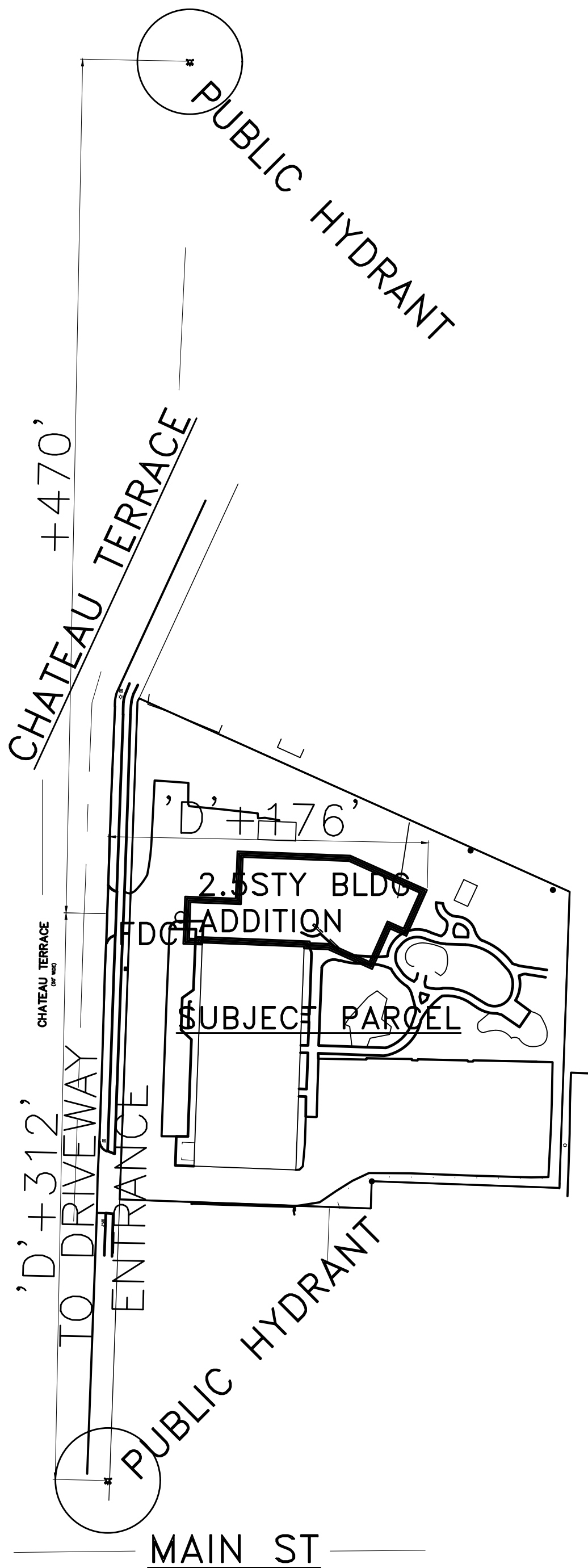


HYD LOCATION MAP

1" = 60'

'D' TO MOST REMOTE
WALL=312'+176'=488'<600'
BLDG SPRINKLERED



AN-MH
680.27
672.57
673.77

CHATEAU TERRACE
(50' WIDE)

SAN-MH
668.61
662.76
662.81

SITE DATA

CURRENT ZONING: Ti-2.5G: TRADITIONAL
INFILL '2.5' STORIES -GREEN
USE: PRIVATE SCHOOL
TOTAL SITE AREA: +1.22 ACRES (AC)
DISTURBANCE/DRAINAGE AREA: +0.43 AC
PROPOSED BLDG SIZE: 18620 SF

AREA SETBACKS: REQUIRED: PROVIDED:
FRONT BUILDING 10'-30'MAX 30.1'
SIDE TO R3 ZONE 30' 31.3'
SIDE TO NON-RES 0' 19.69'
REAR 0' 86.84'
FRONT PAVEMENT 20' 0'
SIDE TO R3 20' 0.9'
SIDE TO NON-RES 0' 5'
REAR 0' 6'
MAX BLDG HEIGHT 2.5 STY, 35' PER 'A'
GROUND FLR ELEV 0-2' AFG 3.2'
BLDG LENGTH 60%
FRONTAGE;166.5'/173.6'
BICYCLE SPA 1/3000SF; 6 0
EV-READY SPA 10%, 2 MIN. 2
BUILDING AND GROUND FLOOR HEIGHT
MEASURED FROM TOP OF CURB AT DRIVE

PARKING DATA

SPACES REQUIRED: 3.5 SPA/1000SF x
18620SF = 65
EXISTING SPACES: 31 INCL 2 HC
NET SPACES: 37 INCL 2 HC (+6)

PARKING STALLS: 9'x19', 24' DRIVE LANE

AERIAL RESCUE LANE: REQ'D PARALLEL TO
WALL OVER 30-FT; 26'w CLEAR; 15'MIN,
30' MAX FROM BUILDING WALL

DRAWING NOTES:

- BOUNDARY AND TOPOGRAPHIC
INFORMATION SHOWN ON THIS DRAWING
IS FOR INFORMATION ONLY. REFER
SURVEY(S) PROVIDED BY NUSSBAUMER
& CLARKE, INC., JOB No 25J2-1182,
DATED AUG. 2025.
- THE BUILDING CONTAINS A SPRINKLER
FIRE-PROTECTION SYSTEM.
- A KNOX BOX KEY HOLDER SHALL BE
LOCATED AT THE BLDG MAIN ENTRANCE
- NEW FIRE DEPT SPRINKLER
CONNECTION (FDC) SHALL FACE THE
ROADWAY w/SIGNAGE PER FIRE CODE
SEE 'A' DWGS
- ROOF TRUSS TYPE SIGNAGE POSTED
AT MAIN ENTRANCE PER FIRE CODE
SEE 'A' DWGS

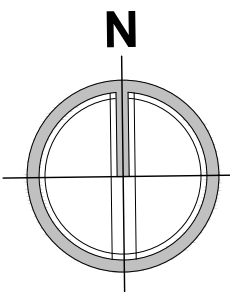
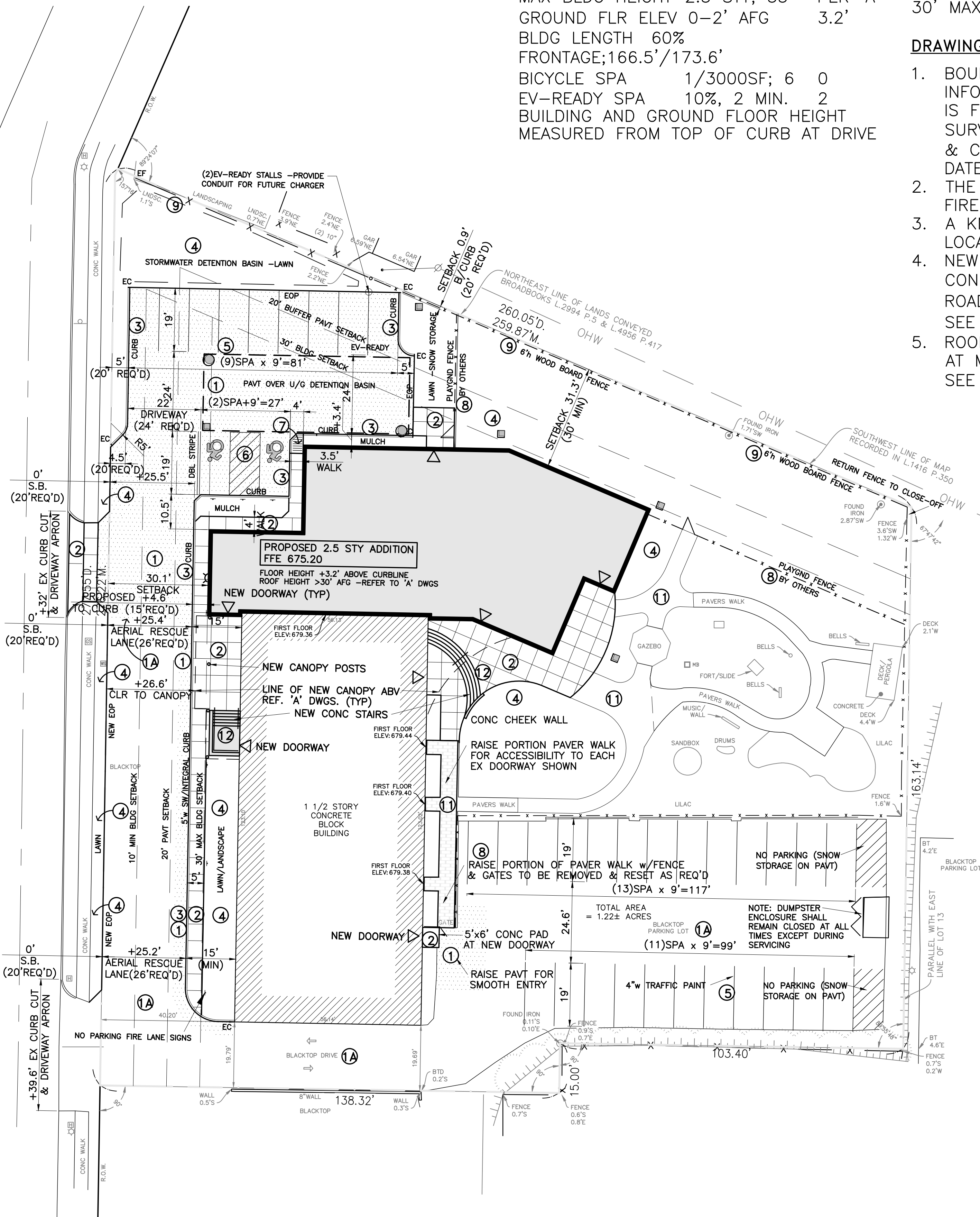
SITE LAYOUT PLAN

1" = 20'

CONSTRUCTION NOTES:

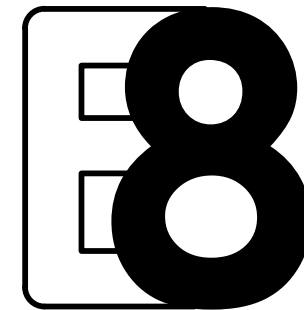
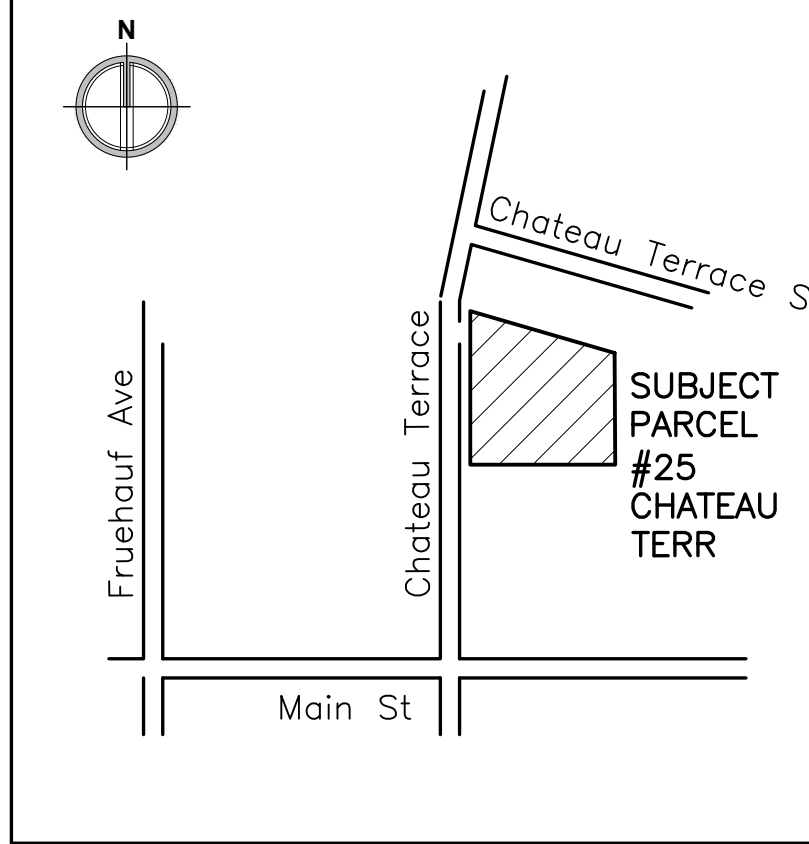
- ASPHALT PAVEMENT SECTION
1A. FILL CRACKS IN PAVT, FILL POTHOLE, MILL EX
PAVT 1" MIN & RETOP, SEAL & REPAINT
- CONCRETE PAVEMENT SECTION
- CONCRETE CURB
- 4-INCH MINIMUM TOPSOIL & SEED
- 4-INCH WIDE TRAFFIC PAINT STRIPING
- HC SYMBOL & SIGNAGE
- HC ACCESS RAMP
- PLAYGROUND FENCE & GATE -NEW OR
SALVAGED -TO MATCH EXISTING -REFER TO 'A'
SPEC.
- 6'h WOOD BOARD FENCE
- MECHANICAL EQUIP ON CONC PAD PER 'MEP'
DWGS.
- NEW AND SALVAGED PAVERS -COORD WITH
OWNER
- CONC STAIRS & RAILINGS PER 'A' DWGS.

NOTE: DEMOLITION, SALVAGE AND/OR
RECONSTRUCTION OF PLAYGROUND
EQUIPMENT, SURFACING, ETC. BY OTHERS



SITE LOCATION MAP

N.T.S.



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EARLY CHILDHOOD LEARNING CENTER
ADDITION & RENOVATIONS

Bornhava
25 Chateau Terrace
Amherst, NY 14226



Site Plan
Submission

04.28.2026

Revisions

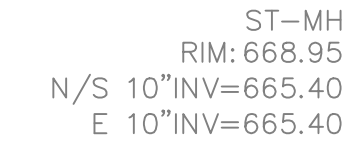
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Site Layout Plan

Project Number: 266.01
Sheet Number:

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ST-MH
RIM: 680.56
N/S 10" INV=676.46

x -	ELEV	DNOTES	PROPOSED SPOT ELEVATIONS	
		DNOTES	PROPOSED CATCH BASIN/MANHOLE	
CO		DNOTES	PROPOSED CLEANOUT	
		DNOTES	CONNECTION TO EXISTING UTILITY	
EOP			EDGE OF PAVEMENT	
EF			END FENCE	
DS		DNOTES	PROPOSED DOWNSPOUT PER 'A' DWGS	
		DNOTES	NEW CONTOURS	
	X	X	X	X
		DHE		DHE
		ST		ST
		SAN		SAN
		W		W
		E		E
		G		G
		ST		ST
		SAN		SAN
		W		W

$$1'' = 20'$$

18764 SF AOD
2126 SF NEW PAVT
5540 SF NEW BLDG

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Engineers

6-876-7147

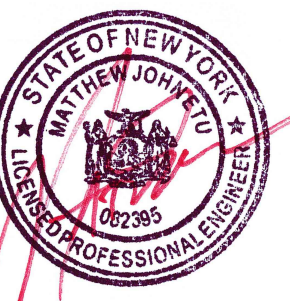
8 Drawbridge Ct
 Getzville, NY 14068

ADDITION & RENOVATIONS

ADDITION & RENOVATIONS

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#	Description	Date

Site Grading Plan

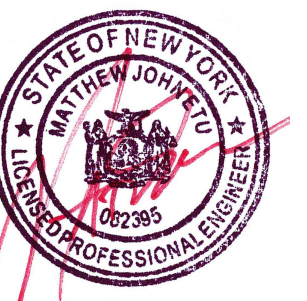
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Sheet Number:	

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**EARLY CHILDHOOD LEARNING CENTER
ADDITION & RENOVATIONS**

25 Chateau Terrace
Amherst, NY 14226



Site Plan Submission

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evisions

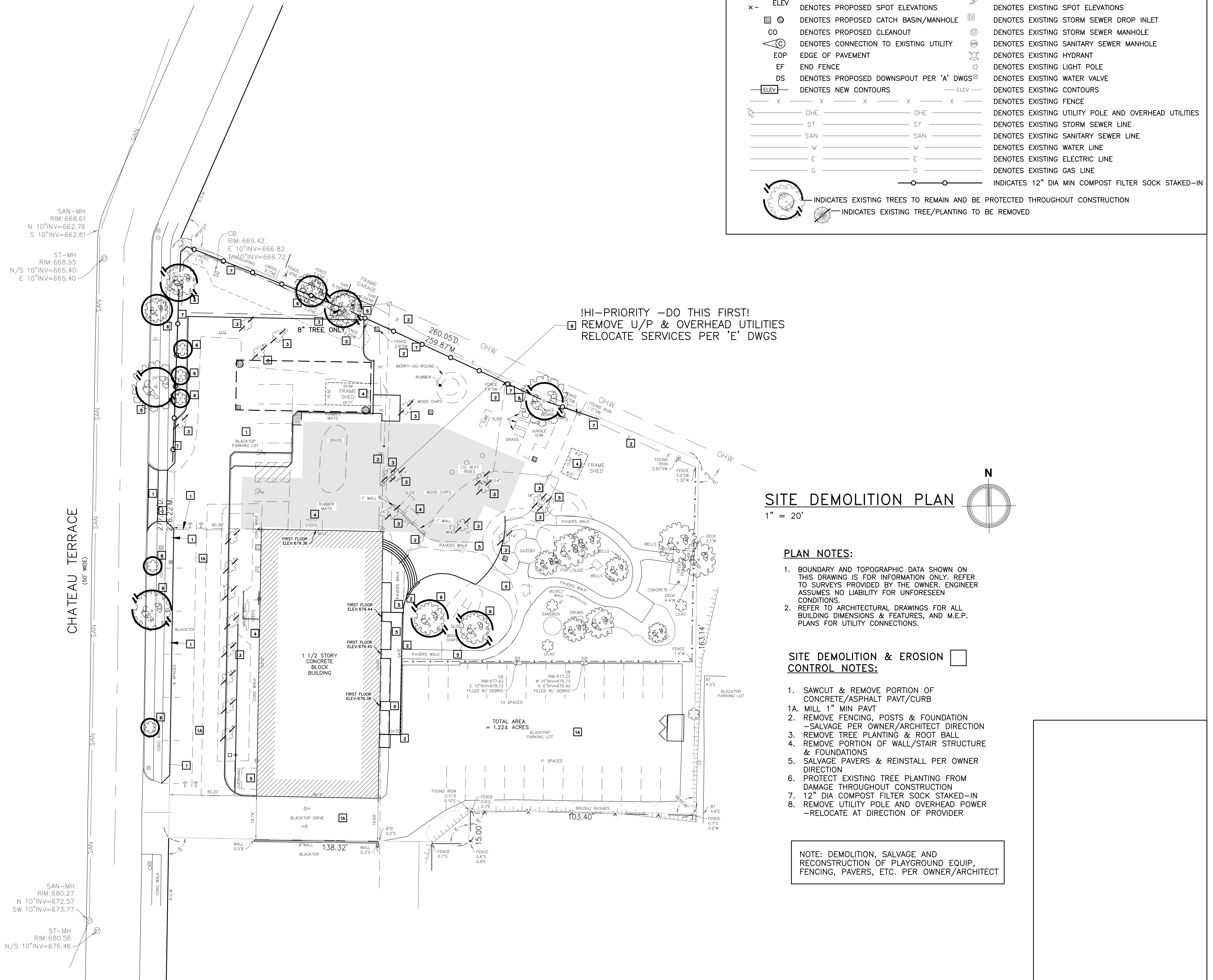
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ite Demolition lan

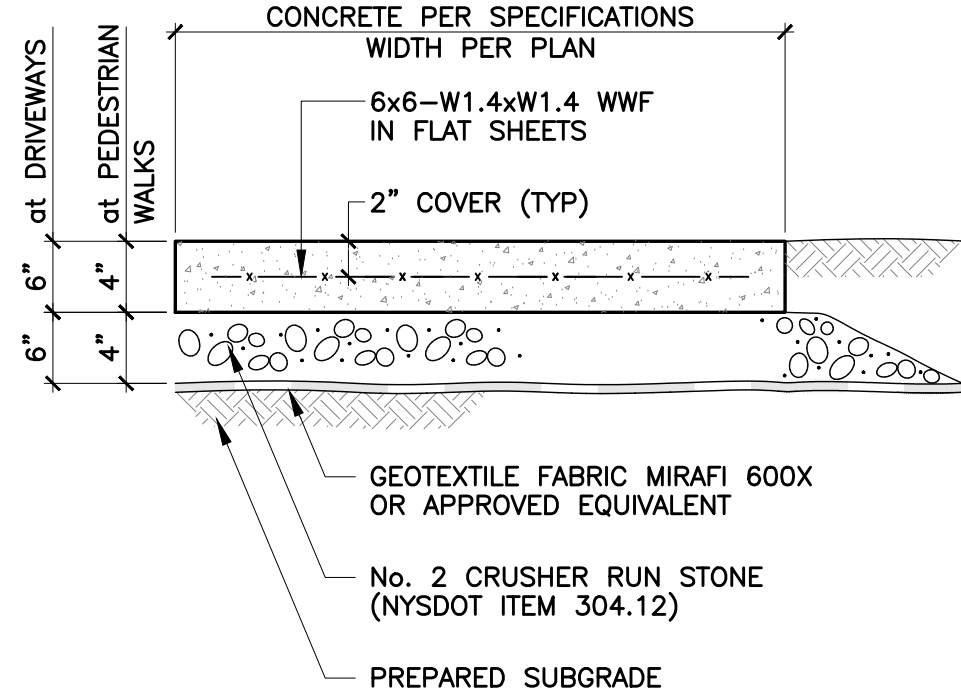
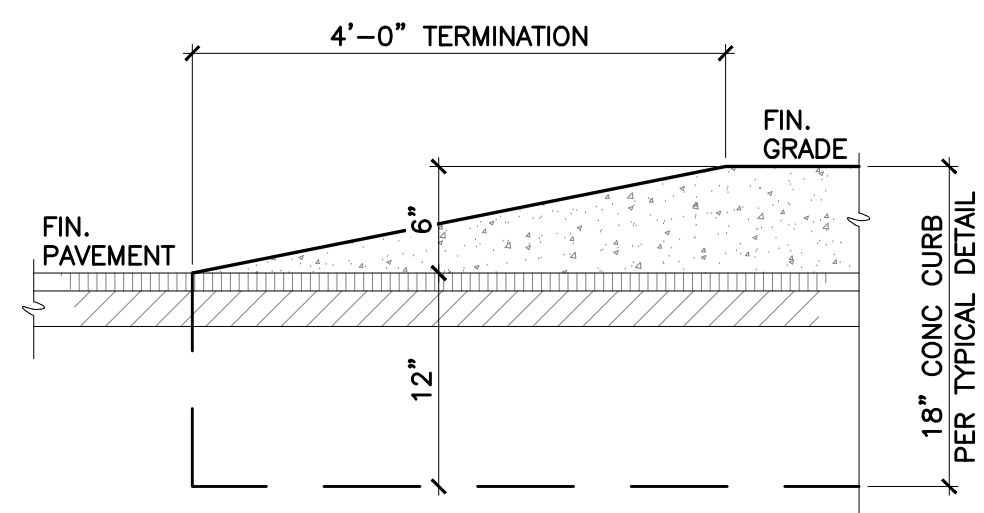
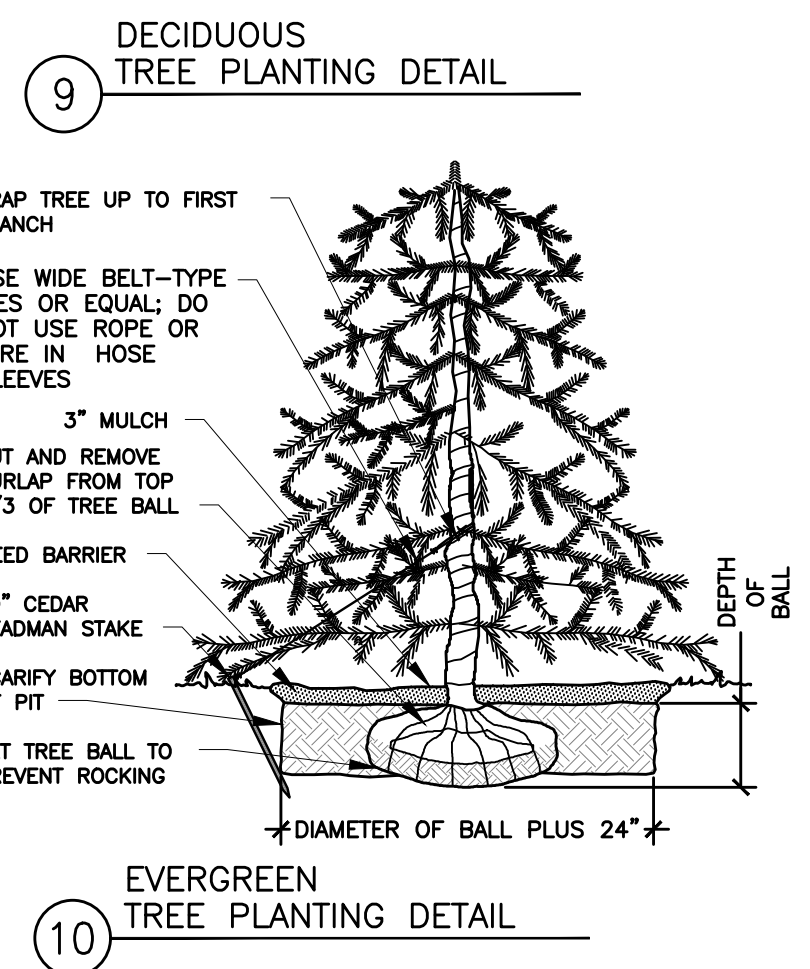
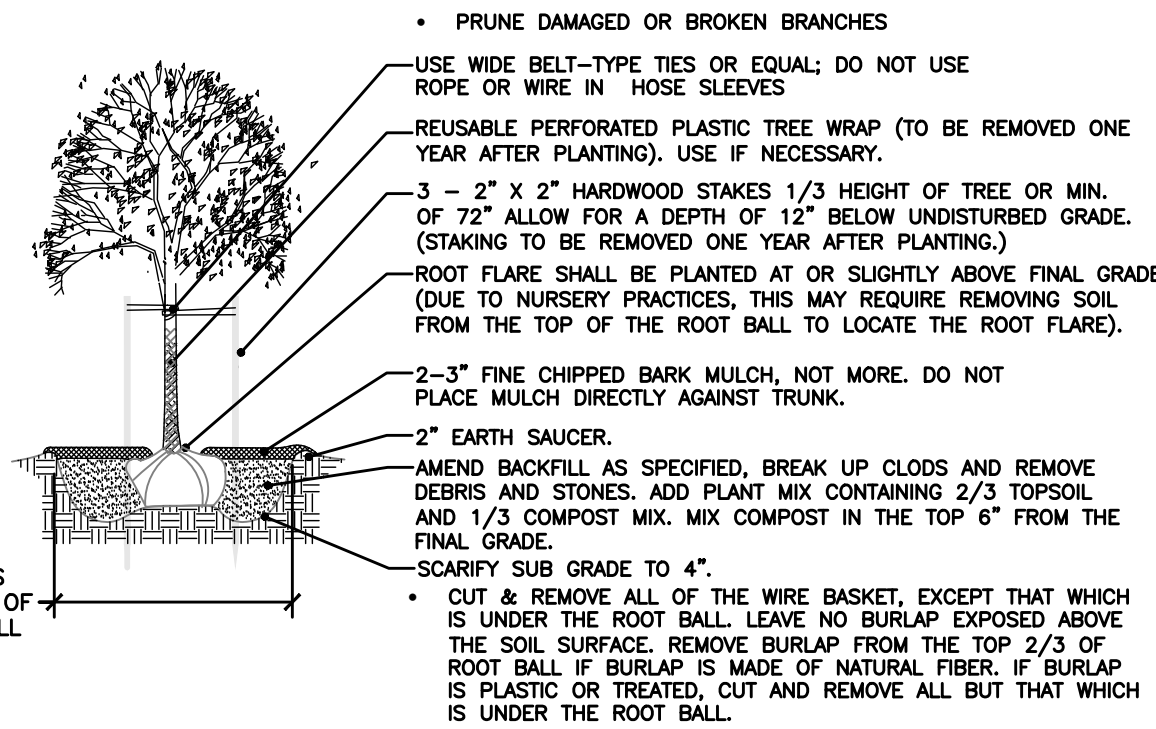
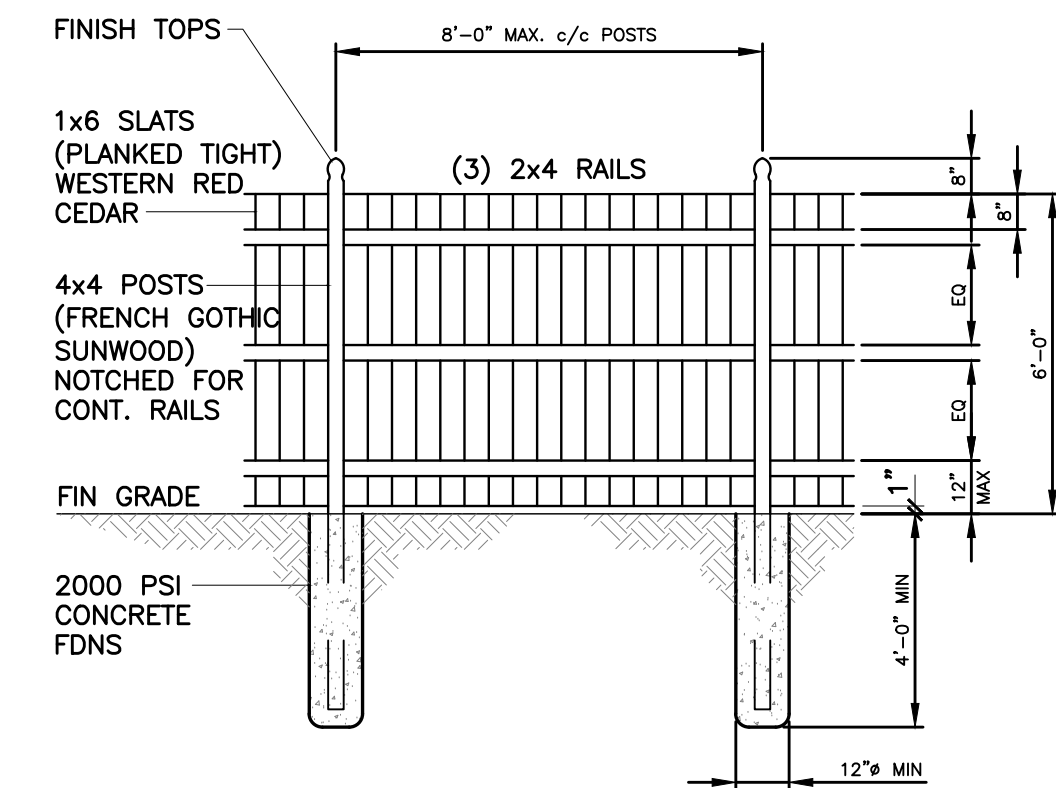
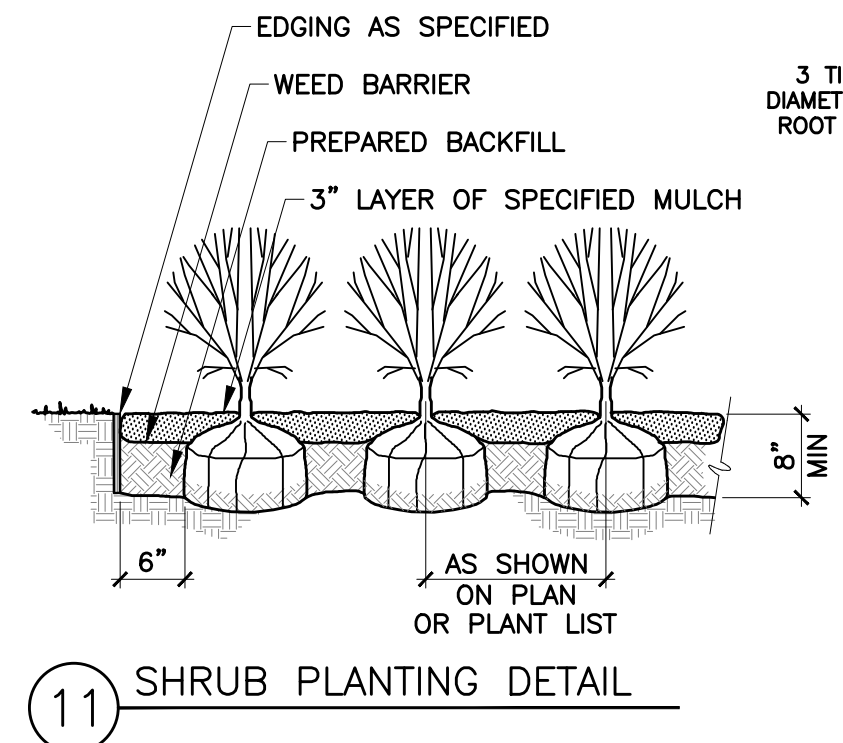
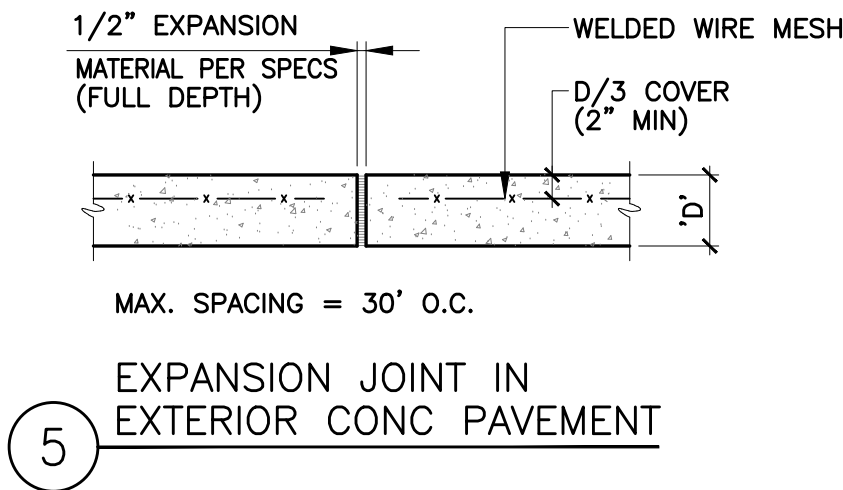
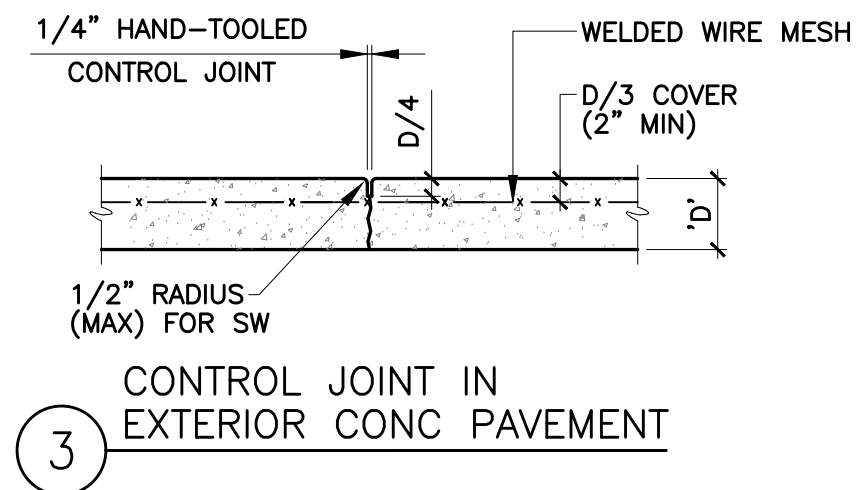
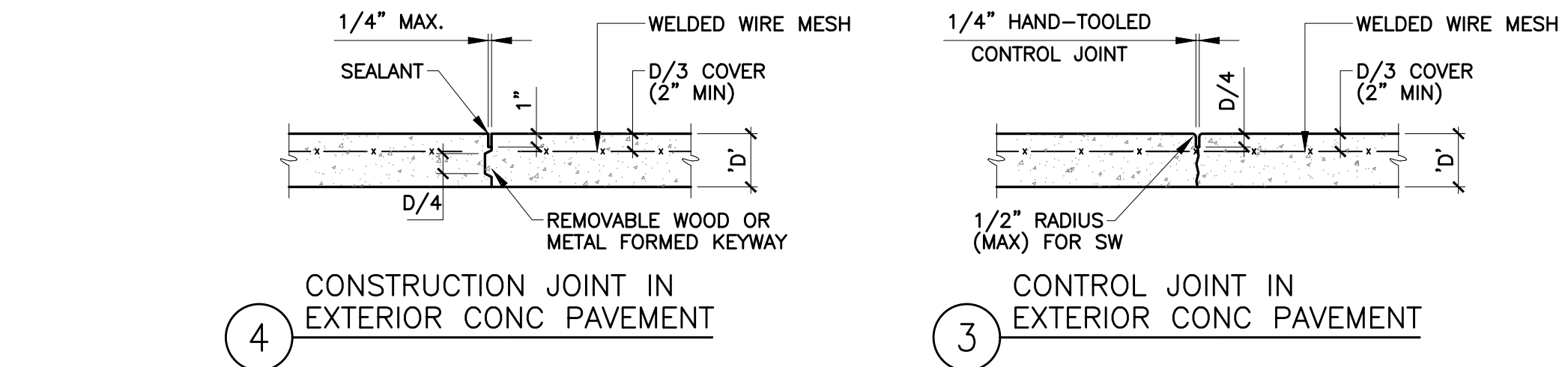
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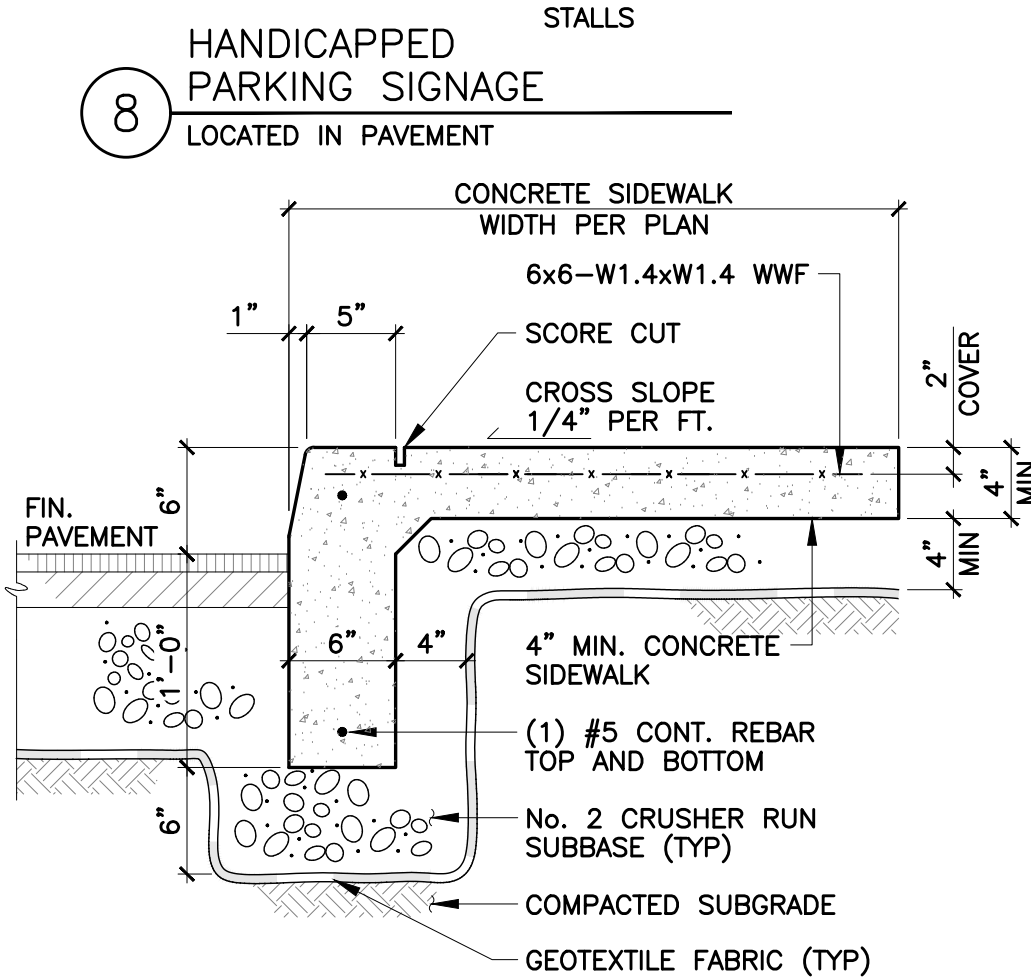
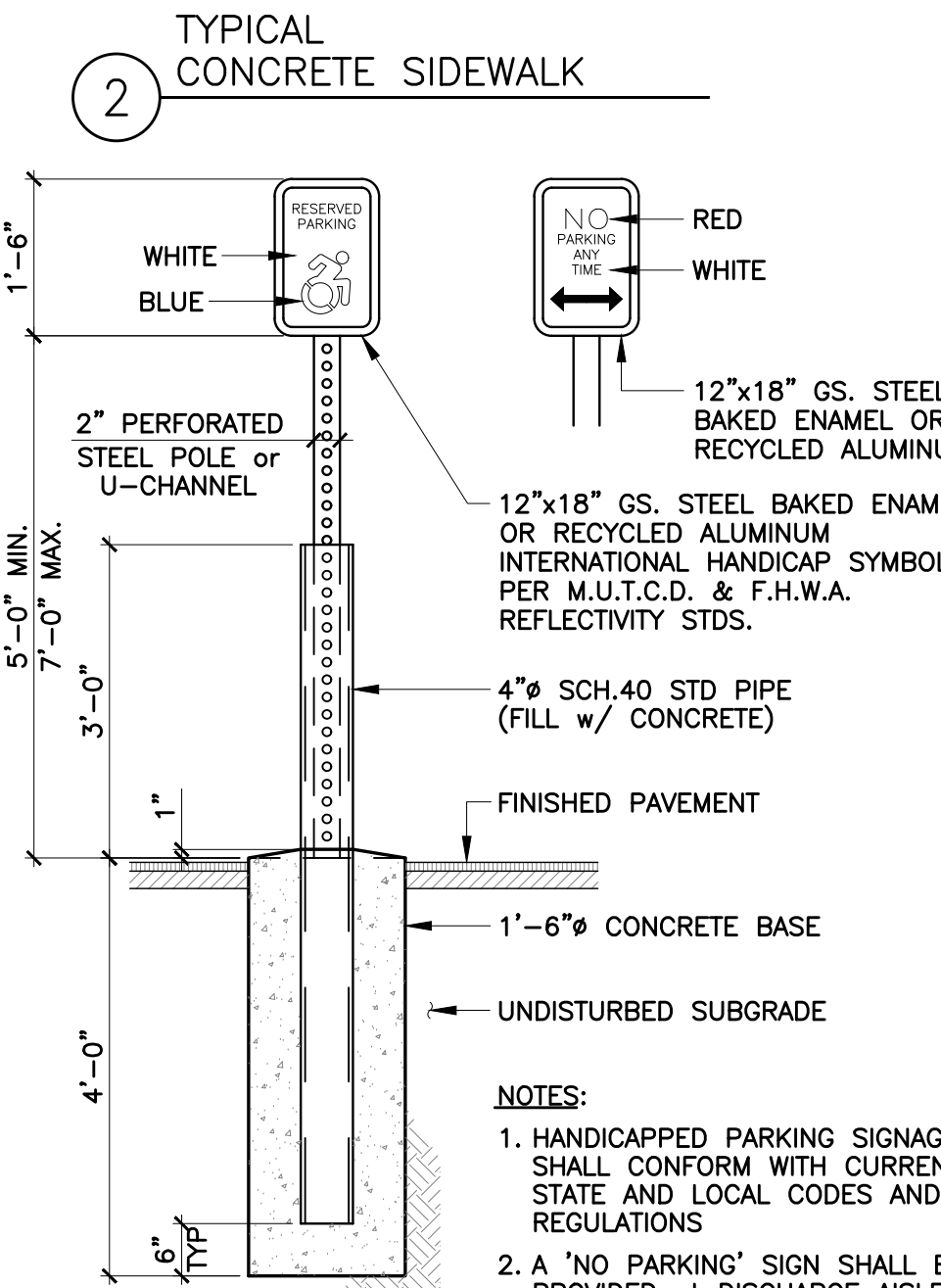
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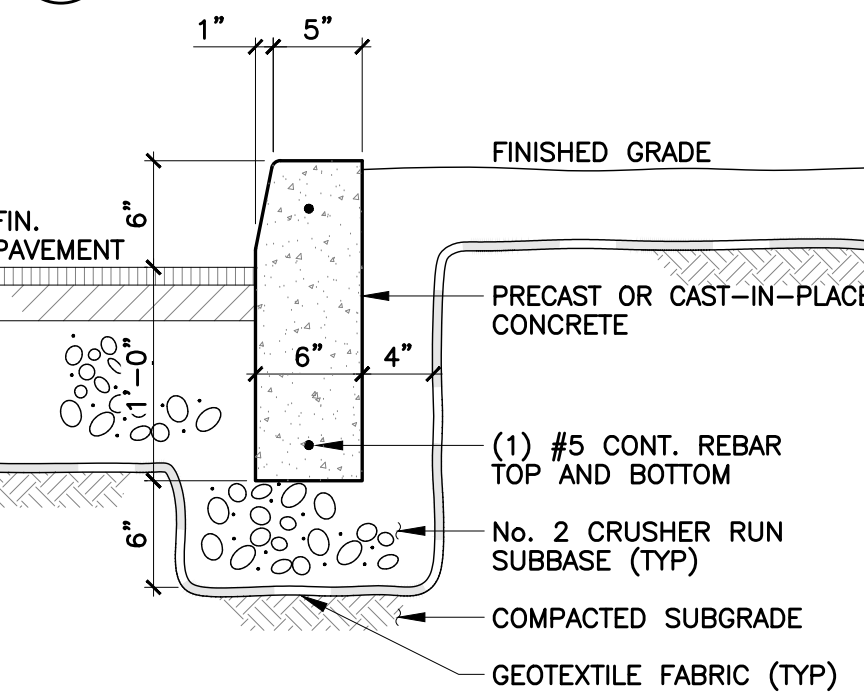
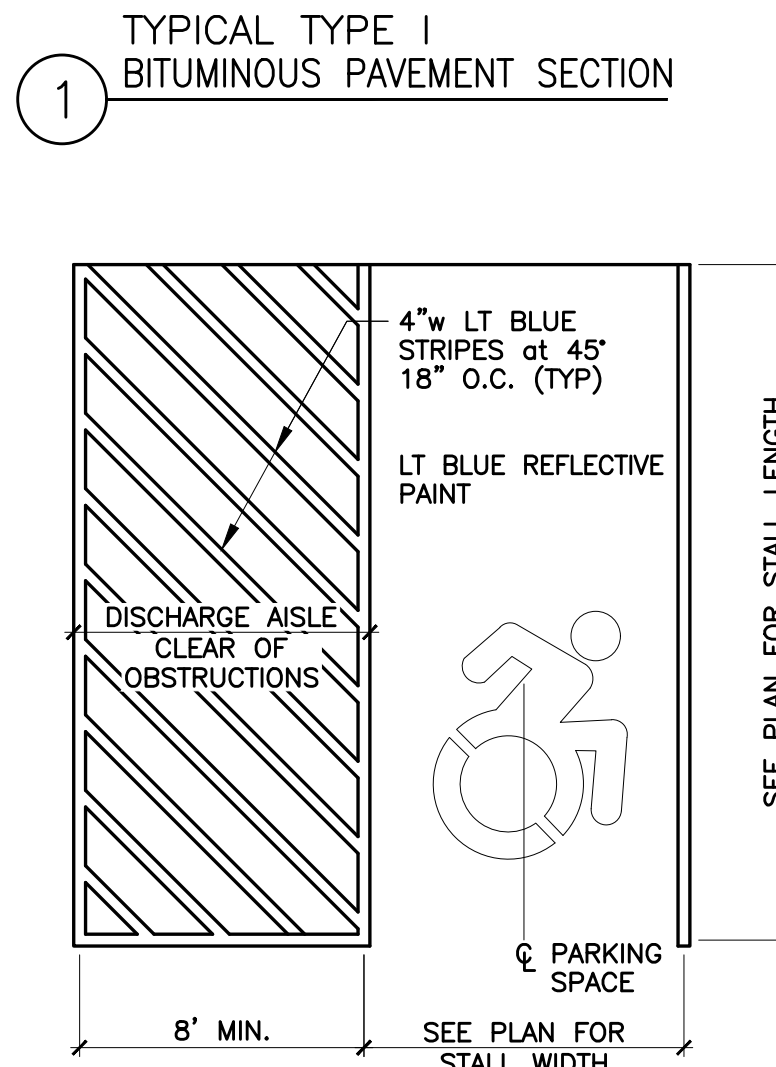
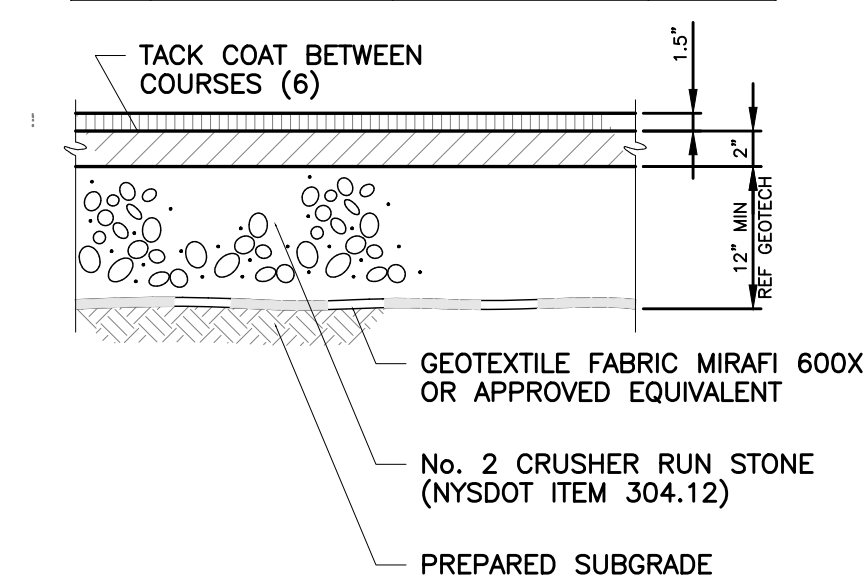
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NOTE: CONC. SHALL BE 4000 PSI at 28-DAYS, 6% AIR-ENTRAINED, 4" MAX. SLUMP- PROVIDE LT. BROOM FINISH PERPENDICULAR TO DIRECTION OF TRAFFIC

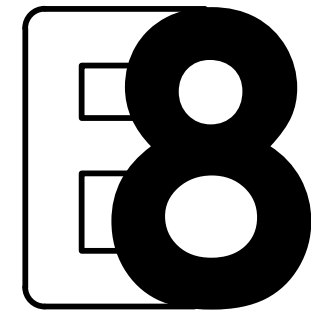
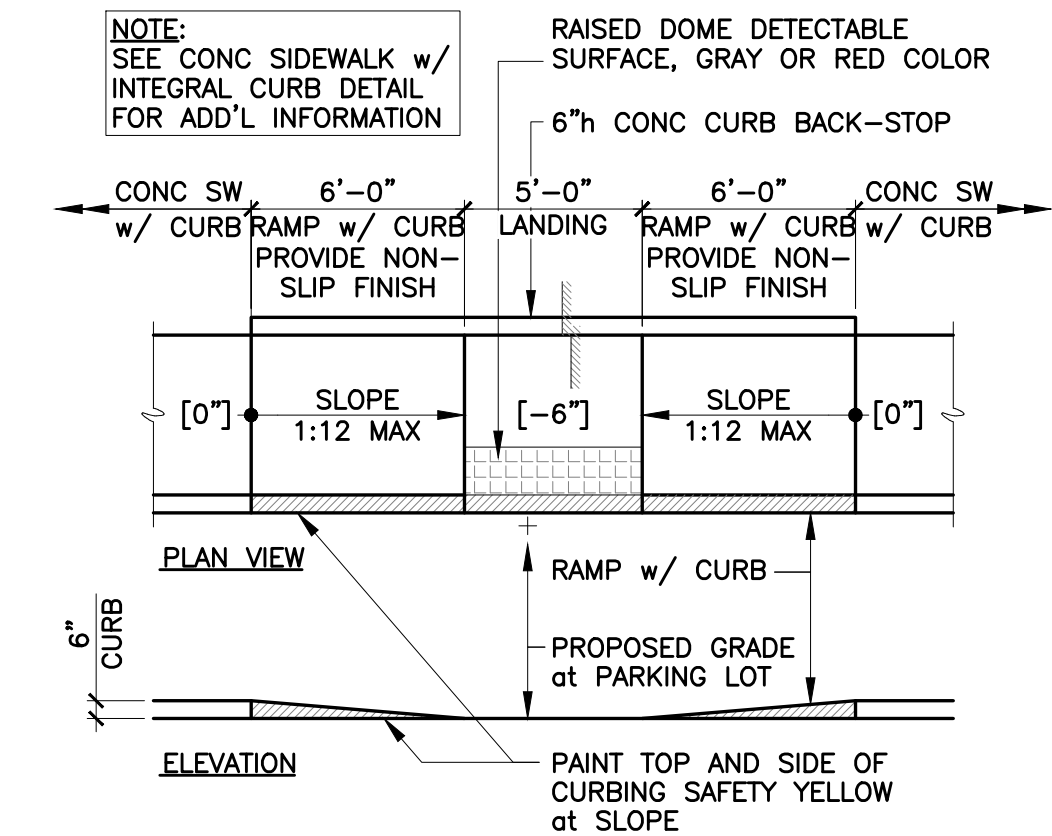


ITEM	DESCRIPTION	NYS DOT REF.	DEPTH
1	TOP COURSE	402.099803-9.5 F2-80	1-1/2"
2	BINDER COURSE	402.198203-19 F9-80	2"
3	NOT USED		
4	SUBBASE COURSE	304.12000	12"
5	GEOTEXTILE FABRIC (NONWOVEN/HEAT BONDABLE)		
6	TACK COAT ITEM	407.01020	



GENERAL SITE NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE TOWN OF AMHERST, ERIE COUNTY DPW, EDWA, AND NEW YORK STATE DEPT. OF TRANSPORTATION SPECS.
- INSTALL ALL MATERIALS TO THE MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF THE TRADE INVOLVED.
- SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER APPROVAL AND SHALL BE EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
- WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
- VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER OF ANY DISCREPANCIES IN CONDITIONS SHOWN ON THE DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTORS SHALL BE RESPONSIBLE FOR THE PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
- CONTRACTOR SHALL KEEP THE JOB SITE FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK DOES NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS NECESSARY TO PERFORM THE WORK.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL INSTALL SILT FENCES TO CONTROL EROSION FROM THE SITE.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND M.E.P. PLANS FOR UTILITY CONNECTIONS.
- ALL UTILITY TRENCHES UNDER PAVEMENT, CURBS, SIDEWALKS, AND DRIVEWAYS SHALL BE FULLY BACKFILLED WITH NO. 2 CRUSHER RUN STONE AND PROPERLY COMPACTED TO AVOID SETTLEMENT.
- CONTRACTOR SHALL REPLACE IN KIND ANY EXISTING IMPROVEMENTS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, ROADWAYS, PAVEMENTS, CURBING, PLANTINGS, LAWN AND EXISTING UTILITIES.



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Site Plan
Submission
04.28.2026

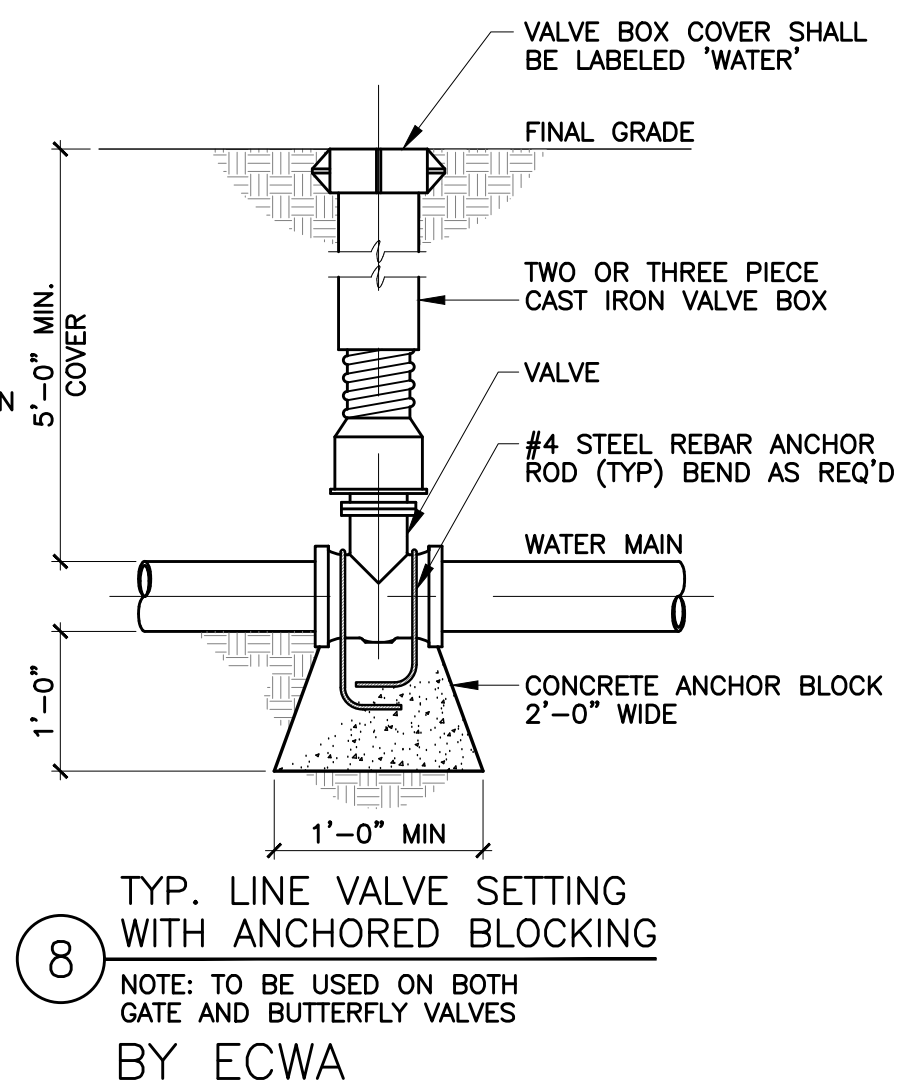
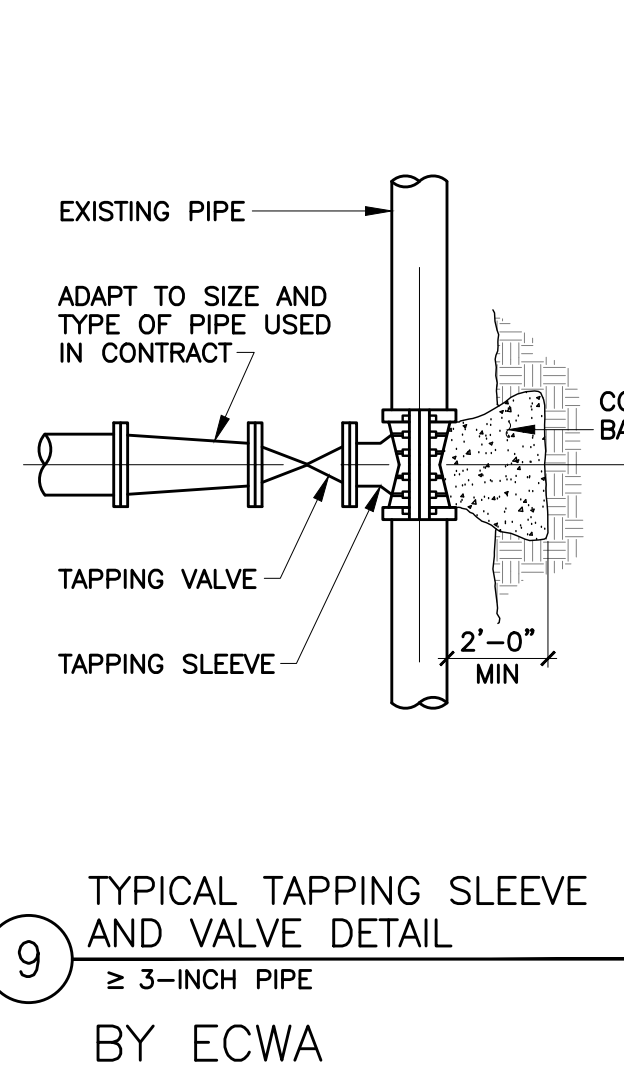
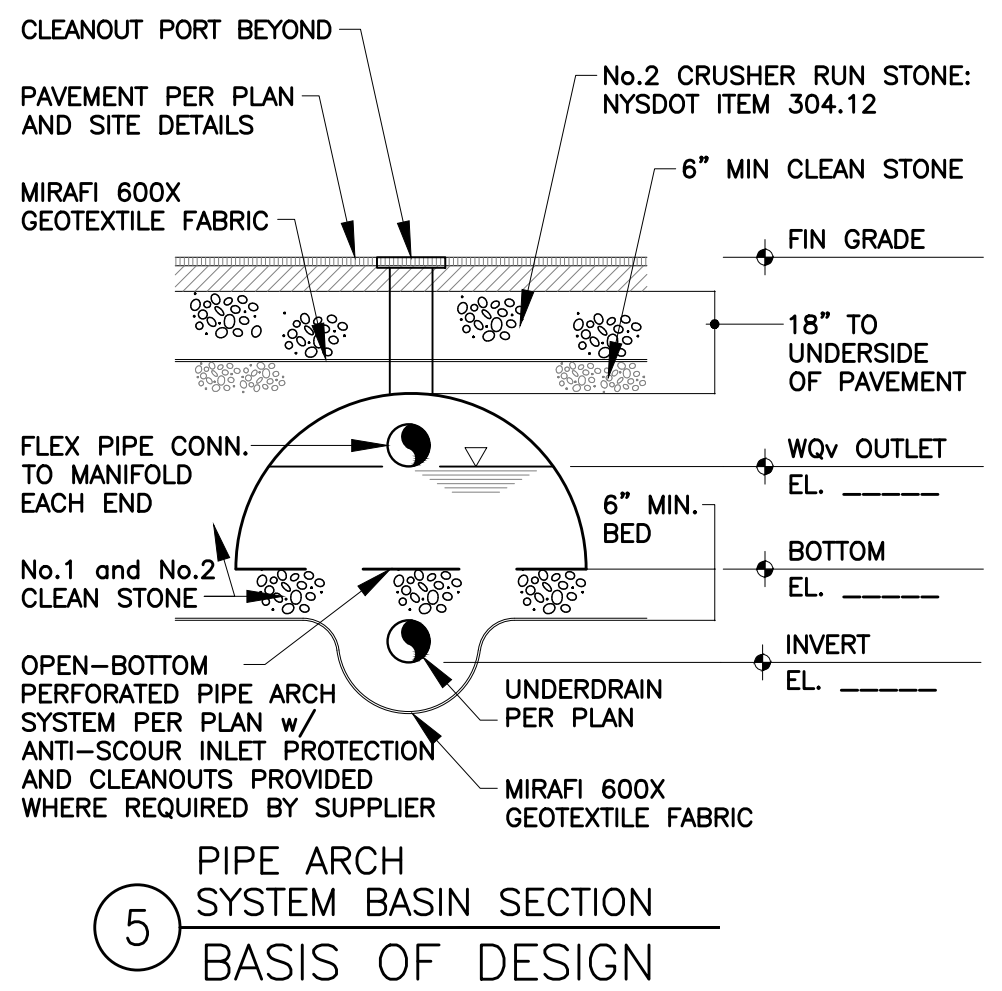
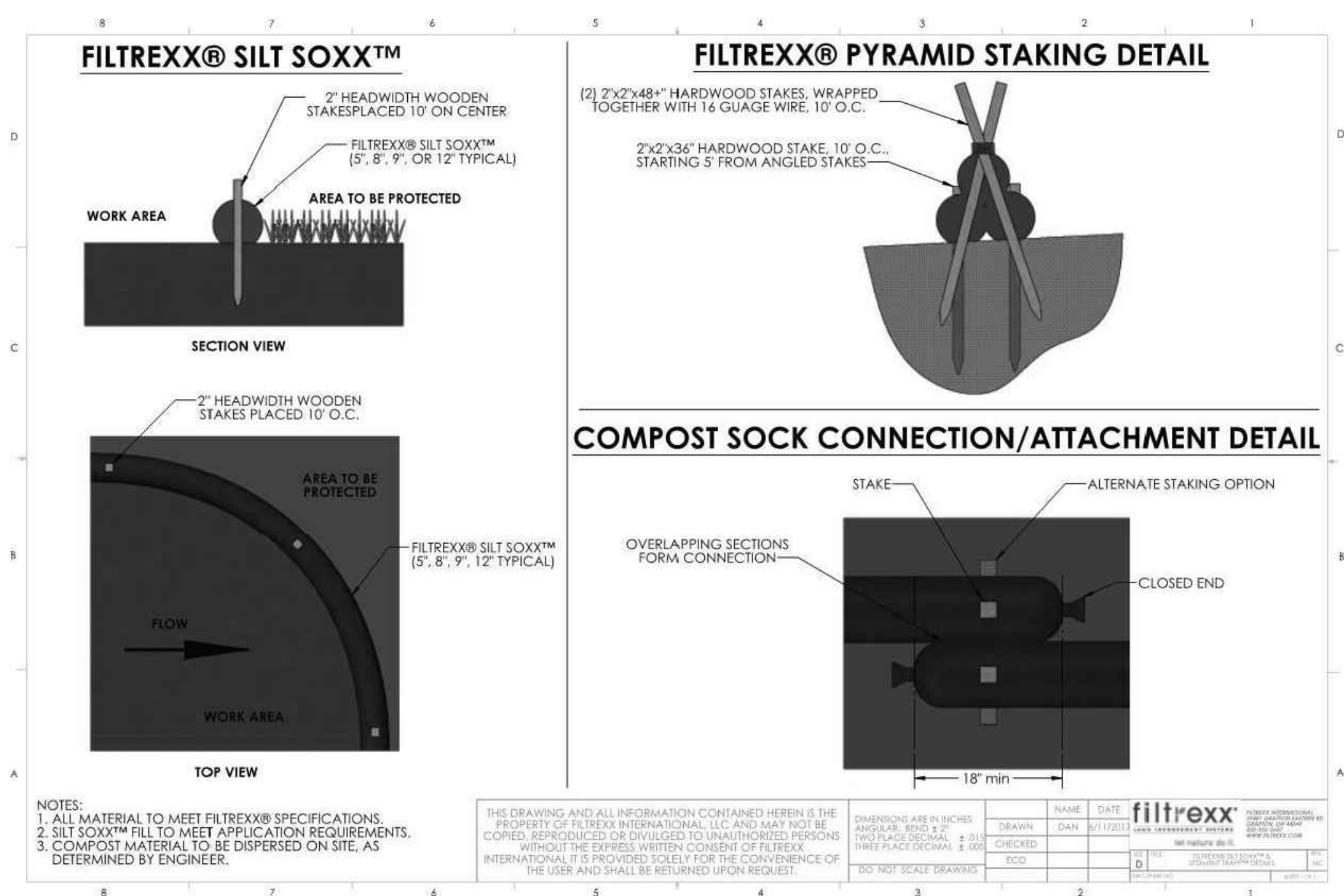
Revisions		
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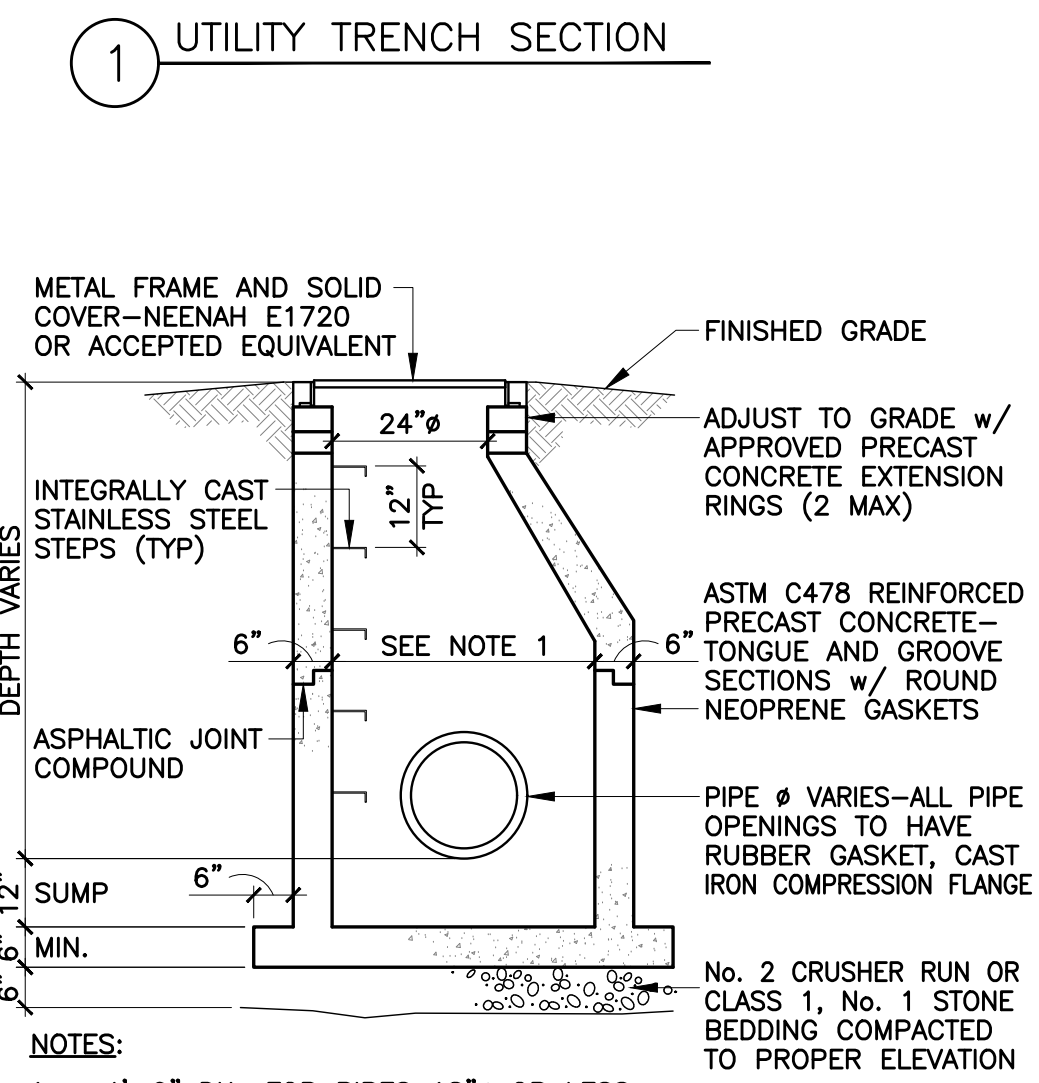
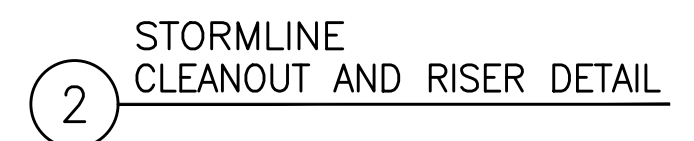
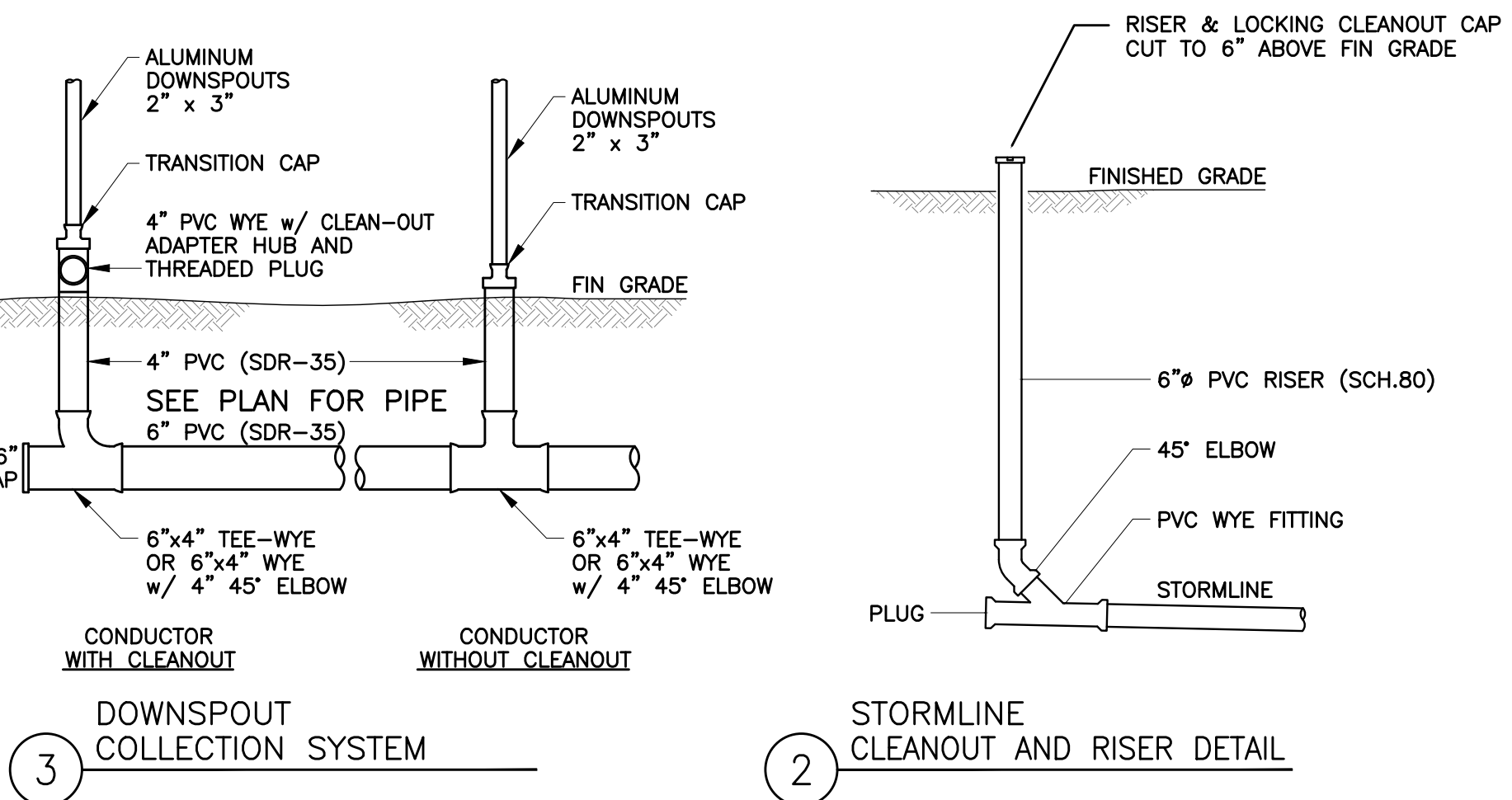
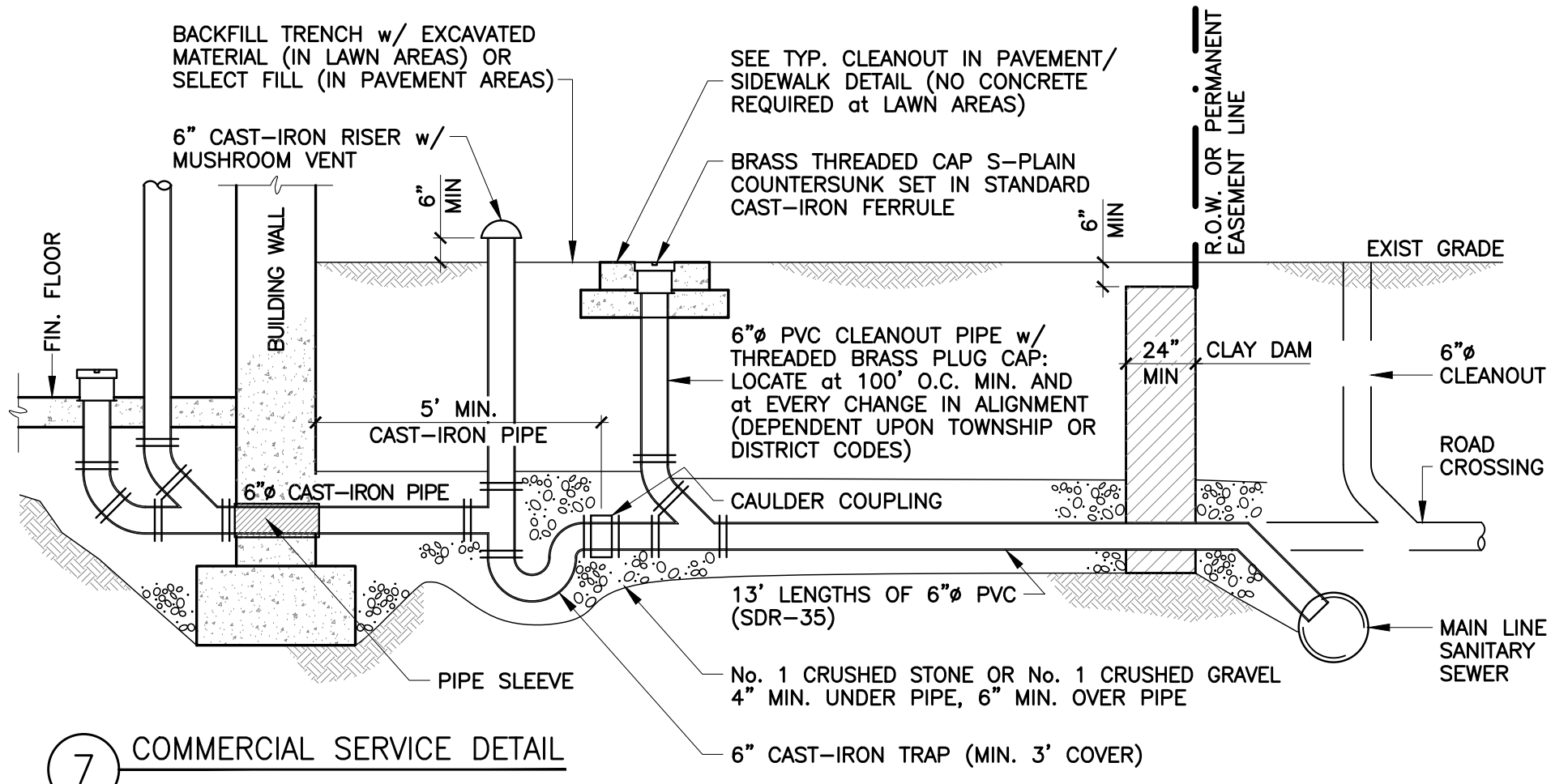
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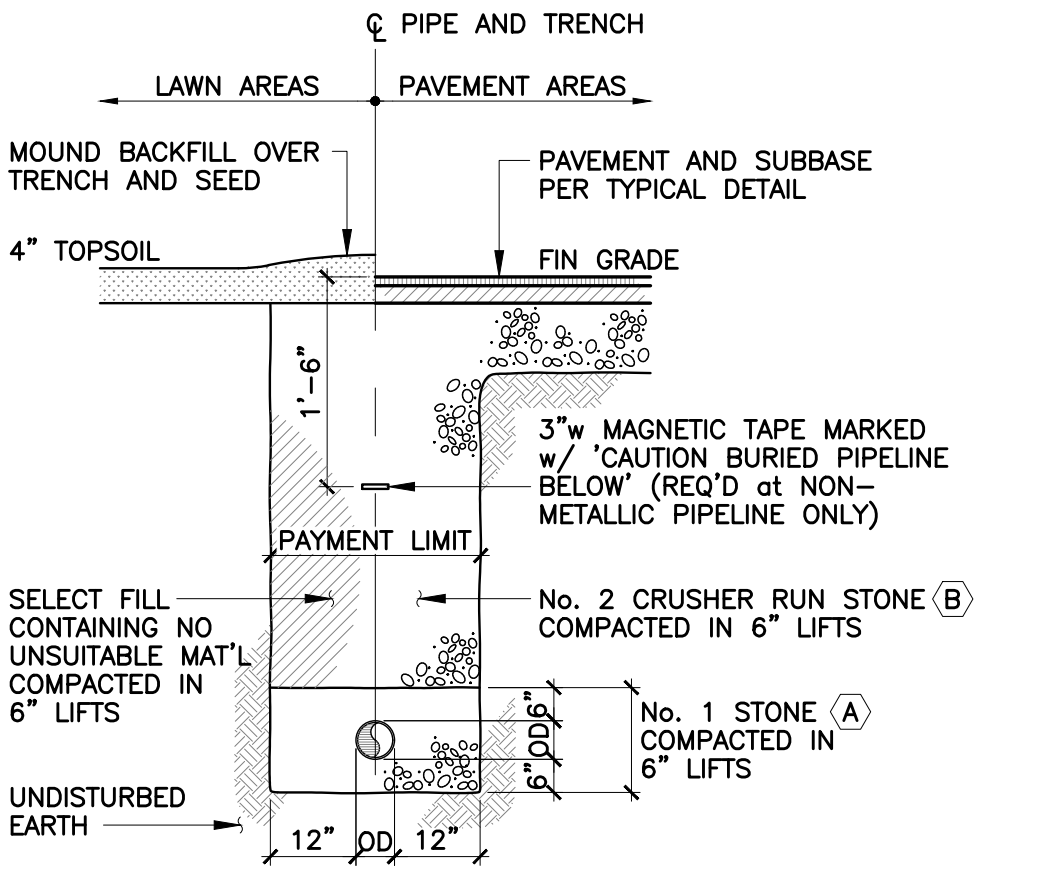
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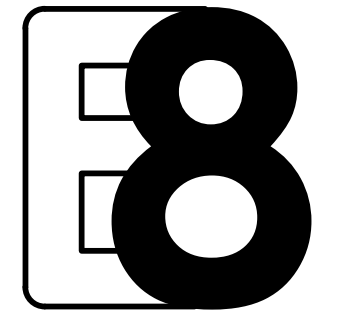
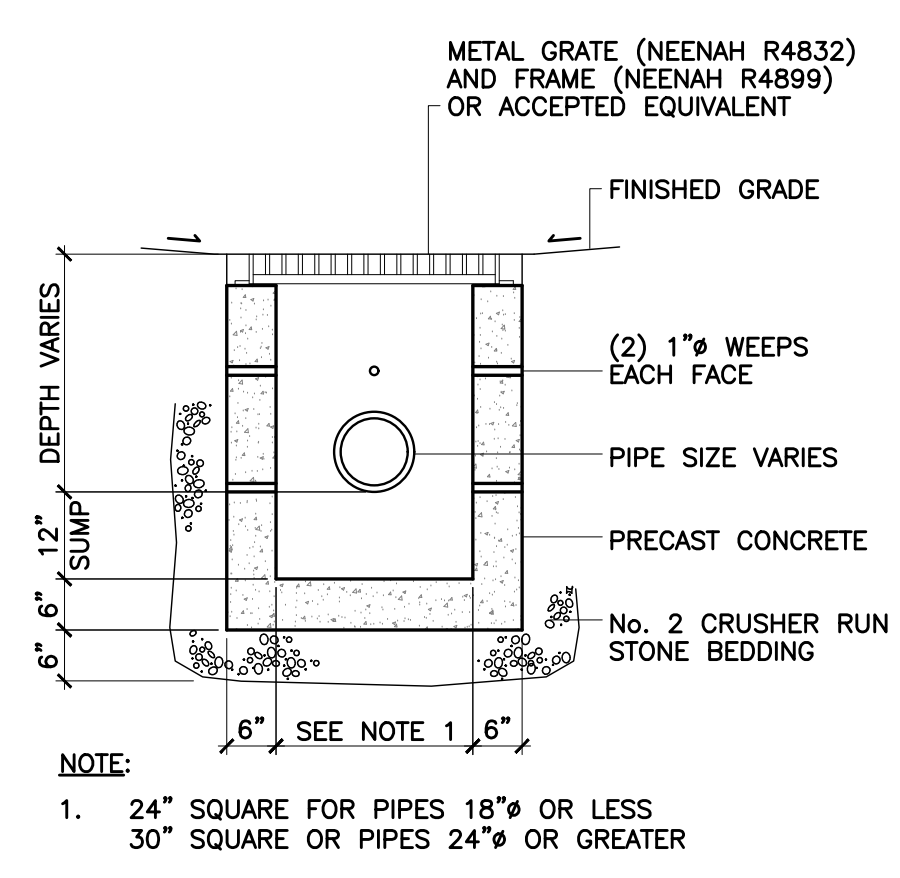
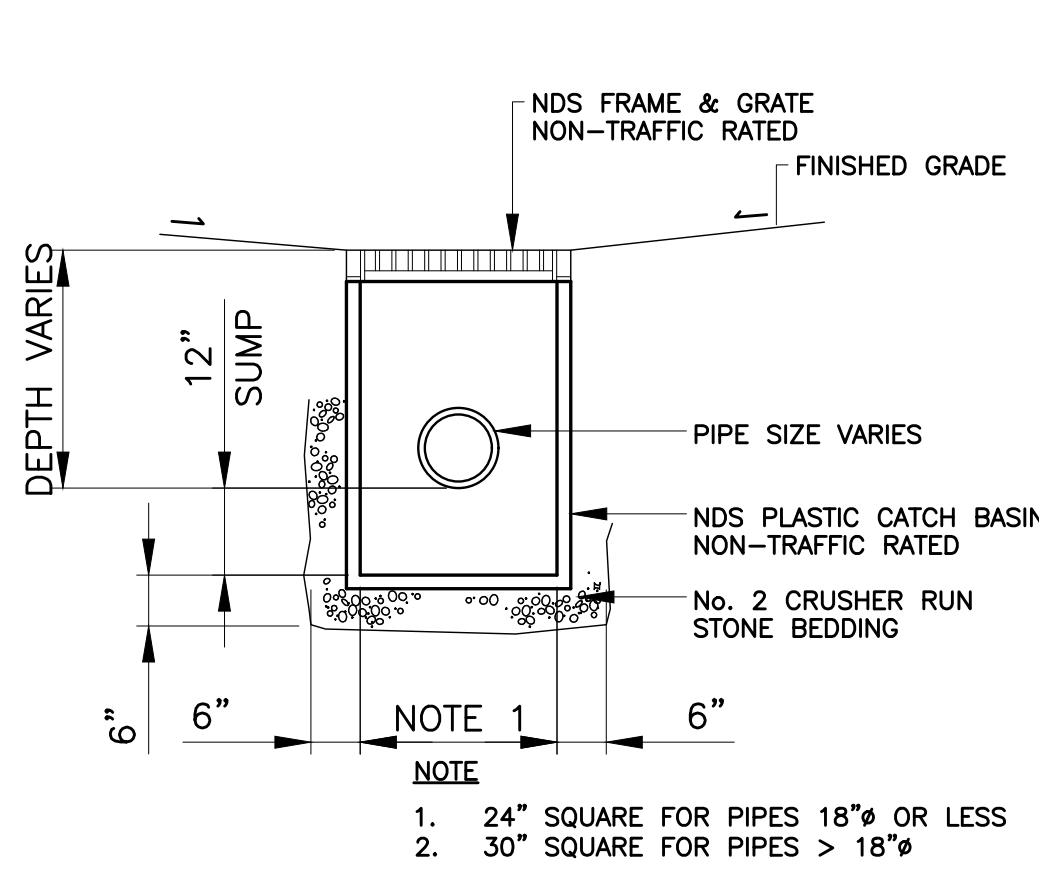
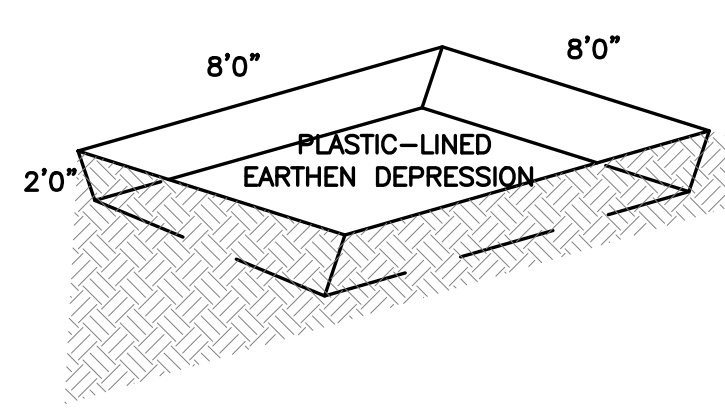
- COMMERCIAL SERVICE NOTES:**
- PVC PIPE MATERIAL SHALL BE MANUFACTURED IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF ASTM D-3033 (D-3034, CAST-IRON PIPE MATERIAL SHALL BE EXTRA HEAVY ASTM A74-42.
 - PURSUANT TO TOWN RULES AND REGULATIONS, PIPE SHALL BE LAID AT 1/4" PER FOOT GRADE. ANY VARIANCE MUST BE APPROVED BY THE DISTRICT MANAGER. IN NO CASE SHALL PIPE SLOPE BE LESS THAN 1/8" PER FOOT.
 - VENTS AND CLEANOUTS MUST BE INSTALLED IN LAWN AREAS, NOT IN SIDEWALK OR DRIVEWAY AREAS, PREFERABLY BETWEEN THE CURB OR EDGE OF PAVEMENT AND THE SIDEWALK.
 - CONCRETE ENCASUREMENT IS REQUIRED IF COVER DEPTH IS LESS THAN 4'-0" UNDER PAVED AREAS.
 - SELECT BACKFILL IS REQUIRED UNDER PAVED AREAS.
 - MINIMUM DEPTH OF COVER SHALL BE 3'-0".
 - A GREASE TRAP AND OIL SEPARATOR IS REQUIRED WHERE APPLICABLE.
 - CLEANOUT MEASUREMENTS SHALL START FROM THE CENTERLINE OF THE MAIN SEWER FOR NEAR-SIDE LATERALS, AND FROM THE 0" CLEANOUT FOR FAR-SIDE CONNECTIONS. A CLEANOUT MAY BE REQUIRED FOR ANY ABRUPT CHANGES IN LATERAL DIRECTION FLOW.
 - A 6" CLEANOUT IS REQUIRED AT THE R.O.W. WHENEVER THE MAIN SEWER IS UNDER THE PAVEMENT LIMITS OR AT THE FAR SIDE OF PAVEMENT.
 - ANY SEWER LAID THROUGH OR OVER A SEPTIC TANK MUST BE CAST-IRON (SEPTIC TANK MUST BE FILLED WITH BANK-RUN GRAVEL.
 - ANY SEPTIC TANK THAT IS REMOVED FROM SERVICE MUST BE PUMPED OUT AND CRUSHED, OR FILLED WITH BANK-RUN GRAVEL WHEN SEPTIC SYSTEM IS BEING CONVERTED TO A SANITARY SEWER LINE.
 - NO SEWER WORK SHALL BE BACKFILLED BEFORE THE WORK HAS BEEN INSPECTED BY A COUNTY INSPECTOR.
 - ANY EXCAVATION TO BE LEFT OPEN OVERNIGHT SHALL BE COMPLETELY ENCLOSED IN FENCING, OR WHERE NECESSARY COVERED WITH STEEL PLATES.
 - DOWNSPOUTS, SUMP PUMPS, AND FOOTING DRAINS ARE NOT PERMITTED TO BE CONNECTED TO THE SANITARY LATERAL.
 - NO INSPECTION WILL BE PROVIDED WITHOUT A PERMIT. INSPECTIONS REQUIRE 24 HR. ADVANCE NOTICE FOR SCHEDULING.
 - FOR NEW STRUCTURES, NO CONNECTION SHALL BE MADE UNTIL BUILDING BASEMENT FLOOR IS POURED.
 - A TOWN INSPECTOR MUST BE PRESENT WHEN A CAP OR PLUG IS PULLED FROM A WYE OR LATERAL.



- NOTES:**
- 4'-0" DIA. FOR PIPES 18" Ø OR LESS
 - 5'-0" DIA. OR PIPES 24" Ø OR GREATER
 - RIM EL. TO BE (1) INCH MIN. ABOVE FIN. GRADE
 - PROVIDE FLAT-TOP MH SECTION AT H≤4'-FT



- NOTES:**
- PIPE SHALL BE IN ACCORDANCE W/ MANUFACTURER'S RECOMMENDATIONS
 - TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DOWATERING
 - TRENCH DETAILS ARE ONLY SHOWN FOR MATERIAL PLACEMENT PURPOSES
 - AN OSHA APPROVED MOVEABLE PROTECTIVE TRENCH SHIELD MAY BE USED
- MATERIALS:**
- (A) No. 1 STONE WITH A GRADATION CONFORMING TO NYSDOT SECTION 703-02, LATEST EDITION. THE CRUSHED STONE SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN (1) INCH AND HAVING A MAX. GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. NO SLAG SHALL BE USED IN PLACE OF MATERIAL 'A'
- (B) No. 2 CRUSHER RUN STONE OR No. 2 RUN OF CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYSDOT SECTION 304-2.02 TYPE 4 AND NYSDOT SECTION 703-02 (COMPACTED IN 6" LIFTS TO 90% DENSITY). NO SLAG SHALL BE USED IN PLACE OF MATERIAL 'B'



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**EARLY CHILDHOOD LEARNING CENTER
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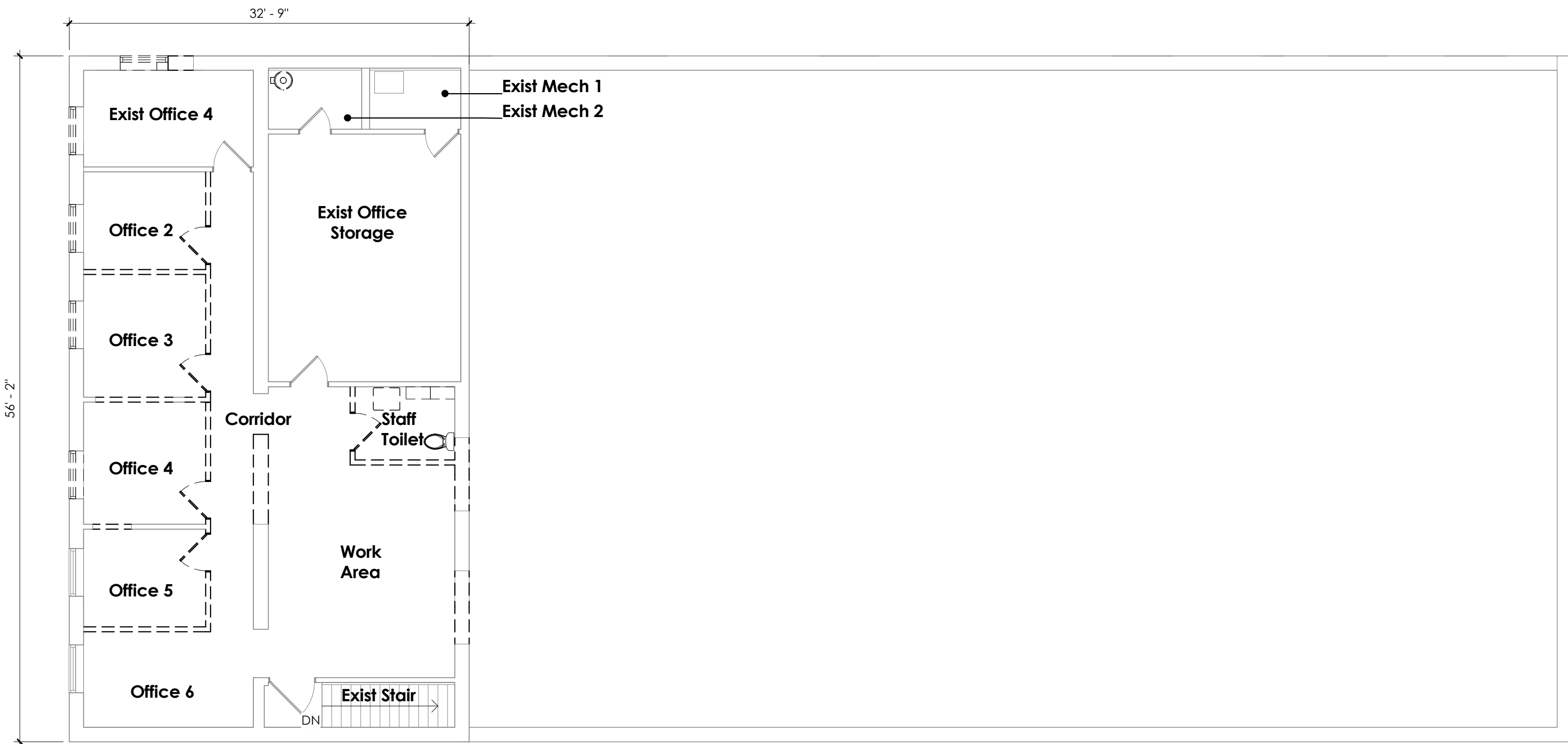
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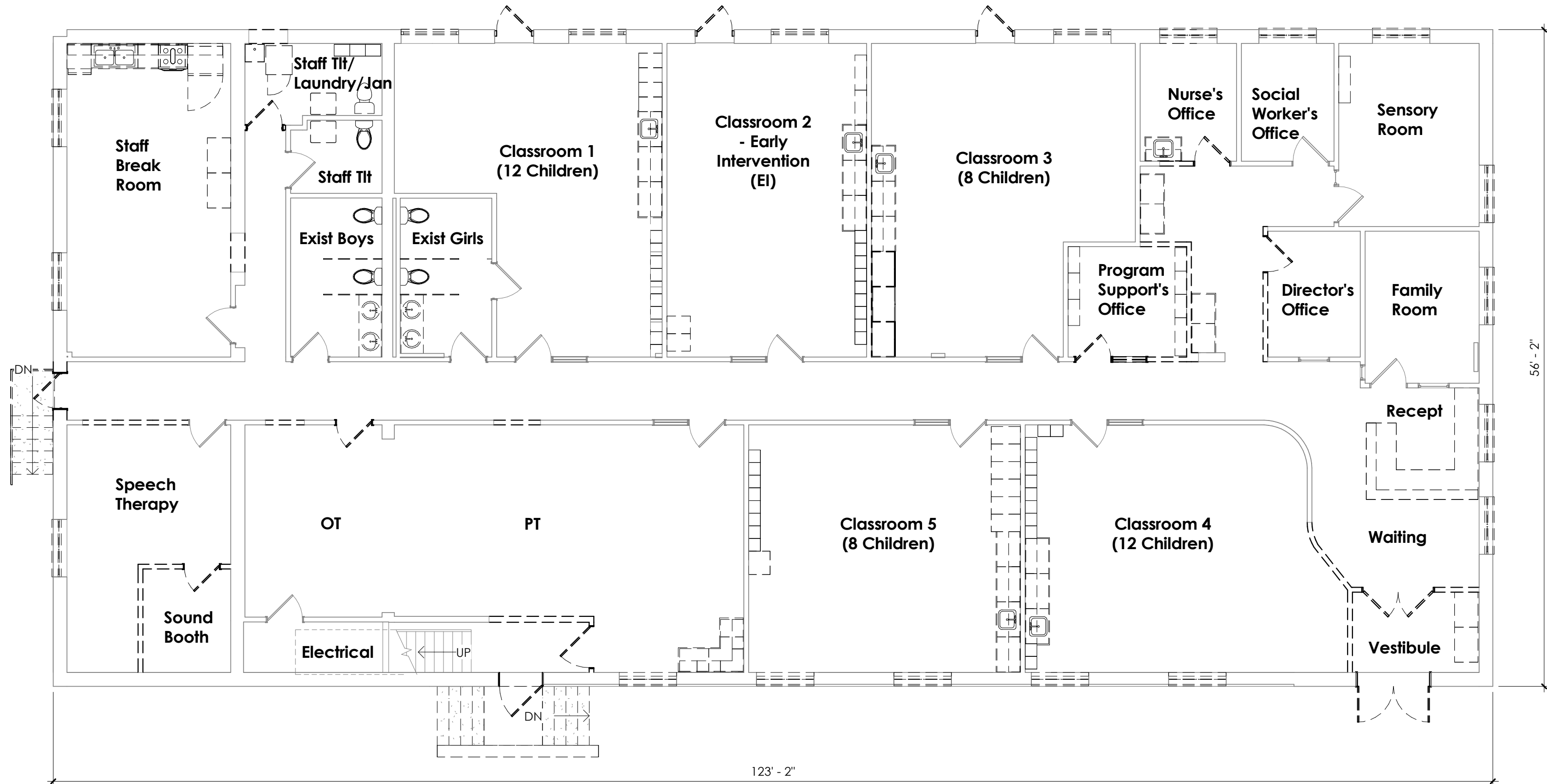
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2 Second Floor Demolition Plan
1/8" = 1'-0"



1 First Floor Demolition Plan
1/8" = 1'-0"

General Notes - Demolition

- A. CONTRACTOR SHALL COORDINATE DEMOLITION WORK AND THE WORK OF EACH TRADE. CONTRACTOR SHALL COORDINATE THEIR DEMOLITION WORK WITH WORK HANDLED BY OWNER'S SEPARATE CONTRACTORS, IF ANY.
- B. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING STRUCTURAL INTEGRITY OF EXISTING CONSTRUCTION WHILE PERFORMING WORK SPECIFIED UNDER THIS CONTRACT.
- C. CONTRACTOR TO PATCH AND REPAIR REMAINING WALLS, FLOORS, SILLS, SOFFITS, CEILINGS AND OTHER MISCELLANEOUS ITEMS TO MATCH ADJACENT SURFACES WHERE EXISTING CONSTRUCTION IS AFFECTED BY DEMOLITION OF ADJACENT WORK AND INSTALLATION AND REMOVAL OF TEMPORARY CONSTRUCTION.
- D. CONTRACTOR TO PROVIDE CUTTING AND PATCHING OF EXISTING WALLS, CEILINGS AND FLOORS TO FACILITATE DEMOLITION AND / OR INSTALLATION OF WORK AS REQUIRED PER DRAWINGS AND SPECIFICATIONS.
- E. DEMOLITION DEBRIS SHALL BECOME PROPERTY OF THE CONTRACTOR UNLESS SPECIFICALLY NOTED TO BE SALVAGED, WHEREIN IT REMAINS THE PROPERTY OF THE OWNER. THE OWNER RESERVES THE RIGHT TO REQUEST ITEMS TO BE SALVAGED AT ANY TIME DURING THE WORK OF THIS PROJECT. DEBRIS SHALL BE DISPOSED OF IN A LEGAL MANNER.
- F. CONTRACTOR SHALL INSPECT THE WORK AREA WITH THE OWNER'S REPRESENTATIVE BEFORE CONSTRUCTION BEGINS TO IDENTIFY MATERIALS WHICH ARE TO BE SALVAGED. SUCH ITEMS, UPON REMOVAL, SHALL BE STORED AT A SECURE LOCATION DESIGNATED BY THE OWNER'S REPRESENTATIVE.
- G. CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY ENCOUNTER WITH SUSPECT HAZARDOUS MATERIALS.
- H. BUILDING WILL BE OCCUPIED BY OWNER DURING CONSTRUCTION. EXISTING EXITING / EGRESS CAPACITY SHALL BE MAINTAINED.
- I. ASBESTOS-CONTAINING MATERIALS (ACM) AND LEAD BASED PAINT (LBP) MAY BE PRESENT IN THIS BUILDING. ANY QUESTIONABLE MATERIAL OR MATERIAL SUSPECTED TO CONTAIN ASBESTOS SHALL NOT BE DISTURBED AND SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR OWNER'S REPRESENTATIVE FOR AN ACCURATE INTERPRETATION AND OR SAMPLING AND ANALYSIS. ALL CONTRACTORS ARE RESPONSIBLE FOR MAKING THEMSELVES AND THEIR EMPLOYEES AWARE OF THE PRESENCE, LOCATION, AND QUANTITY OF EXISTING ACM, AND TO WARN THEIR EMPLOYEES OF THE POTENTIAL DANGERS OF EXPOSURE TO ASBESTOS. ANY DISTURBANCE OF ACM MUST BE PERFORMED BY A LICENSED ASBESTOS ABATEMENT CONTRACTOR EMPLOYING CERTIFIED WORKERS.

ACM Awareness Notes

- A. IF DURING THE COURSE OF CONSTRUCTION, ACM OR OTHER SUSPECT MATERIALS ARE DISCOVERED, CEASE WORK IMMEDIATELY AND AVOID DISTURBING THOSE MATERIALS. INFORM THE OWNER IMMEDIATELY SO THAT SAMPLING AND TESTING CAN BE ARRANGED. PROCEED AS DIRECTED BY THE OWNER.
- B. ALL ACM WILL BE REMOVED BY A QUALIFIED CONTRACTOR BY THE OWNER. THE GENERAL CONTRACTOR IS TO COORDINATE WITH THE ACM REMOVAL CONTRACTOR AND THE OWNER TO MAKE SAFE ANY AND ALL OPENINGS OR TESTING AREAS.
- C. ALL ABATEMENT WORK IS TO BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND LAWS.

Demolition Legend

- EXISTING CONSTRUCTION
- DEMOLITION/REMOVALS



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Solutions

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716-228-3559

NOT FOR
CONSTRUCTION

EARLY CHILDHOOD LEARNING CENTER
ADDITION & RENOVATIONS

Bornhava
25 Chateau Terrace
Amherst, NY 14226

Site Plan
Submission

04.28.2026

Revisions		
#	Description	Date

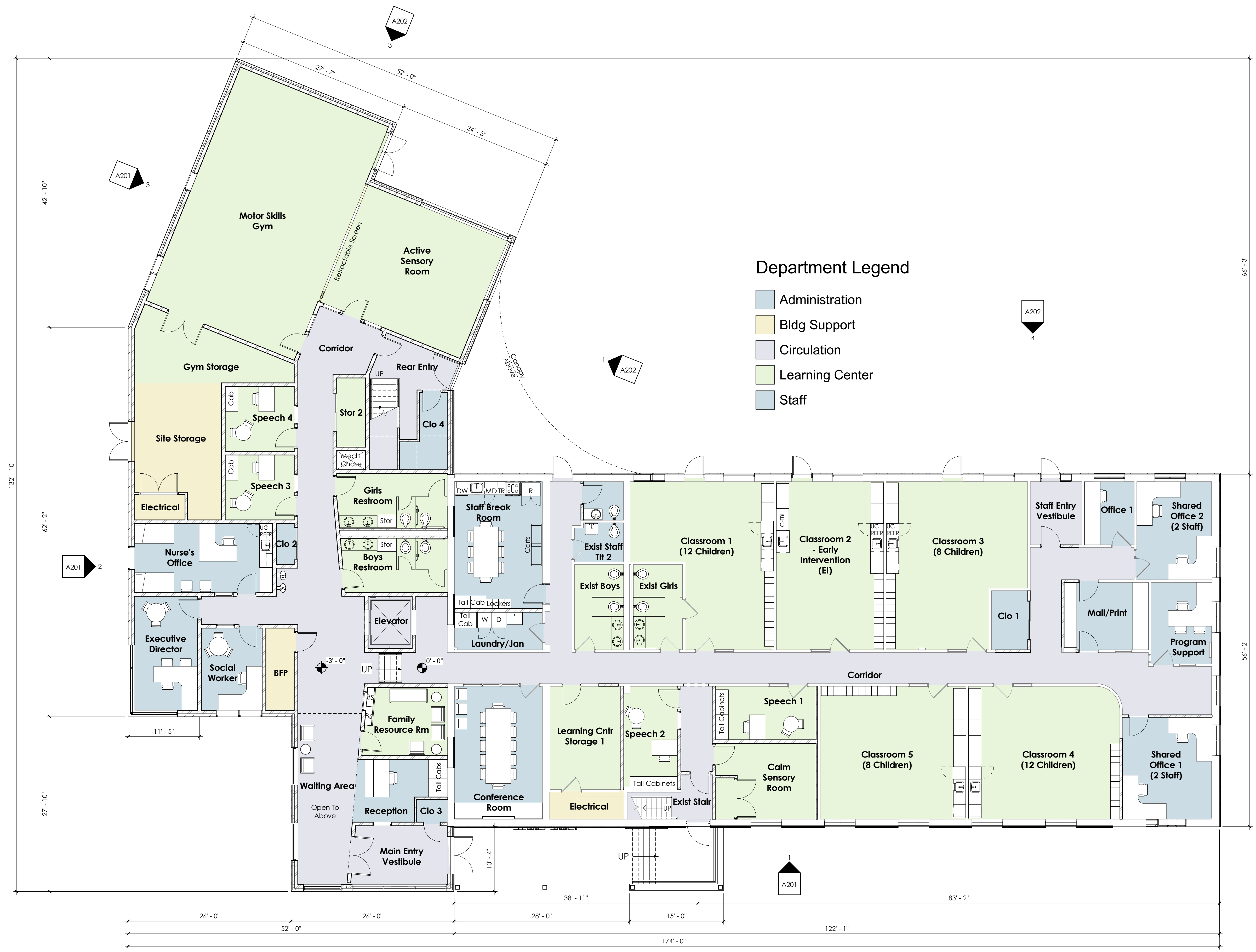
FIRST & SECOND
FLOOR DEMOLITION
PLANS

Project Number: 266.01

Sheet Number:

D101

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1 First Floor Plan
1/8" = 1'-0"

Plan Legend

ELEVATION NUMBER(S)
SHEET NUMBER

1
A301

EXTERIOR ELEVATION MARK

ELEVATION NUMBER(S)
SHEET NUMBER

1
A301

INTERIOR ELEVATION MARK

Room name

SF

ROOM NAME, NUMBER
& SQUARE FOOTAGE

N

NORTH ARROW

NAME
ELEVATION

LEVEL MARK

NEW CONSTRUCTION

EXISTING CONSTRUCTION

Department Legend

- Administration
- Bldg Support
- Circulation
- Learning Center
- Staff



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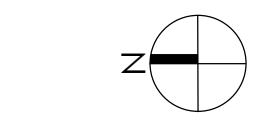
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**EARLY CHILDHOOD LEARNING CENTER
ADDITION & RENOVATIONS**

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25 Chateau Terrace
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Site Plan
Submission
04.28.2026

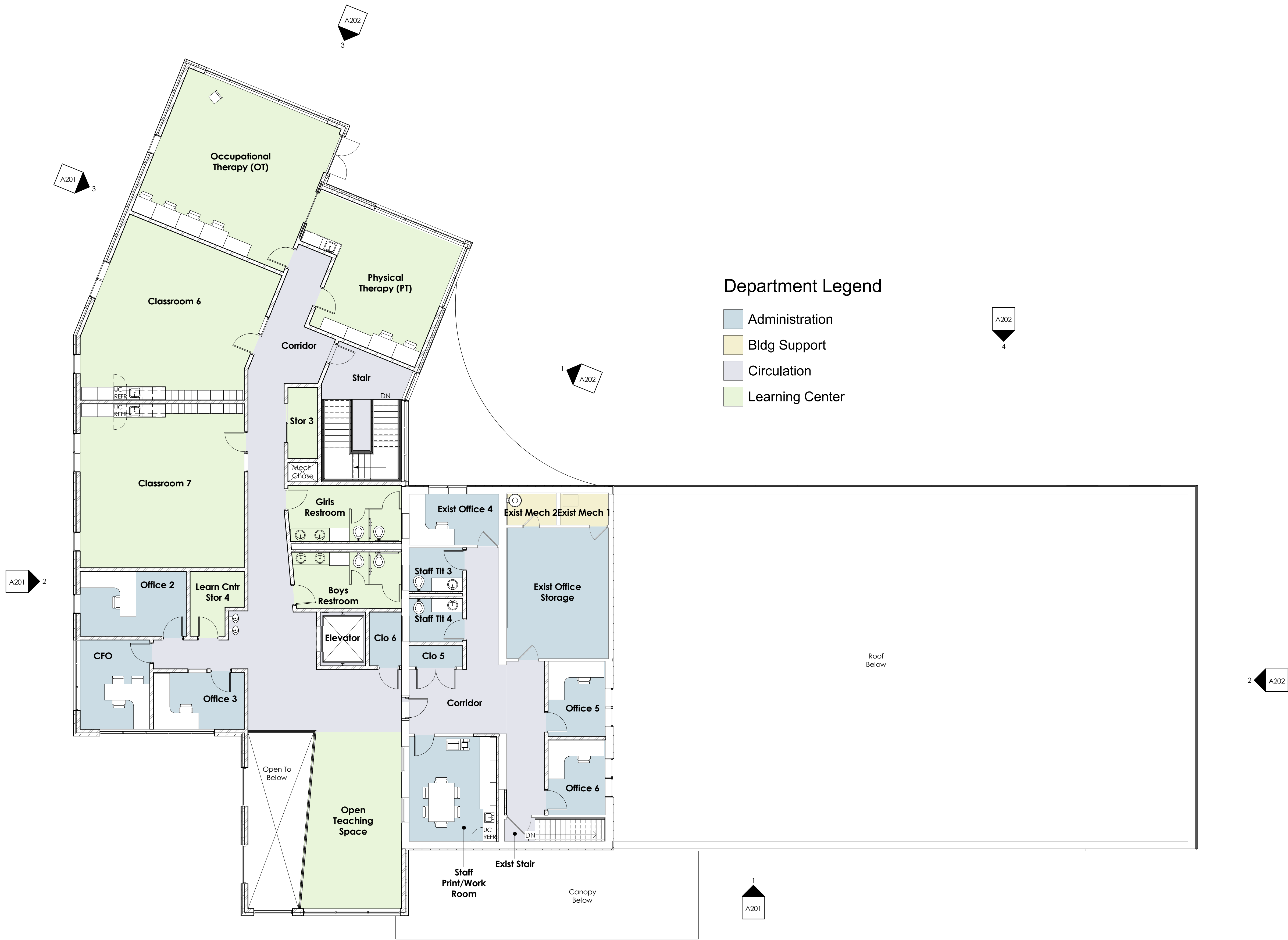
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FIRST FLOOR PLAN

Project Number: 266.01
Sheet Number:

A101

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Department Legend

- Administration
- Bldg Support
- Circulation
- Learning Center

1 Second Floor Plan
1/8" = 1'-0"



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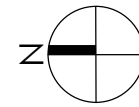
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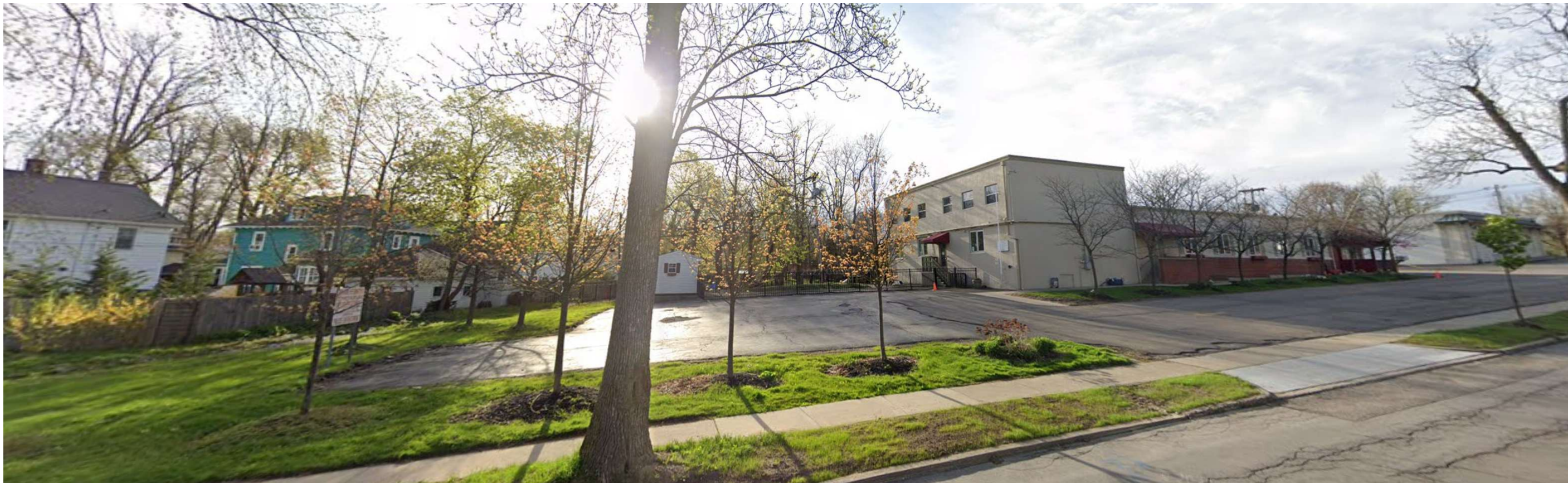
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SECOND FLOOR
PLAN

Project Number: 266.01
Sheet Number:

A102



Northwest Corner of Building - Street View



West Building Elevation - Street View



Southwest Corner of Building - Street View



Southeast Corner of Building



East Building Elevation



Rear Parking Lot



North Play Area



Northeast Play Area



Northeast Play Area



East Play Area



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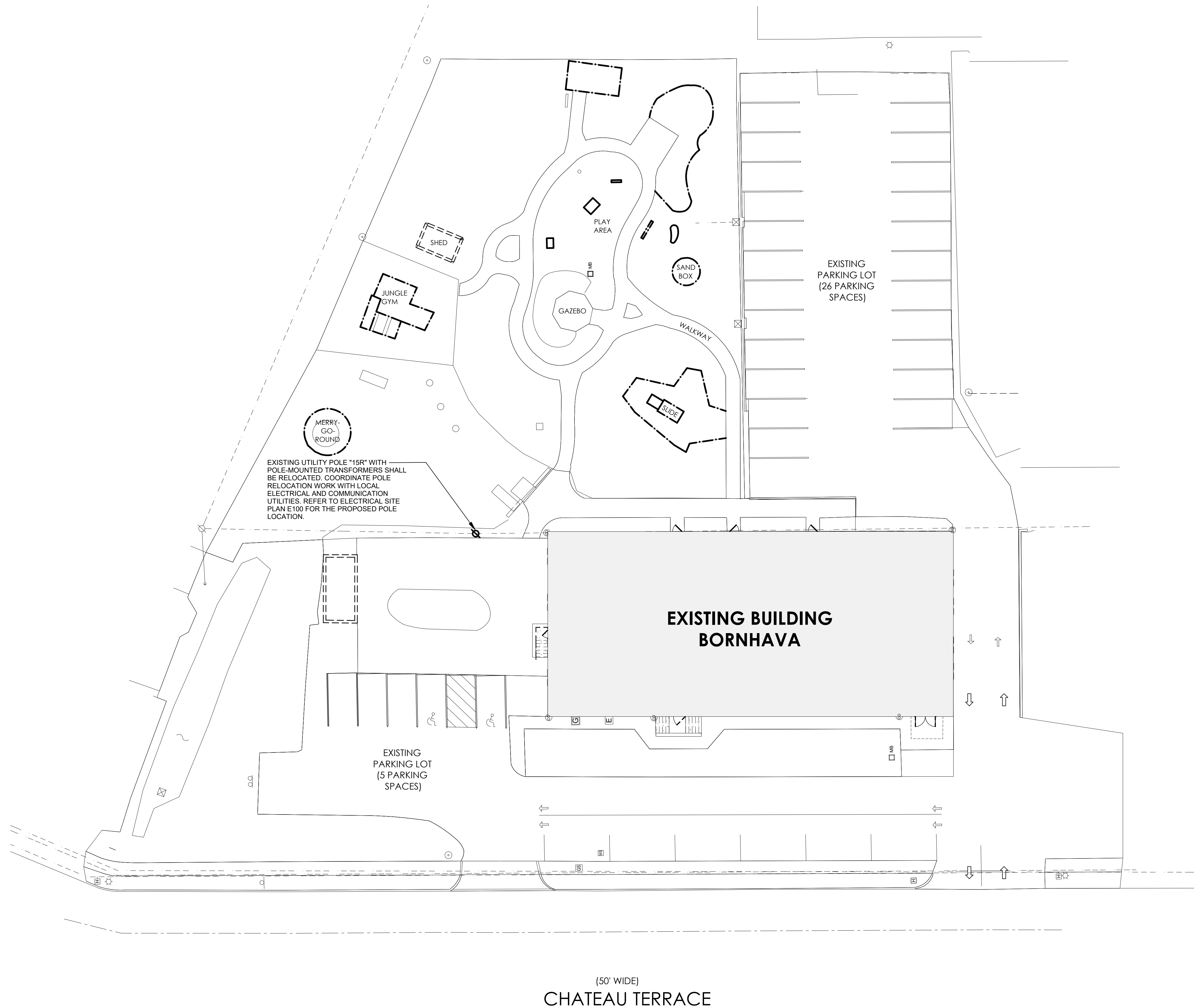
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EXISTING EXTERIOR
PHOTOGRAPHS

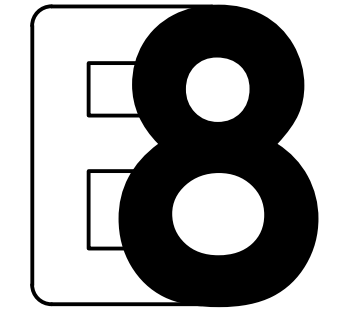
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1 Electrical Site Demolition Plan
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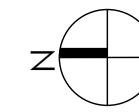
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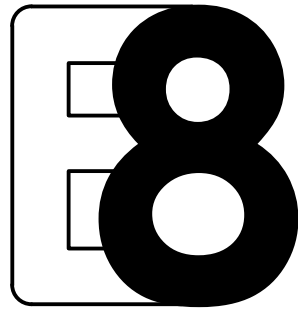
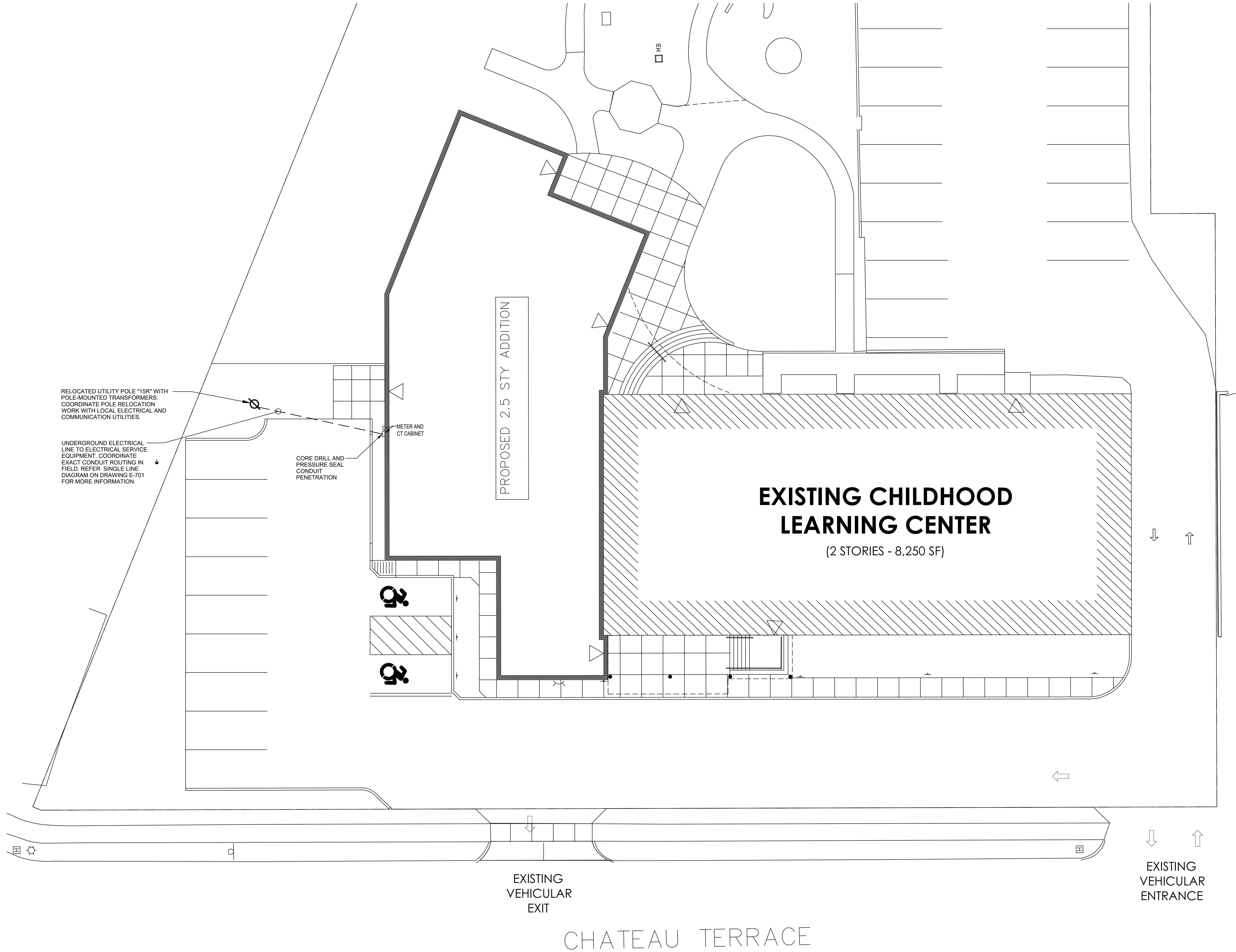
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ELECTRICAL SITE PLAN -
DEMOLITION

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Sheet Number:

ED100

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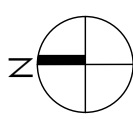
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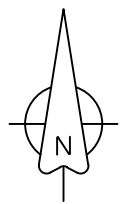
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ELECTRICAL SITE PLAN

Project Number: 266.01

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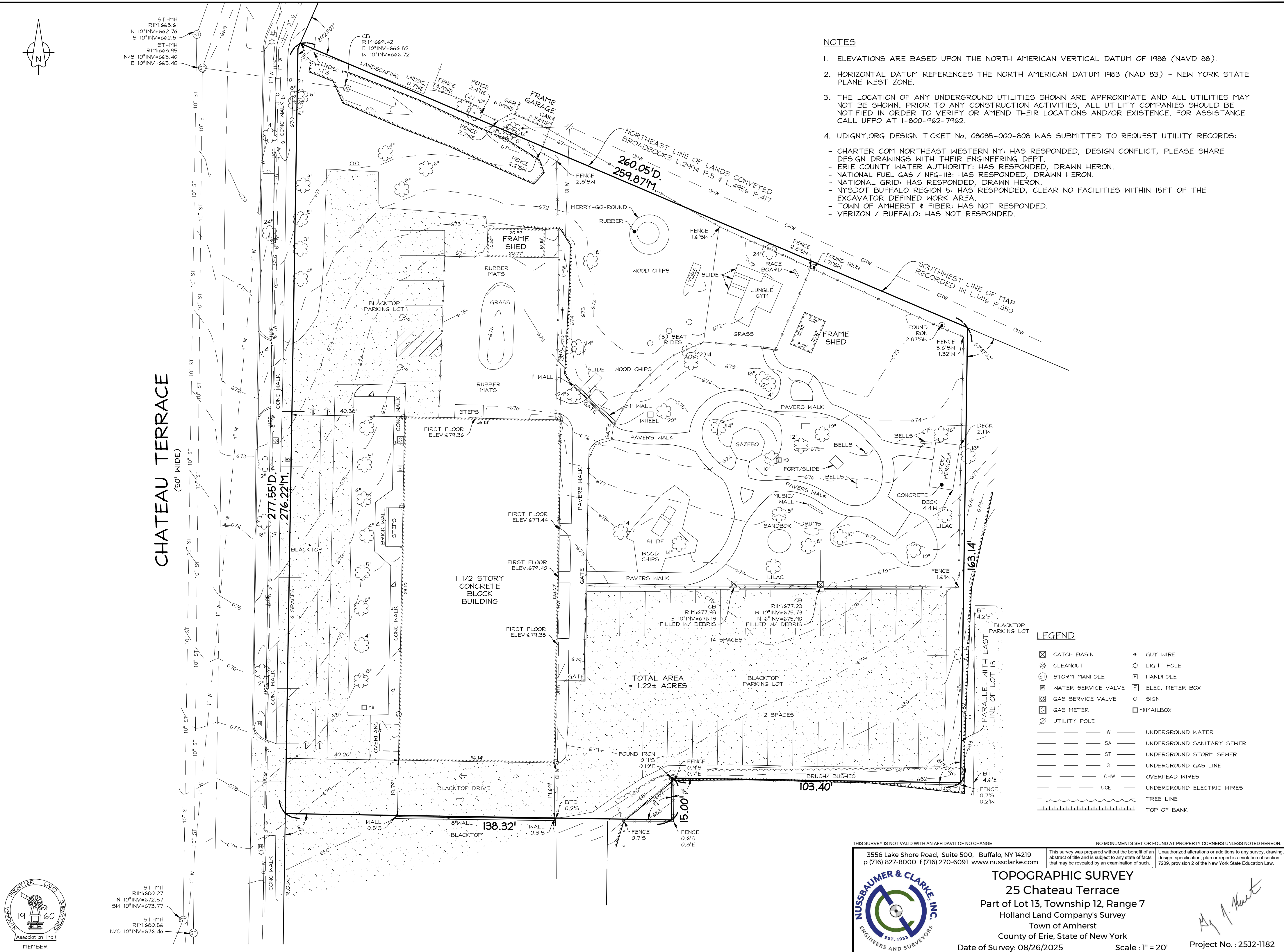
E100



ST-MH
RIM:668.61
N 10° INV=662.76
S 10° INV=662.81
ST-MH
RIM:668.95
N/S 10° INV=665.40
E 10° INV=665.40

ST-MH
RIM:680.27
N 10° INV=672.57
SW 10° INV=673.77
ST-MH
RIM:680.56
N/S 10° INV=676.46

CHATEAU TERRACE (50' WIDE)



NOTES

- ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- HORIZONTAL DATUM REFERENCES THE NORTH AMERICAN DATUM 1983 (NAD 83) - NEW YORK STATE PLANE WEST ZONE.
- THE LOCATION OF ANY UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY CONSTRUCTION ACTIVITIES, ALL UTILITY COMPANIES SHOULD BE NOTIFIED IN ORDER TO VERIFY OR AMEND THEIR LOCATIONS AND/OR EXISTENCE. FOR ASSISTANCE CALL UFPO AT 1-800-962-7962.
- UDIGNY.ORG DESIGN TICKET No. 08085-000-808 WAS SUBMITTED TO REQUEST UTILITY RECORDS:
 - CHARTER COM NORTHEAST WESTERN NY: HAS RESPONDED, DESIGN CONFLICT, PLEASE SHARE DESIGN DRAWINGS WITH THEIR ENGINEERING DEPT.
 - ERIE COUNTY WATER AUTHORITY: HAS RESPONDED, DRAWN HERON.
 - NATIONAL FUEL GAS / NFG-113: HAS RESPONDED, DRAWN HERON.
 - NATIONAL GRID: HAS RESPONDED, DRAWN HERON.
 - NYSDOT BUFFALO REGION 5: HAS RESPONDED, CLEAR NO FACILITIES WITHIN 15FT OF THE EXCAVATOR DEFINED WORK AREA.
 - TOWN OF AMHERST & FIBER: HAS NOT RESPONDED.
 - VERIZON / BUFFALO: HAS NOT RESPONDED.

LEGEND

	CATCH BASIN		GUY WIRE
	CLEANOUT		LIGHT POLE
	STORM MANHOLE		HANDHOLE
	WATER SERVICE VALVE		ELEC. METER BOX
	GAS SERVICE VALVE		SIGN
	GAS METER		MAILBOX
	UTILITY POLE		
	W		UNDERGROUND WATER
	SA		UNDERGROUND SANITARY SEWER
	ST		UNDERGROUND STORM SEWER
	G		UNDERGROUND GAS LINE
	OHW		OVERHEAD WIRES
	UGE		UNDERGROUND ELECTRIC WIRES
			TREE LINE
			TOP OF BANK

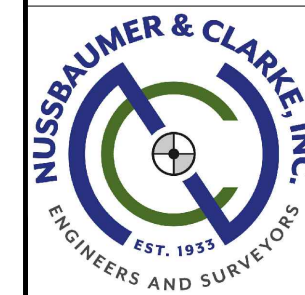
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NO MONUMENTS SET OR FOUND AT PROPERTY CORNERS UNLESS NOTED HEREON.

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25 Chateau Terrace
Part of Lot 13, Township 12, Range 7
Holland Land Company's Survey
Town of Amherst
County of Erie, State of New York

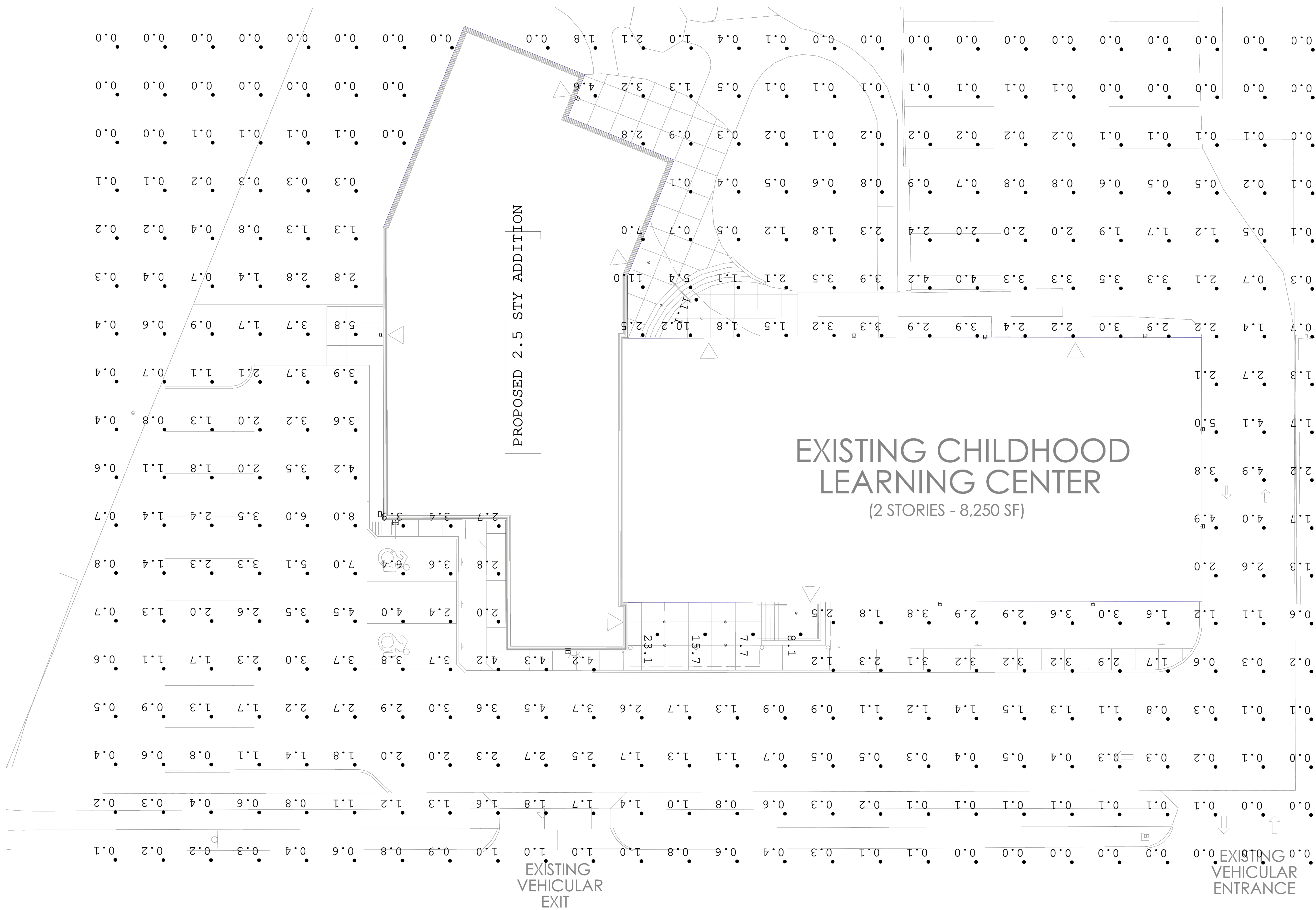
Date of Survey: 08/26/2025

Scale: 1" = 20'

Project No.: 25J2-1182

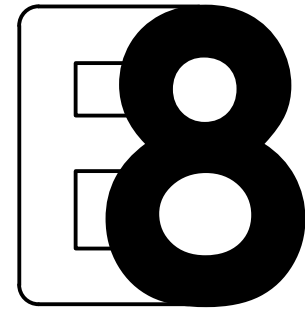


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Luminaire Schedule				Description	Tag	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
Symbol	Qty	Label	Arrangement						
⊕	8	LDN6 35_15 LO6AR LD	Single	LDN6 35_15 LO6AR LD	C	1.000	1338	17.52	140.16
⊕	9	WDGE2 LED P3 40K 80CRI TFTM	Single	WDGE2 LED P3 40K 80CRI TFTM	W	1.000	3166	32.1375	289.238
⊕	3	WDGE3 LED P3 40K 70CRI R4	Single	WDGE3 LED P3 40K 70CRI R4	W1	1.000	10360	71.6952	215.086

Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
CalcPts_1	Illuminance	Fc	1.30	11.0	0.0
Canopy 1	Illuminance	Fc	11.10	11.1	11.1
Canopy 2	Illuminance	Fc	13.65	23.1	7.7



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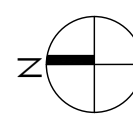
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Revisions

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ELECTRICAL SITE PLAN
PHOTOMETRIC
CALCULATIONS

Project Number: 266.01

Sheet Number:

E102