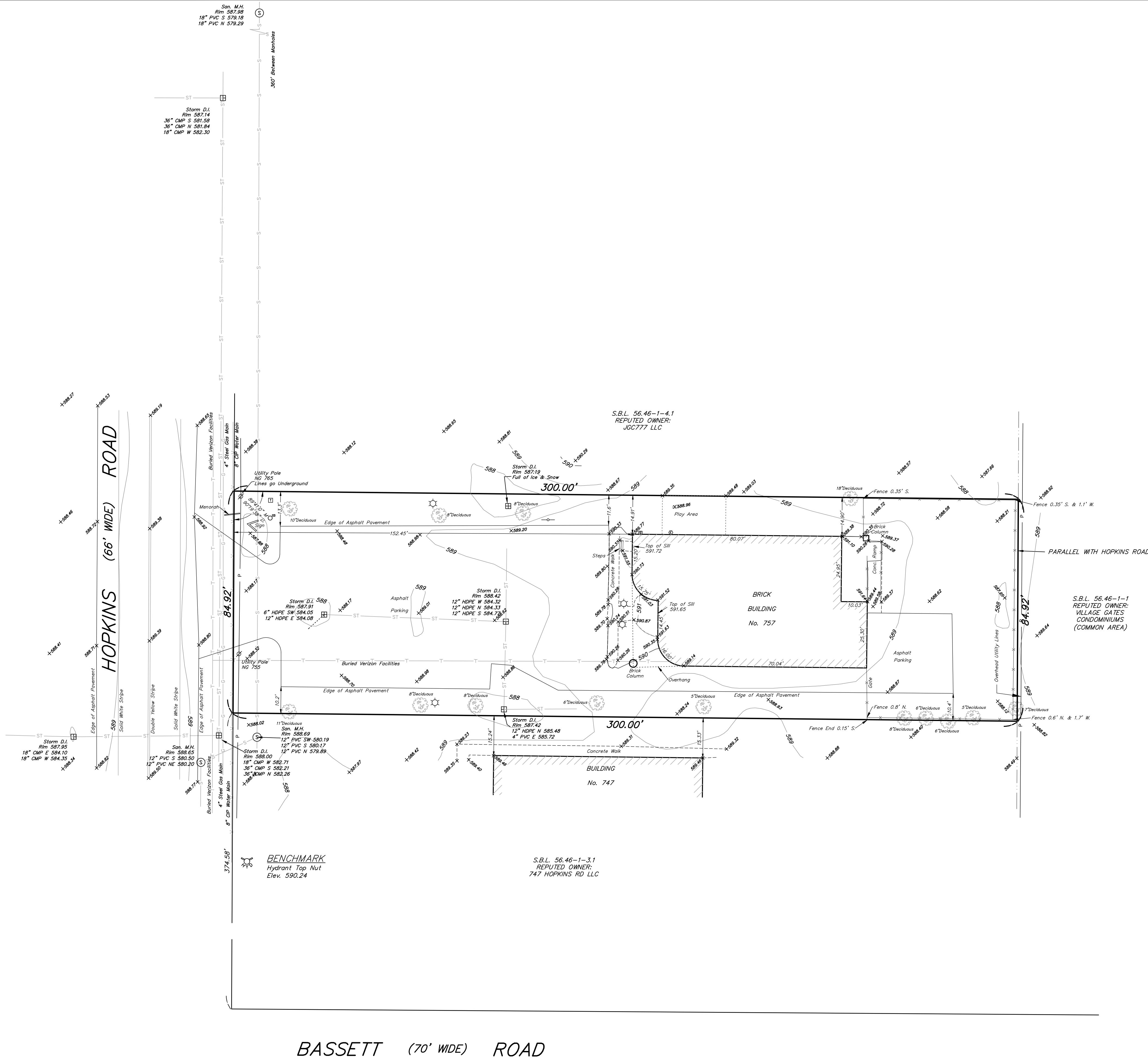
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8245 SHERIDAN DRIVE
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PHONE: (716) 633-2601
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EMAIL: meteng@roadrunner.com

ARCHITECT:

SUTTON ARCHITECTURE, PLLC
5409 MAIN STREET - SUITE #2
WILLIAMSVILLE, NEW YORK 14221
PHONE: (716) 932-7156
EMAIL: mikeb@design2build.com

TOWN OF AMHERST NOTES:
1) CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN CONSTRUCTION SPECIFICATIONS WHERE APPLICABLE AND/OR SUBJECT TO THE LATEST REVISIONS.

REVISED:	JULY 30, 2025
SCALE:	NTS
DATE:	MAY 16, 2025
JOB NO:	M-2514
DRAWING NO:	
CS-1	
SHEET 1	



LEGEND	
	UTILITY / SERVICE POLE
	WATER LINE VALVE
	FIRE HYDRANT
	D.I. (DROP INLET - STORM)
	MANHOLE (STORM)
	MANHOLE (ELECTRIC)
	MANHOLE (TRAFFIC)
	MANHOLE (SANITARY)
	MANHOLE (TELEPHONE)
	GAS LINE MARKER
	GAS LINE VALVE
	LIGHT STANDARD
	SIGN
	H.C. HANDICAP
	TELEPHONE PEDESTAL
	GAS METER
	ELECTRIC METER
	CLEANOUT
	R.O.W. RIGHT OF WAY
	CONC. CONCRETE
	INV. INVERT
	M.H. MANHOLE
	—G— GAS LINE
	—W— WATER LINE
	—T— TELEPHONE LINE
	—E— ELECTRIC LINE
	—P— UTILITY LINES
	—C— CABLE LINES
	D. DEED
	M. MEASURED
	L. LIBER
	P. PAGE

ELEVATION DATUM

ELEVATIONS ON THIS MAP WERE DETERMINED UTILIZING GPS DATUM:
NAD83 (2011) EPOCH 2010.0 DATUM
STONEX S900 GPS UNIT (CONUS 12B GEOD)
NAVD83 VERTICAL DATUM

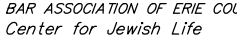

UTILITIES

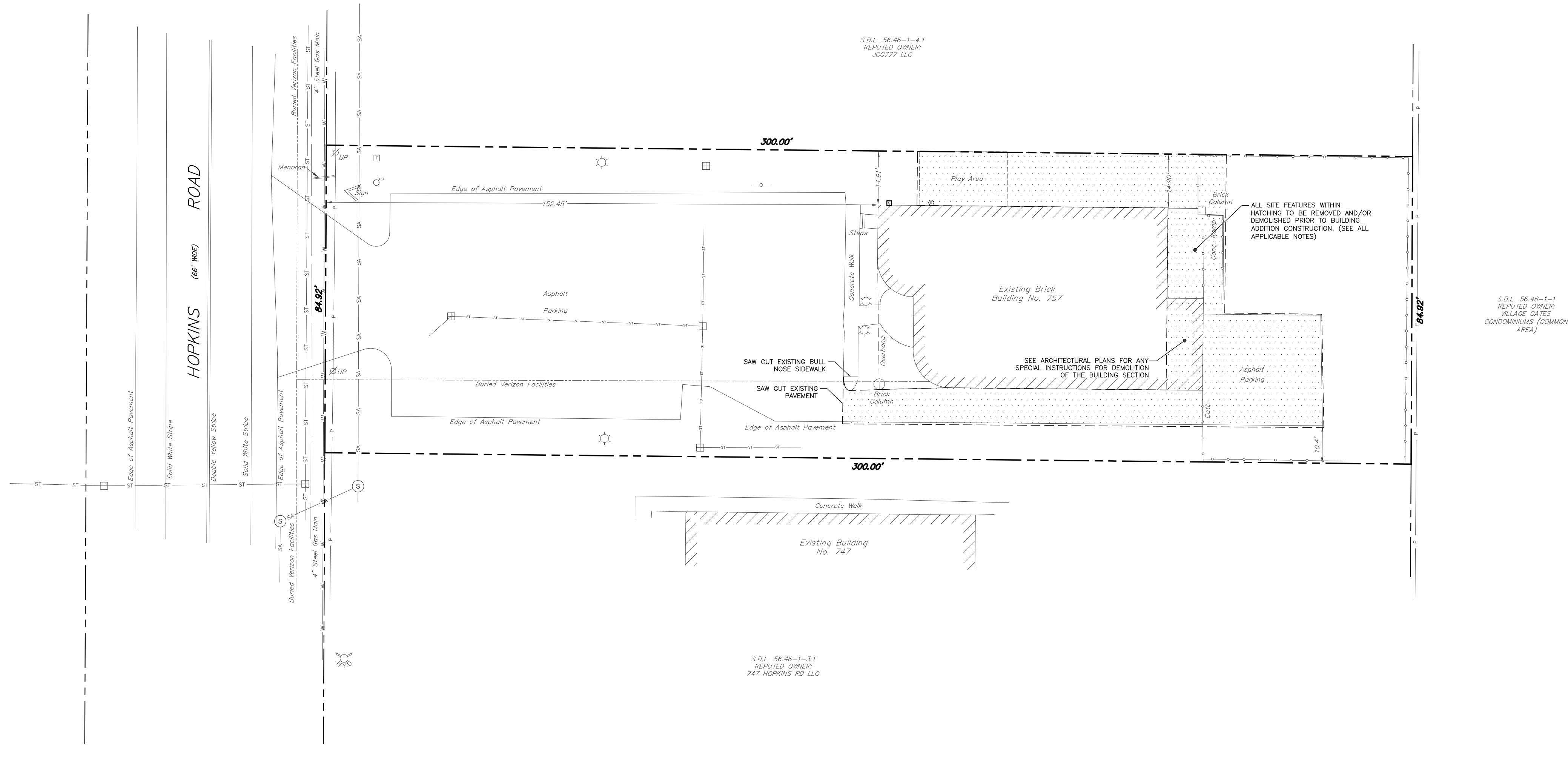
The underground utilities shown have been located from field survey information & existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from the information available. This surveyor has not physically located the underground utilities.

Note: Underground Utility information has been ordered from the respective utility companies. As the information is received, this map will be amended to reflect said information.

National Fuel Attn: Ed Holpa (716) 857-7967	Time Warner Cable Attn: Chris Smith (800) 262-8600	Verizon Attn: Mark Granschow (716) 840-8656
Erie County Water Dept. Attn: Steve Dender (716) 855-8289	N.Y.S. Electric & Gas Attn: Sam Cappaglia (716) 651-5255	National Grid Attn: Ray Schultz (315) 428-6319

INSTRUMENT(S) UTILIZED IN DETERMINING LOCATION OF BOUNDARY LINES: Liber 11408 Deeds P.1209 (First Described Parcel)
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED IN SAID ABSTRACT.
NOTE: PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY. NOTE: THIS SURVEY WAS PERFORMED UNDER SEVERE SNOW AND ICE CONDITIONS.

<div><div><div>THIS SURVEY MAP WAS PREPARED IN ACCORDANCE WITH THE CURRENT STANDARDS FOR LAND SURVEYS AGREED BY THE ASSOCIATION OF STATE SURVEYORS AT THE REQUEST OF THE Center for Juvenile Life.</div><div> CHRISTOPHER J. BARR NYS PLS No. 051068</div></div></div>	<div><div><div>©COPYRIGHT 2025 BY:</div><div><div><div>TRUE NORTH</div><div>LAND SURVEYING, PLLC</div><div>150 AERO DRIVE BUFFALO, NEW YORK 14225 (716)631-5140 ~ Truenorthpllc@aol.com</div></div></div></div></div>	<div>AMEND:</div> <div>SURVEY DATE: 2-12-25</div> <div>®DRAWING DATE: 2-18-25</div> <div>SCALE: 1" = 20'</div> <div>"ALL RIGHTS RESERVED"</div>
	<div>BOUNDARY AND TOPOGRAPHIC SURVEY</div>	
	<div>PART OF LOT 49 SECTION 12 TOWNSHIP 12 RANGE 7 OF THE: Holland Land Company's SURVEY - Erie COUNTY, N.Y.</div>	
	<div>SURVEY OF: 757 Hopkins Road, Town of Amherst</div>	
	<div>SBL No. 56.46-1-3.2</div>	



NOTES:

1. CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES AND FEATURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS CAUSED BY DAMAGE TO EXISTING STRUCTURES DURING THE CONSTRUCTION PROCESS. ALL REPAIRS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE.
2. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING PAVEMENT SECTIONS THAT OCCUR DURING CONSTRUCTION.
3. ALL NECESSARY DEMOLITION PERMITS SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO ANY DEMOLITION WORK.
4. ALL VEGETATION AND TREES WITHIN THE LIMITS OF DISTURBANCE SHALL BE REMOVED UNLESS OTHERWISE NOTED. SEE LANDSCAPE PLAN FOR FURTHER DETAILS.
5. DEMOLITION OF STRUCTURES AND DISPOSAL OF MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE TOWN AND STATE REGULATIONS. ANY FOUNDATIONS, INCLUDING BASEMENTS, ARE TO BE COMPLETELY REMOVED AND BACKFILLED WITH SUITABLE GRANULAR FILL.
6. EXISTING UTILITY SERVICE CONNECTIONS SHALL REMAIN IN PLACE TO SERVE THE BUILDING ADDITION.

NOTES:

1) THESE PLANS HAVE BEEN DEVELOPED FROM THE BOUNDARY AND TOPOGRAPHY SURVEYS COMPLETED BY TRUE NORTH LAND SURVEYING, PLLC DATED FEBRUARY 16, 2025.
THIS IS NOT A PROPERTY SURVEY.

DESIGNED BY:	JCM			
DRAWN BY:	JCM			
CHECKED BY:	MJM			
CAD FILE:	M2514			
NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 7209, PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW				
REVISIONS		DATE	BY/CHK	

M

C

E

METZGER

CIVIL

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PH: 716-633-2601

FAX: 716-633-2704

CIVIL ENGINEERING

LAND PLANNING

SITE DESIGN

MUNICIPAL ENGINEERING

CENTER FOR JEWISH LIFE

757 HOPKINS ROAD

TOWN OF AMHERST, ERIE COUNTY, NEW YORK

DEMOLITION PLAN

SCALE: 1" = 20'

DATE: MAY 16, 2025

JOB NO: M2514

DRAWING NO:

DP-1

SHEET 3

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SITE DATA TABLE

ZONED:OB

PARCEL SIZE:0.58 ACRES

MINIMUM LOT AREA:NONE

MINIMUM LOT WIDTH:NONE

MAXIMUM BUILDING HEIGHT:65'

PROPOSED BUILDING HEIGHT:<65'

FRONT YARD SETBACK (FYSB) REQUIRED:20.0' (FOR BLDG <35')

FRONT YARD SETBACK (FYSB) EXISTING:152.5'

FYSB TO CL HOPKINS ROAD REQUIRED:90.0'

FYSB TO CL HOPKINS ROAD EXISTING:184'±

SIDE YARD SETBACK REQUIRED:15.0' (FOR BLDG <30' ADJ. TO NONRES.)

SIDE YARD SETBACK PROVIDED:0.1'*

REAR YARD SETBACK REQUIRED:30.0' (FOR BLDG <30' ADJ. TO RES.)

REAR YARD SETBACK PROVIDED:18.4'*

* VARIANCES WERE GRANTED BY THE TOWN OF AMHERST ZBA ON MARCH 19, 2024 FOR BOTH SIDE YARDS SETBACKS (5' TO NORTH AND 0' TO SOUTH) AS WELL AS THE REAR YARD SETBACK (18')

PARKING:

AREA OF VEHICLE USE AREA:7,651 SF

AREA OF INTERIOR GREENSPACE:453 SF

MINIMUM INTERIOR GREENSPACE REQUIRED:5.0%

INTERIOR GREENSPACE EXISTING:5.9%

VUA FRONT YARD SETBACK REQUIRED:15.0'

VUA FRONT YARD SETBACK EXISTING:17.7'

VUA SIDE YARD SETBACK REQUIRED:10.0' (ADJACENT TO NONRES.)

VUA SIDE YARD SETBACK EXISTING:10.2'

VUA REAR YARD SETBACK REQUIRED:25.0'

VUA REAR YARD SETBACK EXISTING:157'±

COMMERCIAL SPACE:11,490± SF

CALCULATED NET FLOOR AREA:80% (MULTI-STORY, SINGLE TENANT)

ADJUSTED NET FLOOR AREA:9,192± SF

REQUIRED COMMERCIAL PARKING:46 SPACES (1 PER 200 SF)

TOTAL PARKING PROVIDED:22 SPACES



- NOTES:
1. NO NEW WATER SERVICE OR SANITARY SEWER UTILITIES ARE PROPOSED FOR THE BUILDING ADDITION. THE NEW ADDITION SHALL CONNECT TO THE EXISTING WATER AND SANITARY SEWER SERVICES CURRENTLY IN PLACE SERVING THE EXISTING BUILDING INTERNALLY. REFER TO THE BUILDING PLANS FOR DETAILS. THE EXISTING WATER AND SANITARY SEWER SERVICES ARE DISPLAYED FOR ILLUSTRATION PURPOSES ONLY.

2. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.

3. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S AND ENGINEER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.

4. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.

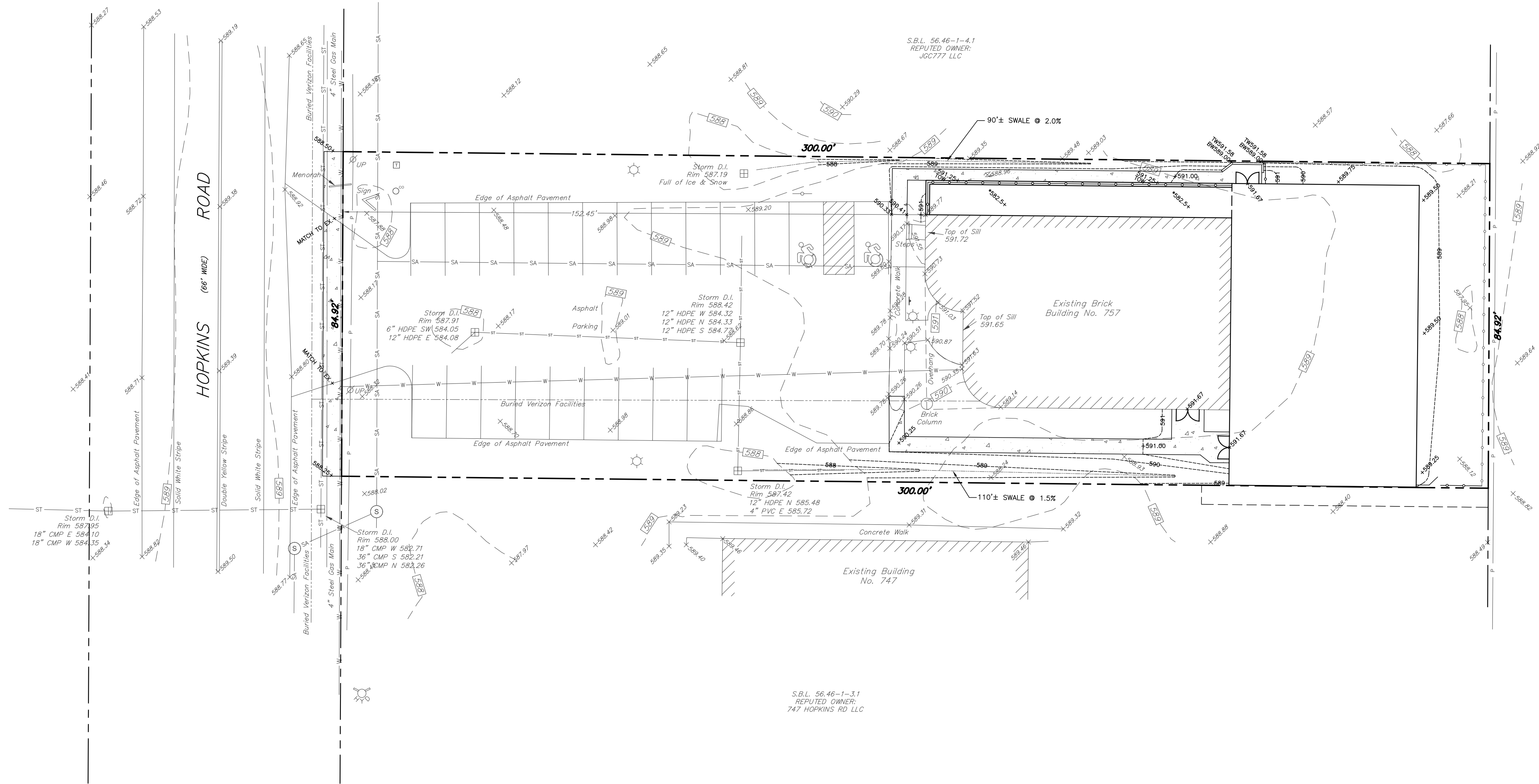
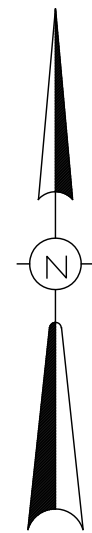
5. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK. ANNOTATED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO SATISFACTION OF OWNER.

7. CONTRACTOR SHALL ASCERTAIN LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.

8. CONTRACTORS SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.

NOTES: 1) THESE PLANS HAVE BEEN DEVELOPED FROM THE BOUNDARY AND TOPOGRAPHY SURVEYS COMPLETED BY TRUE NORTH LAND SURVEYING, PLLC DATED FEBRUARY 16, 2025. THIS IS NOT A PROPERTY SURVEY.	DESIGNED BY:	JCM				<div><div>MCE</div><div>METZGER CIVIL ENGINEERING, PLLC</div><div>8245 SHERIDAN DRIVE WILLIAMSVILLE, NY 14221 PH: 716-633-2601 FAX: 716-633-2704</div><div>CIVIL ENGINEERING LAND PLANNING SITE DESIGN MUNICIPAL ENGINEERING</div></div>	<div><div>STATE OF NEW YORK</div><div>SEAL</div><div>1066786</div><div>REGISTERED PROFESSIONAL ENGINEER</div></div>	CENTER FOR JEWISH LIFE 757 HOPKINS ROAD TOWN OF AMHERST, ERIE COUNTY, NEW YORK SITE PLAN		SCALE:	1" = 20'
	DRAWN BY:	JCM	DATE:	MAY 16, 2025							
	CHECKED BY:	MJM	JOB NO:	M2514							
	CAD FILE:	M2514	DRAWING NO:	SP-1							
	NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 7209, PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW	TOWN COMMENTS	07.30.25	JCM						SHEET 4	
	REVISIONS	DATE	BY/CHK								



- NOTES:
- ALL ROOF LEADERS FOR THE BUILDING ADDITION SHALL BE TIED INTO THE EXISTING ROOF DRAINAGE SYSTEM; OR THE EXISTING CATCH BASINS; OR CONNECT TO THE STORM PIPING VIA INSERTA TEES.
 - PRIOR TO TOPSOILING AND SEEDING, ALL AREAS OF CUT OR FILL ARE TO "DE-COMPACTED" USING EQUIPMENT DRAWN IMPLEMENTS MAKING A NARROW SLIT OR A ROLLER WITH MANY SPIKES MAKING INDENTATIONS IN THE SOIL.
 - CONTRACTOR TO VERIFY WALKOUT BASEMENT ELEVATION, WHICH SHALL MATCH THE EXISTING BASEMENT ELEVATION.
 - EXPOSED WALKOUT BASEMENT SHALL SLOPE TO THE CENTER OF THE AREA WITH A SUMP. SUMP SHALL BE EQUIPPED WITH A PUMP TO DISCHARGE ACCUMULATING STORMWATER INTO EXISTING STORM DRAINAGE SYSTEM. MANUFACTURER TO SPECIFY PUMP.

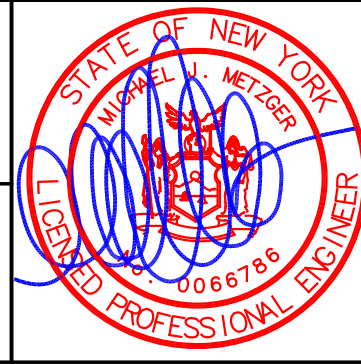
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DESIGNED BY: JCM
DRAWN BY: JCM
CHECKED BY: MJM
CAD FILE: M2514
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TOWN COMMENTS	07.30.25	JCM
REVISIONS	DATE	BY/CHK

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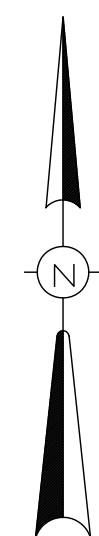
CIVIL ENGINEERING
LAND PLANNING
SITE DESIGN
MUNICIPAL ENGINEERING



CENTER FOR JEWISH LIFE
757 HOPKINS ROAD
TOWN OF AMHERST, ERIE COUNTY, NEW YORK

GRADING & DRAINAGE PLAN

SCALE: 1" = 20'
DATE: MAY 16, 2025
JOB NO: M2514
DRAWING NO: GD-1
SHEET 5



1. ALL DISTURBED AREAS AND SITE STOCKPILES ARE TO HAVE TEMPORARY VEGETATIVE COVER ESTABLISHED WITHIN 14 DAYS, IF IDLE.
2. AFTER EACH RAINFALL EVENT OR WHENEVER WARRANTED, THE CONTRACTOR MUST RESPOND TO ANY NECESSARY, TO REMOVE ALL EROSION CONTROL DEVICES.
3. THE CONTRACTOR SHALL USE ALL MEASURES APPROPRIATE TO LIMIT THE AMOUNT OF SEDIMENTS, DIRT AND MUD FROM TRACKING ONTO PUBLIC ROADWAYS. CONTINUOUS SWEEPING MAY BE NECESSARY.
4. WHEN FINAL "STABILIZATION" HAS BEEN ACHIEVED, INCLUDING THE ESTABLISHMENT OF "A COMPETENT" VEGETATIVE COVER, THE CONTRACTOR TO REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.

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SCREENING NOTE 1:

7-2-4 (4): Screening Adjacent to Residential Zoning.

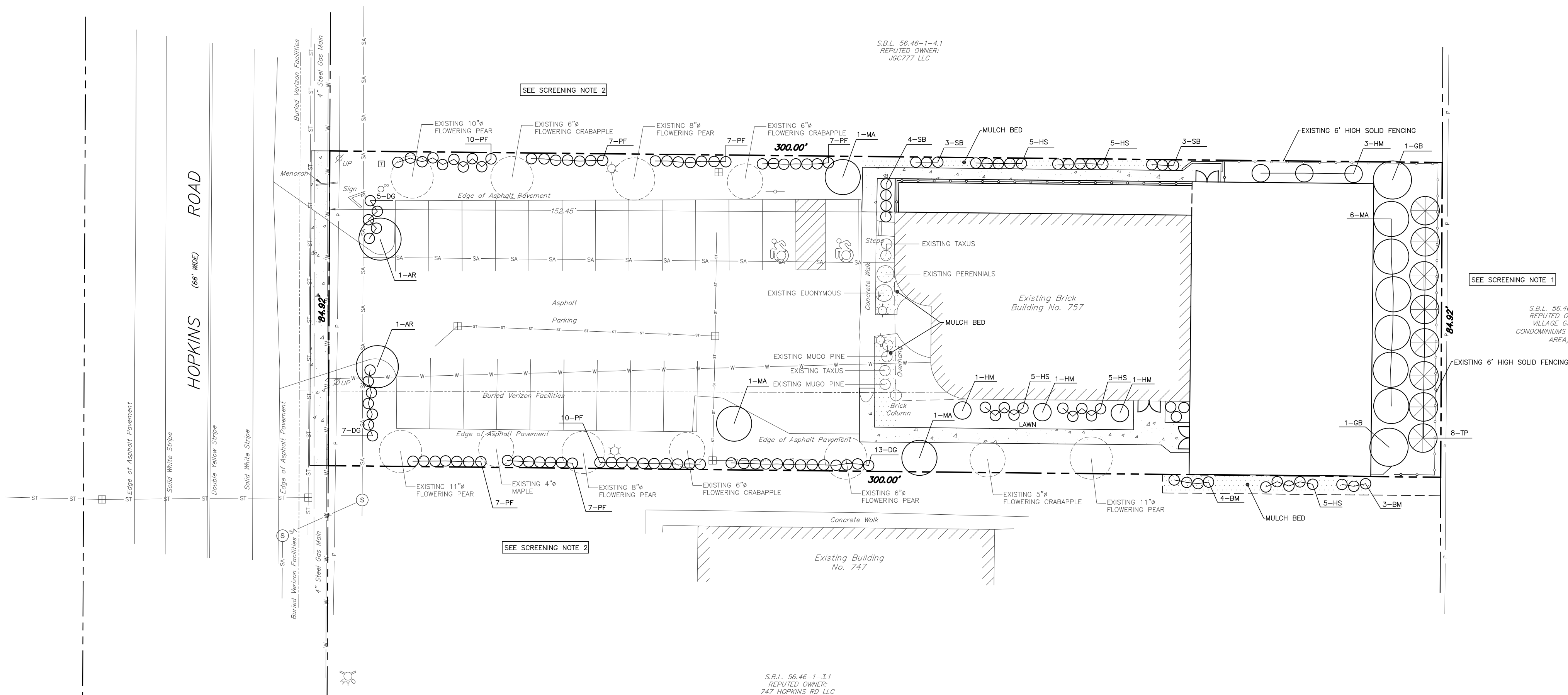
When adjacent to the following districts: R-R, S-A, R-1, R-2, R-3, CR-3A, TR-3, R-4, MFR-4A, MFR-5, MFR-6, MFR-7 PRD, PDD,PRD, or NCD, any building or structure in the MFR-6, MFR-7, OB, GB, NB, CS, MS, SC,RD, ST, GI, AG, CF, R-R, S-A or RC districts must provide the following landscape buffering and screening within the required side and/or rear yard(s):

An earthen berm with a minimum height of three (3) feet (measured at the top of a1:3± grade) or an opaque wood or vinyl fence, brick, stone or ornamental concrete masonry unit wall with a minimum height of 5 feet and the following plant materials: a minimum of one evergreen tree per each 10 linear feet of property line adjacent to single-family residential zoning, one small deciduous or ornamental tree per each 15 linear feet of property line adjacent to residential zoning and one large deciduous tree per each 40 linear feet of property line adjacent to single-family residential zoning.

SCREENING NOTE 2:

Low Impact Screening. When the proposed development is considered to have a low impact on the existing adjacent zoning according to the table in § 1-1-1B, one of the following methods for buffering and screening shall be provided *within the required rear and side yards for the VUA's* (for yard dimensions, refer to the Dimensional Standards for each zoning district).

Buffering and screening may consist of one low impact landscape screen evenly distributed within the required yard area (refer to low impact screen table below).

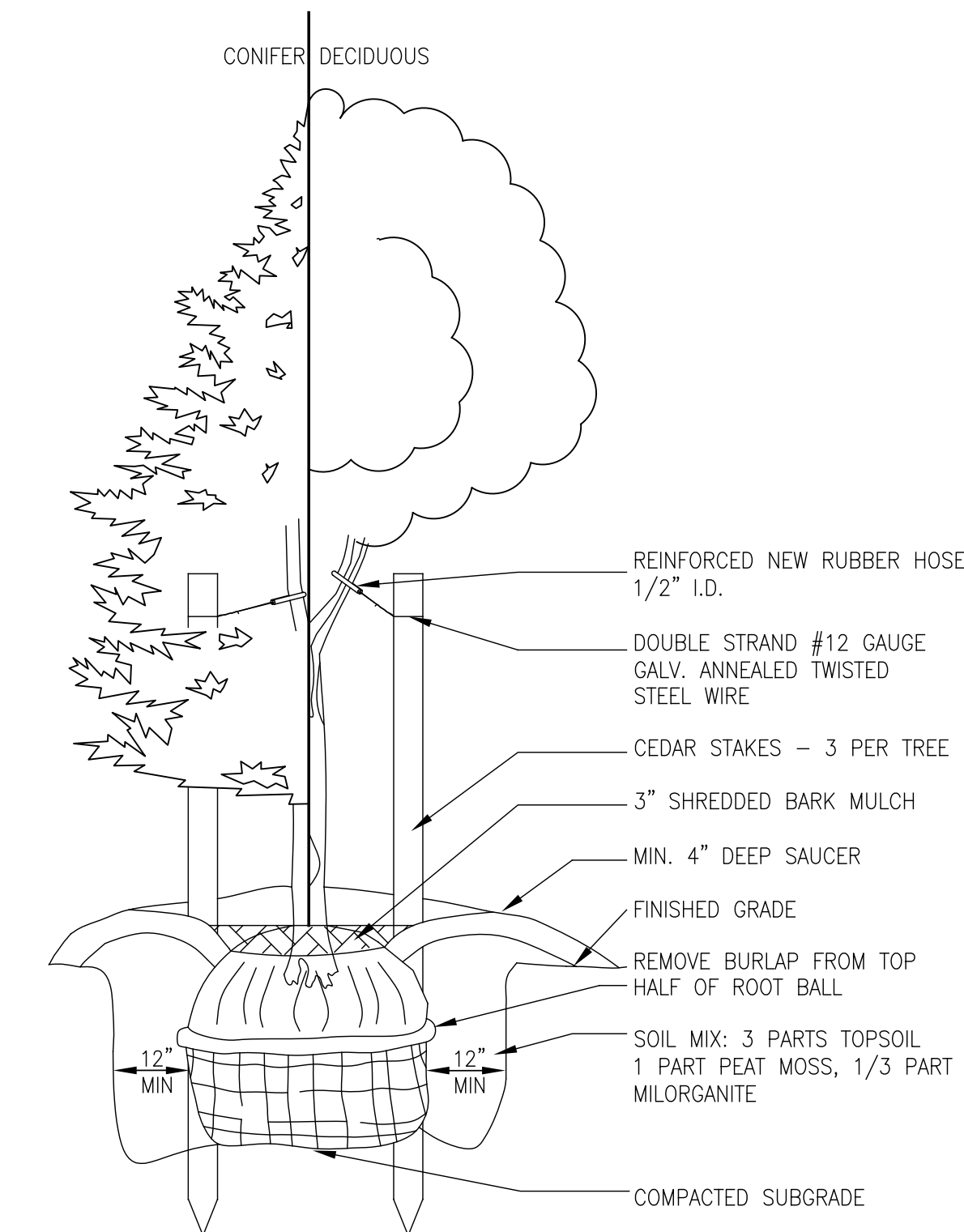


PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
DECIDUOUS TREES					
AR	2	ACER RUBRUM 'SUN VALLEY'	SUN VALLEY RED MAPLE	2 3/4" - 3" CAL	B&B; GROWS TO 40' HIGH, 35' WIDE
GB	2	GINKO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAINDENHAIR TREE	2 3/4" - 3" CAL	B&B; GROWS TO 65' HIGH, 25' WIDE
ORNAMENTAL TREES					
MA	6	MALUS 'ADIRONDACK'	ADIRONDACK CRABAPPLE	1 3/4" - 2" CAL	B&B; GROWS TO 18' HIGH, 10' WIDE
MR	3	MALUS 'ROYAL RAINDROPS'	ROYAL RAINDROPS CRABAPPLE	1 3/4" - 2" CAL	B&B; GROWS TO 20' HIGH, 15' WIDE
SHRUBS					
BU	10	BUXUS MICROPHYLLA 'BULHOUSE'	SPRINTER BOXWOOD	24" HIGH	NO. 3 CONT.; GROWS 3-4' TALL AND WIDE
DG	32	DIERVILLA 'G2X88544'	KODIAK ORANGE DIERVILLA	24" HIGH	NO. 5 CONT.; GROWS 3-4' TALL AND WIDE
HM	6	HEPTACODIUM MICONIOIDES 'SMNHMRP'	TEMPLE OF BLOOM (TREE FORM)	36" HIGH	NO. 5 CONT.; GROWS 6-10' TALL AND WIDE
HS	25	HYDRANGEA SERRATE 'SMNHSDD'	TUFF STUFF AH-HA HYDRANGEA	24" HIGH	NO. 3 CONT.; GROWS 2-3' TALL AND WIDE
PF	48	POTENTILLA FRUITICOSA 'GOLDFINGER'	GOLDFINGER POTENTILLA	24" HIGH	NO. 3 CONT.; GROWS TO 3' TALL AND 4' WIDE
SB	10	SPIRAEA X BUMALDA 'GOLDFLAME'	GOLDFLAME SPIREA	24" HIGH	NO. 5 CONT.; GROWS 3-4' TALL AND WIDE
EVERGREEN TREES					
TP	8	THUJA PLICATA 'GROVEPLI'	SPRING GROVE WESTERN ARBORVITAE	5' HIGH MIN.	B&B; FULL TO GROUND; GROWS TO 25' HIGH AND 12' WIDE

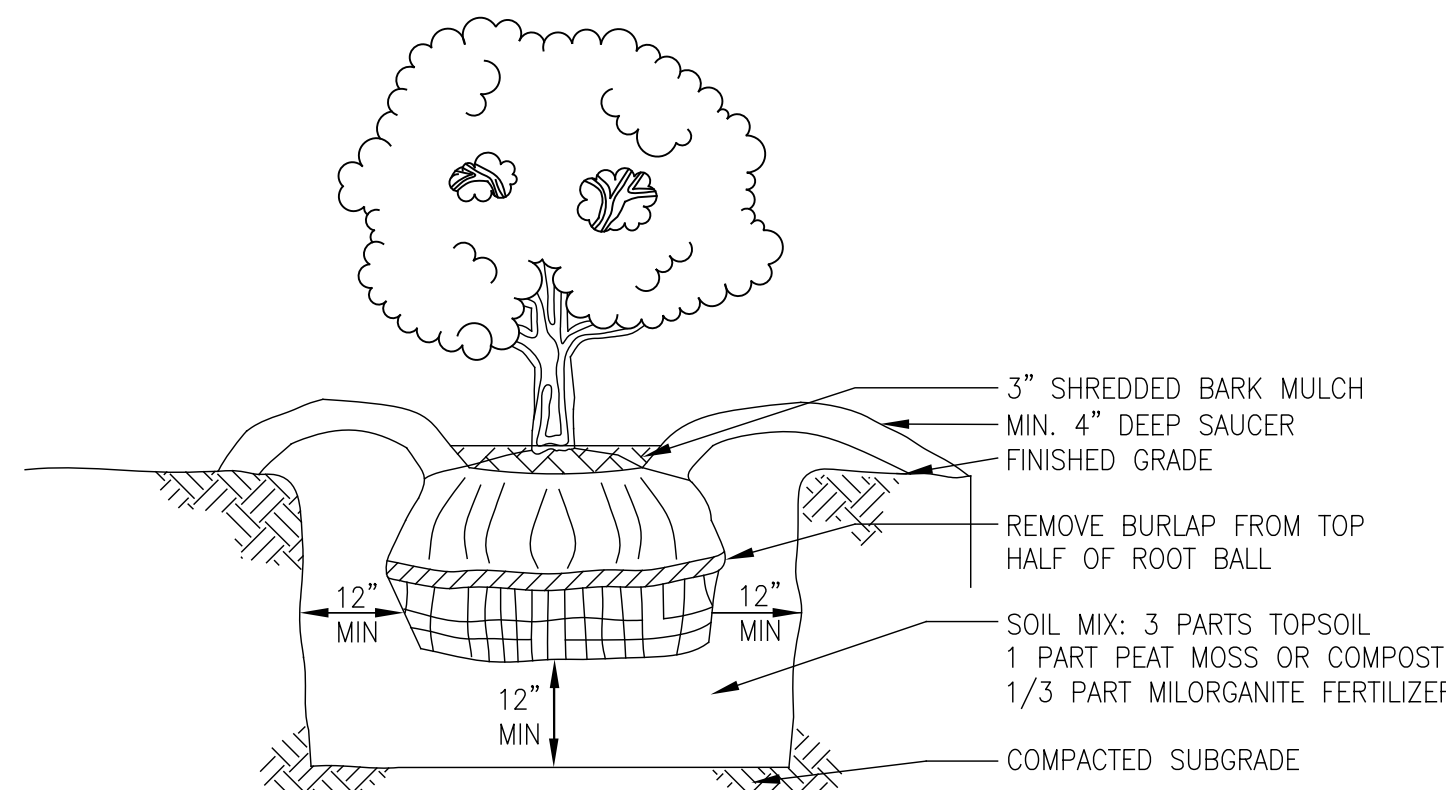
NOTES:

- ALL PLANTING BEDS AND TREE SAUCERS SHALL RECEIVE A MINIMUM 3-INCH DEPTH OF DARK SHREDDED HARDWOOD BARK MULCH.
- DURING CONSTRUCTION THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ALL POSSIBLE TYPES OF ROOT, TRUNK, AND LIMB DAMAGE; INCLUDING BUT NOT LIMITED TO, RETAINING WALLS WHICH PREVENT FILLING ON TOP OF ROOTS OR EXCAVATING TREE ROOTS.



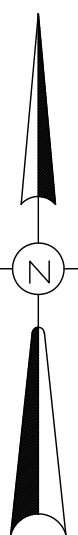
PLANTING DETAIL

N.T.S.



**SHRUB PLANTING DETAIL
BALLED AND BURLAP**

N.T.S.



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THIS IS NOT A PROPERTY SURVEY.

DESIGNED BY:

JCM

DRAWN BY:

JCM

CHECKED BY:

LKM

CAD FILE:

M2514

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TOWN COMMENTS

07.30.25

JCM

REVISIONS

DATE

BY/CHK



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**CENTER FOR JEWISH LIFE
757 HOPKINS ROAD**

TOWN OF AMHERST, ERIE COUNTY, NEW YORK

LANDSCAPE PLAN

SCALE: 1" = 20'

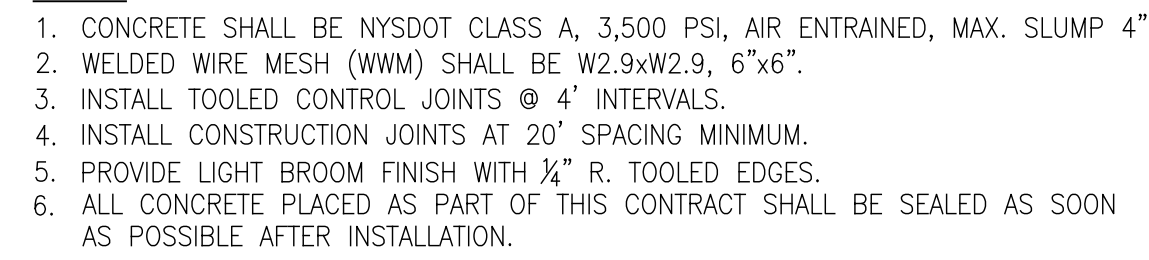
DATE: MAY 16, 2025

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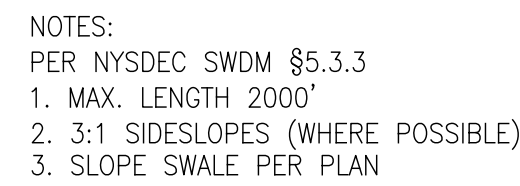
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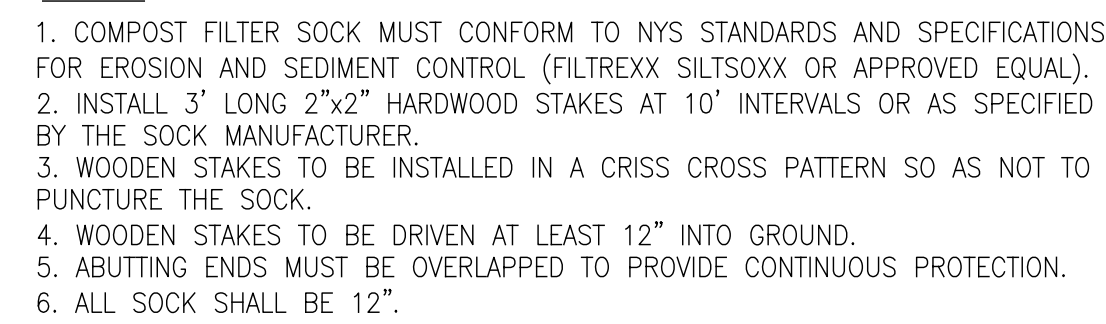
SHEET 7



N.T.S.



N.T.S.



N.T.S.

