

PROPOSED RETAIL

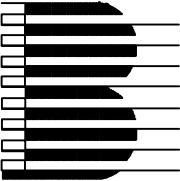
Main St. - Snyder
4548-4564 Main Street
Town of Amherst, NY 14226
BDC Property # 5202

INDEX OF DRAWINGS

DWG. #	DRAWING NAME	REVISION	DATE
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C3.1	DEMOLITION AND EROSION CONTROL DETAILS		
C4.0	OVERALL SITE PLAN		
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C5.0	GRADING PLAN		
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C6.0	UTILITY PLAN		
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C8.0	LIGHTING PLAN		
C8.1	LIGHTING DETAILS		

OWNER/DEVELOPER:

NAME:	BENDERSON DEVELOPMENT COMPANY, LLC
ADDRESS:	570 DELAWARE AVENUE, BUFFALO, NY 14202
CONTACT:	DAVID ZUPPELLI
PHONE:	716 - 878 - 9683



BENDERSON DEVELOPMENT COMPANY, LLC
570 Delaware Ave.
Buffalo, New York 14202

SURVEYOR

NAME:	TRUE NORTH SURVEYING
ADDRESS:	150 AERO DRIVE, BUFFALO NY 14225
CONTACT:	CHRISTOPHER BARR
PHONE:	716-631-5140

UTILITIES:

WATER DEPARTMENT	
NAME/TITLE:	ADAM MASSARO
COMPANY/DEPT:	ERIE COUNTY WATER AUTHORITY
ADDRESS:	3030 UNION RD, CHEEKTOWAGA, NY
PHONE:	716 - 685-8207
BUILDING & PLUMBING DEPARTMENT	
NAME/TITLE:	-
COMPANY/DEPT:	TOWN OF AMHERST, NY - BUILDING DPT
ADDRESS:	5583 MAIN STREET, WILLIAMSVILLE, NY 14221
PHONE:	716 - 631 - 7080
NATURAL GAS	
NAME/TITLE:	WILLIAM SCHNEIDER
COMPANY/DEPT:	NATURAL FUEL GAS
ADDRESS:	-
PHONE:	716 - 696 - 6460

TELEPHONE COMPANY	
NAME/TITLE:	JOHN HECKMAN
COMPANY/DEPT:	VERIZON
ADDRESS:	-
PHONE:	716 - 840 - 8603

ELECTRIC	
NAME/TITLE:	-
COMPANY/DEPT:	NATIONAL GRID
ADDRESS:	-
PHONE:	-

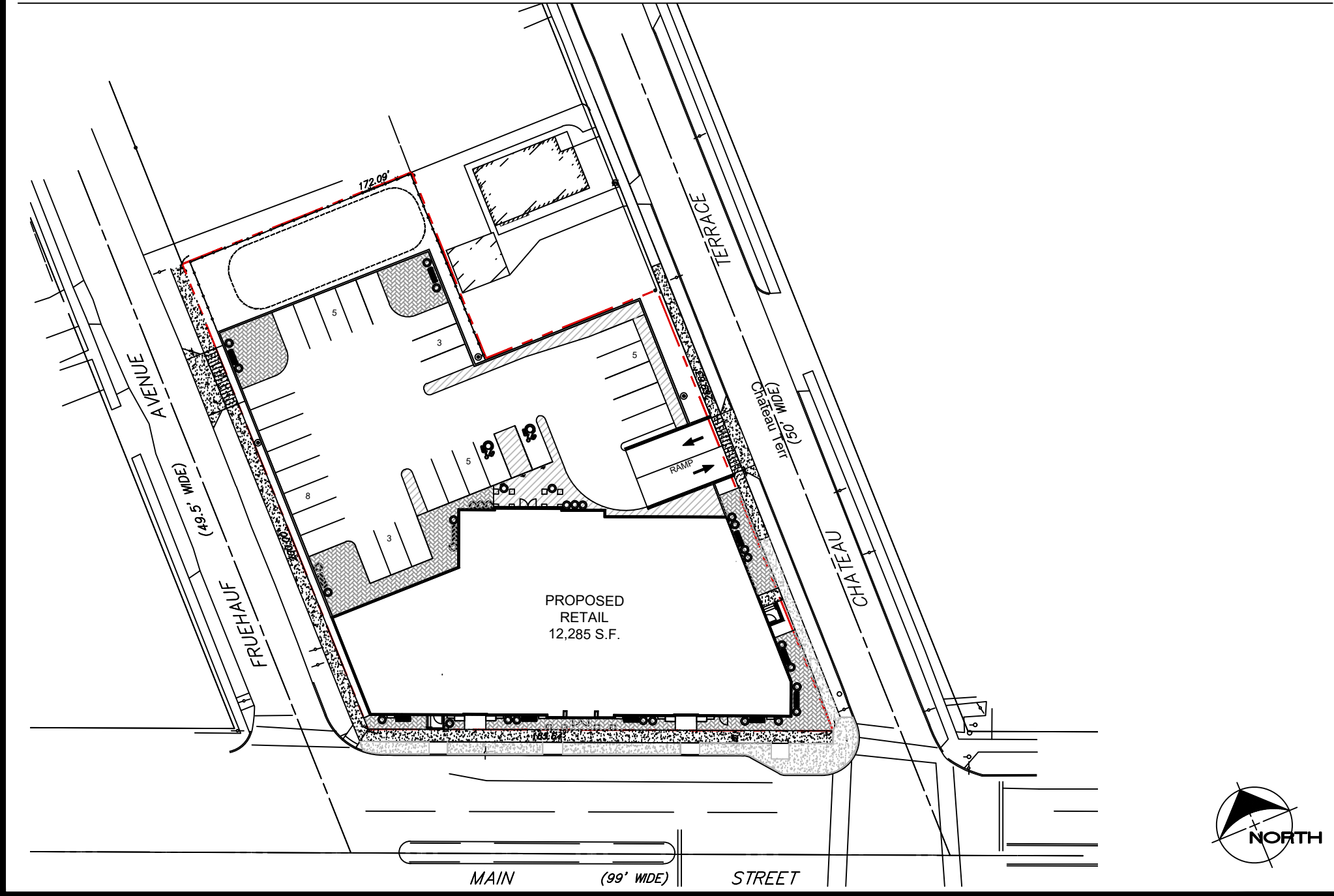
DIG SAFELY NEW YORK	
PHONE:	1 - 800 - 962 - 7962 OR (811)

AGENCIES:

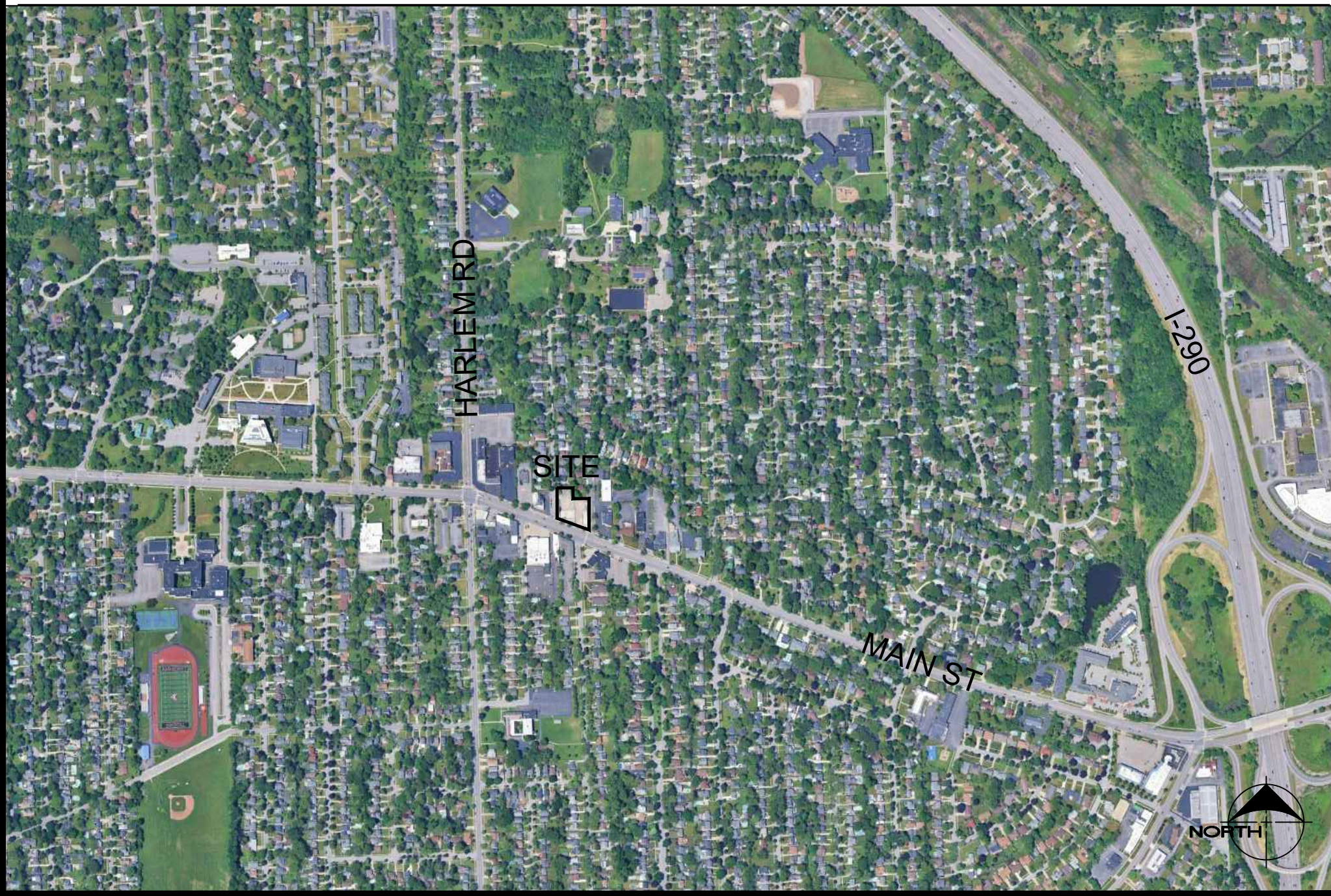
ENGINEERING DEPARTMENT	
NAME/TITLE:	JEFF BURROUGHS
COMPANY/DEPT:	TOWN OF AMHERST, NY - ENGINEERING DPT
ADDRESS:	1100 NORTH FOREST RD, WILLIAMSVILLE, NY
PHONE:	716 - 631 - 7154 EX 7418
PLANNING DEPARTMENT	
NAME/TITLE:	DAN HOWARD
COMPANY/DEPT:	TOWN OF AMHERST, NY - PLANNING DPT
ADDRESS:	5583 MAIN STREET, WILLIAMSVILLE, NY 14221
PHONE:	716 - 631 - 7051

NYSDOT - HIGHWAY & UTILITY PERMITS	
NAME/TITLE:	ALFRED I. OYOYO, ASSISTANT RESIDENT ENGINEER
COMPANY/DEPT:	NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NORTH ERIE RESIDENCY)
ADDRESS:	111 INDIAN ROAD. DEPEW, NEW YORK 14043
PHONE:	716 - 683 - 3476 (EXT - 27)

SITE LOCATION MAP 1" = 50'



REGIONAL LOCATION MAP NTS



OFFICIAL TOWN USE ONLY

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

SPECIAL INFORMATION:
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.
SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.
NOTICE
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION #7209 OF THE STATE EDUCATION LAW

CONSTRUCTION SET



PROPERTY NUMBER:	AREA:
#5202	-

Main St - Snyder

4548-4564 Main St.

Amherst, NY 14226

PROPOSED RETAIL

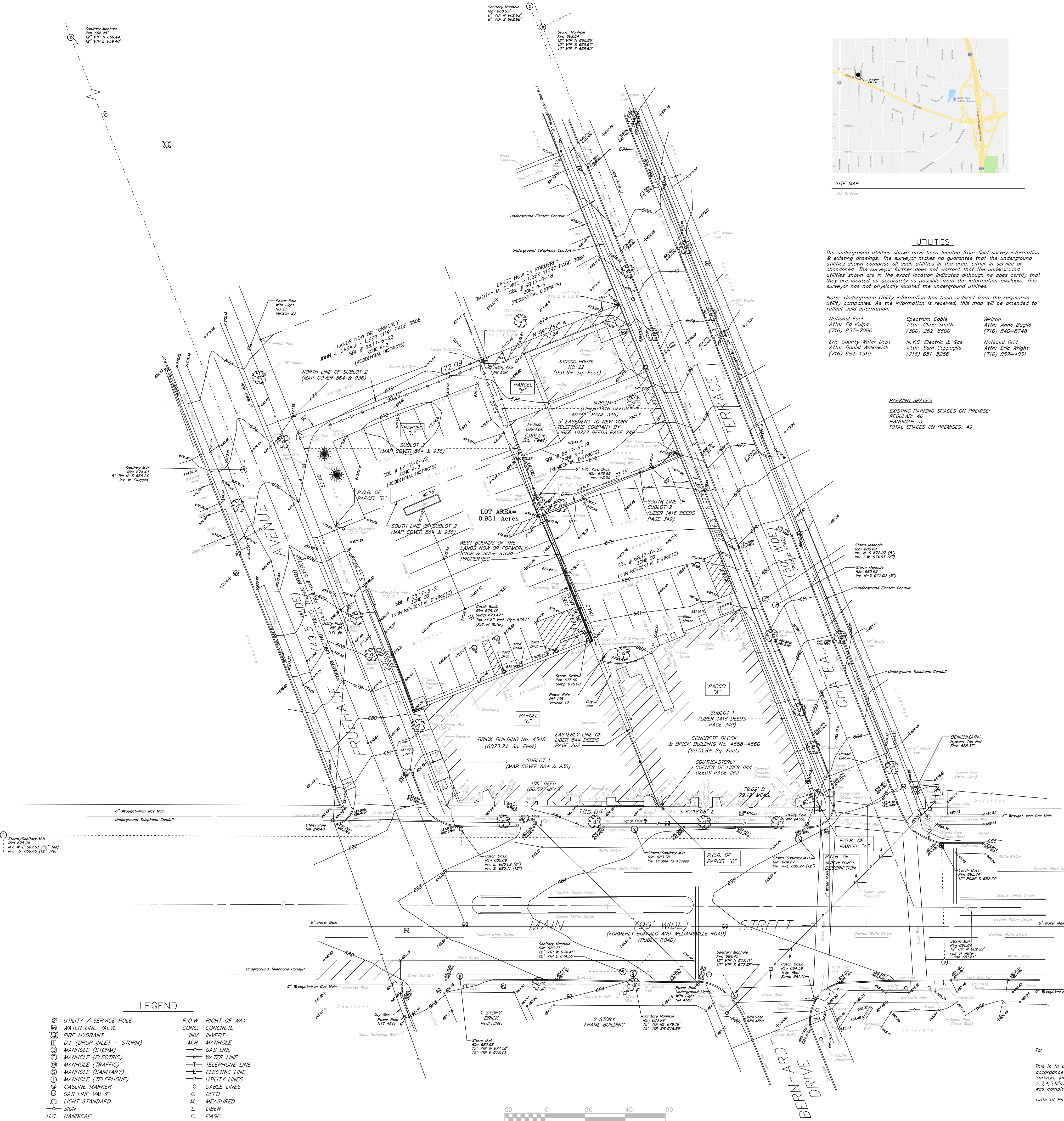
CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
BENDERSON DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:	
COVER SHEET	
SCALE:	NTS
DRAWN BY:	DMZ
CHECKED BY:	MAO
DATE:	04.16.2025
DRAWING NO.	
C1.0	



EASEMENT:

HOLLAND LAND TITLE & ABSTRACT COMPANY, INC.
SEARCH NO. 5010-54386
DATED: NOVEMBER 17, 2017

23.) EASEMENT TO NEW YORK TELEPHONE COMPANY BY LIBER 10727
DEEDS PAGE 240. (PLOTTED ON DRAWING)

SCHEDULE "A"

HOLLAND LAND TITLE & ABSTRACT COMPANY, INC.
SEARCH NO. 5010-54386
DATED: NOVEMBER 17, 2017

PARCEL A:

ALL THAT TRACT OR PARCEL OF LAND, situate in the Town of Amherst, County of Erie, and State of New York, being part of Farm Lot No. 13, Township 12, Range 7 of the Holland Land Company's Survey, and being Subdivision Lot No. 1 as shown on a certain subdivision map made by Busch & Percival, Engineers, entitled "College Hill Terraces" and recorded in Erie County Clerk's Office in Liber 1416 of Deeds, page 349, and more particularly bounded and described as follows:

BEGINNING at the point of intersection of the northeasterly line of Main Street with the west line of Chateau Terrace; running thence northerly along the westerly line of Chateau Terrace; running thence northerly along the westerly line of Chateau Terrace, 189.63 feet to the southerly line of Subdivision Lot No. 2, as shown on said subdivision map; thence westerly at right angles with the westerly line of Chateau Terrace and along the southerly line of Subdivision Lot No. 2, 73.34 feet to the westerly bounds of the lands of Suer & Suer Store Properties, Inc.; thence southerly and at right angles with the said southerly line of Subdivision Lot No. 2, and along the westerly bounds of the lands of the Suer & Suer Store Properties, Inc., 160 feet to the northeasterly line of Main Street; thence southeasterly along the said line of Main Street, 79.09 feet to the point of beginning.

PARCEL B:

ALL THAT TRACT OR PARCEL OF LAND, situate in the Town of Amherst, County of Erie, and State of New York, being part of Farm Lot No. 13, Township 12, Range 7 of the Holland Land Company's Survey, and being designated as Subdivision Lot No. 1 as shown on subdivision map made for Jacob C. Fruhauf by C.F. Witmer, Surveyor, in 1898 of part of said Lot No. 18 filed in Erie County Clerk's Office under Map Cover 864 and also being designated as Subdivision Lot No. 1 on a map filed in Erie County Clerk's Office under Cover No. 936, and bounded and described as follows:

PARCEL C:

ALL THAT TRACT OR PARCEL OF LAND, situate in the Town of Amherst, County of Erie, and State of New York, being part of Farm Lot No. 13, Township 12, Range 7 of the Holland Land Company's Survey, and being designated as Subdivision Lot No. 1 as shown on subdivision map made for Jacob C. Fruhauf by C.F. Witmer, Surveyor, in 1898 of part of said Lot No. 18 filed in Erie County Clerk's Office under Map Cover 864 and also being designated as Subdivision Lot No. 1 on a map filed in Erie County Clerk's Office under Cover No. 936, and bounded and described as follows:

BEGINNING at the southeasterly corner of premises conveyed to said Jacob C. Fruhauf by Fanny Hall, by Committee, by deed dated February 7, 1898, recorded in Erie County Clerk's Office in Liber 844 of Deeds, page 262, February 7, 1898, being in the northerly line of Main Street (Buffalo and Williamsville Road); running thence northerly along the easterly line of the premises conveyed by said deed, 189.25 feet; thence westerly 98.75 feet to the easterly line of Fruhauf Street (formerly known as Chestnut Street) as shown on said map; thence southerly along the westerly line of Fruhauf Street (formerly known as Chestnut Street) 150 feet to the said northerly line of Main Street (Buffalo and Williamsville Road); and thence easterly along said line of Main Street (Buffalo and Williamsville Road) 106 feet to the place of beginning.

PARCEL D:

ALL THAT TRACT OR PARCEL OF LAND, situate in the Town of Amherst, County of Erie, and State of New York, being part of Farm Lot No. 13, Township 12, Range 7 of the Holland Land Company's Survey, and being further known and distinguished as Subdivision Lot No. 2 as shown and laid down on map and survey made by C.F. Witmer, Surveyor, in 1898, which map is filed in Erie County Clerk's Office under Cover No. 864, said lot being bounded and described as follows:

BEGINNING in the easterly line of Fruhauf Avenue at a point distant 150 feet from the point of intersection of said line of Fruhauf Avenue with the northerly line of Main Street; thence easterly along the southerly line of said Subdivision Lot No. 2, 98.75 feet to the east line of land conveyed to Jacob C. Fruhauf by deed recorded in Erie County Clerk's Office in Liber 844 of Deeds, page 262; thence northerly along the said easterly line of said land so conveyed, 20 feet; thence westerly along the northerly line of said Subdivision Lot No. 2, 98.75 feet; and thence southerly along the easterly line of Fruhauf Avenue 20 feet to the place of beginning.

Parcel containing 0.93 acres of land, more or less.

SURVEYOR'S DESCRIPTION:

ALL THAT TRACT OR PARCEL OF LAND, situate in the Town of Amherst, County of Erie, and State of New York, being part of Farm Lot No. 13, Township 12, Range 7 of the Holland Land Company's Survey, bounded and described as follows:

BEGINNING at the point of intersection of the northerly line of Main Street with the west line of Chateau Terrace; running thence northerly along the westerly line of Chateau Terrace; running thence northerly along the westerly line of Chateau Terrace, 269.63 feet to a point; thence westerly at right angles with the westerly line of Chateau Terrace, 172.09 feet to the easterly line of Fruhauf Avenue; thence southerly along the easterly line of Fruhauf Avenue, 200.00 feet; to the said northerly line of Main Street; and thence easterly along said line of Main Street, 185.94 feet to the place of beginning.

Parcel containing 0.93 acres of land, more or less.

NOTE:
ALL ELEVATIONS ON CURBLINE ARE TAKEN AT TOP OF CURB - 6" CURB IS ASSUMED

ELEVATIONS AND COORDINATES ESTABLISHED FROM TOWN OF AMHERST MONUMENTS
No. 8 & No. 9, NAD 83/92 HARN DATUM
NEW YORK WEST ZONE

FLOOD ZONE DATA

ENTIRE PREMISES LIES WITHIN ZONE "X" (AREA DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN)
PER F.E.M.A. FLOOD INSURANCE RATE MAP 3602226 0012 E, TOWN OF AMHERST
MAP DATE: OCTOBER 16, 1992

ZONING

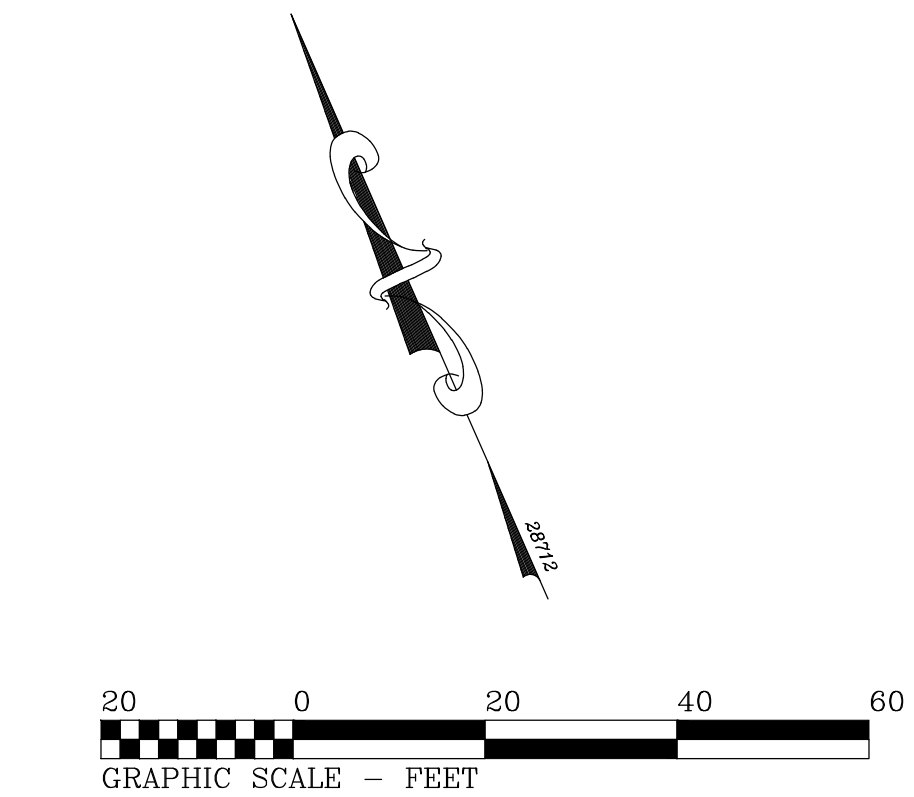
TOWN OF AMHERST
ONLINE - ECODE360
ADOPTED BY THE TOWN BOARD OF THE TOWN OF AMHERST 5-1-2006

SBL. NO. 68.17-6-19 AND 22
ARE IN ZONE R-3 (RESIDENTIAL DISTRICTS)

SBL. NO. 68.17-6-20 AND 21
ARE IN ZONE GB (NON RESIDENTIAL DISTRICTS)

B. Dimensional Standards.	
R-3 Principal Use Dimensional Standards	
Min. lot area (see dwelling)	8,400 sq. ft.
Interior	8,400 sq. ft.
Corner	45 ft.
Interior	45 ft.
Corner	25 ft.
Min. yard	30 ft.
Front yard	30 ft.
Rear yard	30 ft.
Combined side yards	30 ft.
Each side yard	5 ft.
Corner lot	See R-3 (a)(3)
Through lot	See R-3 (a)(3)
Max. height	2 stories (see R-3)
Max. building coverage	35%
Min. floor area (dwelling only)	1,000 sq. ft.
Under a stories	1,000 sq. ft.
1 or more stories	1,000 sq. ft.
Note: For explanation of measurements, computations, and exceptions see § 3-3.8.	

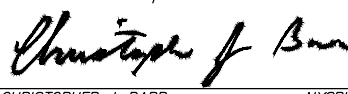

GB Principal & Accessory Use/Structure Dimensional Standards		Vehicle Use Area
Min. lot area	None	
Min. lot width	None	
Min. front yard	None	
Height of structure for first 35 ft.	20 ft.	10 ft.*
Height of structure for any portion of building above 35 ft.	30 ft.	10 ft.*
Min. rear yard (dwelling residential)** (nonresidential)	See § 3-5.4(d)(3) 15 ft.	15 ft.* 15 ft.*
Height of structure up to 35 ft.	See § 3-5.4(d)(3) 25 ft.	15 ft.* 15 ft.*
Height of structure 35 ft. or more	See § 3-5.4(d)(3) 25 ft.	15 ft.* 15 ft.*
Min. side yard (dwelling residential)** (nonresidential)**	See § 3-5.4(d)(3) 15 ft. or 10 ft. on lot line	15 ft.* 15 ft.*
Height of structure up to 35 ft.	See § 3-5.4(d)(3) 15 ft. or 10 ft. on lot line	15 ft.* 15 ft.*
Height of structure 35 ft. or more	See § 3-5.4(d)(3) 25 ft.	15 ft.* 15 ft.*
Max. height	None	
Max. building coverage	None	
Min. interior building separation	None required	
* The entire area must be landscaped.		
** Accessory structures shall be setback a minimum of 10 feet.		
† R-3, S-4, R-4, R-5, R-6, CR-3, TR-3, R-4, MPR-46, MPR-5, MPR-6, MPR-7, PRO-3, PRO-4, PRO-5, PRO-6, PRO-7, PRO-8, PRO-9, PRO-10, PRO-11, PRO-12, PRO-13, PRO-14, PRO-15, PRO-16, PRO-17, PRO-18, PRO-19, PRO-20, PRO-21, PRO-22, PRO-23, PRO-24, PRO-25, PRO-26, PRO-27, PRO-28, PRO-29, PRO-30, PRO-31, PRO-32, PRO-33, PRO-34, PRO-35, PRO-36, PRO-37, PRO-38, PRO-39, PRO-40, PRO-41, PRO-42, PRO-43, PRO-44, PRO-45, PRO-46, PRO-47, PRO-48, PRO-49, PRO-50, PRO-51, PRO-52, PRO-53, PRO-54, PRO-55, PRO-56, PRO-57, PRO-58, PRO-59, PRO-60, PRO-61, PRO-62, PRO-63, PRO-64, PRO-65, PRO-66, PRO-67, PRO-68, PRO-69, PRO-70, PRO-71, PRO-72, PRO-73, PRO-74, PRO-75, PRO-76, PRO-77, PRO-78, PRO-79, PRO-80, PRO-81, PRO-82, PRO-83, PRO-84, PRO-85, PRO-86, PRO-87, PRO-88, PRO-89, PRO-90, PRO-91, PRO-92, PRO-93, PRO-94, PRO-95, PRO-96, PRO-97, PRO-98, PRO-99, PRO-100, PRO-101, PRO-102, PRO-103, PRO-104, PRO-105, PRO-106, PRO-107, PRO-108, PRO-109, PRO-110, PRO-111, PRO-112, PRO-113, PRO-114, PRO-115, PRO-116, 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LEGEND	
⊗ UTILITY / SERVICE POLE	R.O.W. RIGHT OF WAY
⊗ WATER LINE VALVE	CONC. CONCRETE
⊗ FIRE HYDRANT	INV. INVERT
⊗ D.I. (DROP INLET - STORM)	M.H. MANHOLE
⊗ MANHOLE (STORM)	—G— GAS LINE
⊗ MANHOLE (ELECTRIC)	—W— WATER LINE
⊗ MANHOLE (TRAFFIC)	—T— TELEPHONE LINE
⊗ MANHOLE (SANITARY)	—E— ELECTRIC LINE
⊗ MANHOLE (TELEPHONE)	—P— UTILITY LINES
⊗ GASLINE MARKER	—C— CABLE LINES
⊗ GAS LINE VALVE	D. DEED
⊗ LIGHT STANDARD	M. MEASURED
⊗ SIGN	L. LIBER
H.C. HANDICAP	P. PAGE

SUBLOT 1 & 2 ~ MAP IN LIBER 1416 DEEDS PAGE 349
AND SUBLOT 1 & 2 ~ MAP IN MAP COVER 864 & 936

INSTRUMENT(S) UTILIZED IN DETERMINING LOCATION OF BOUNDARY LINES: HEAD OF SEARCH
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED IN SAID ABSTRACT.
NOTE: PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.

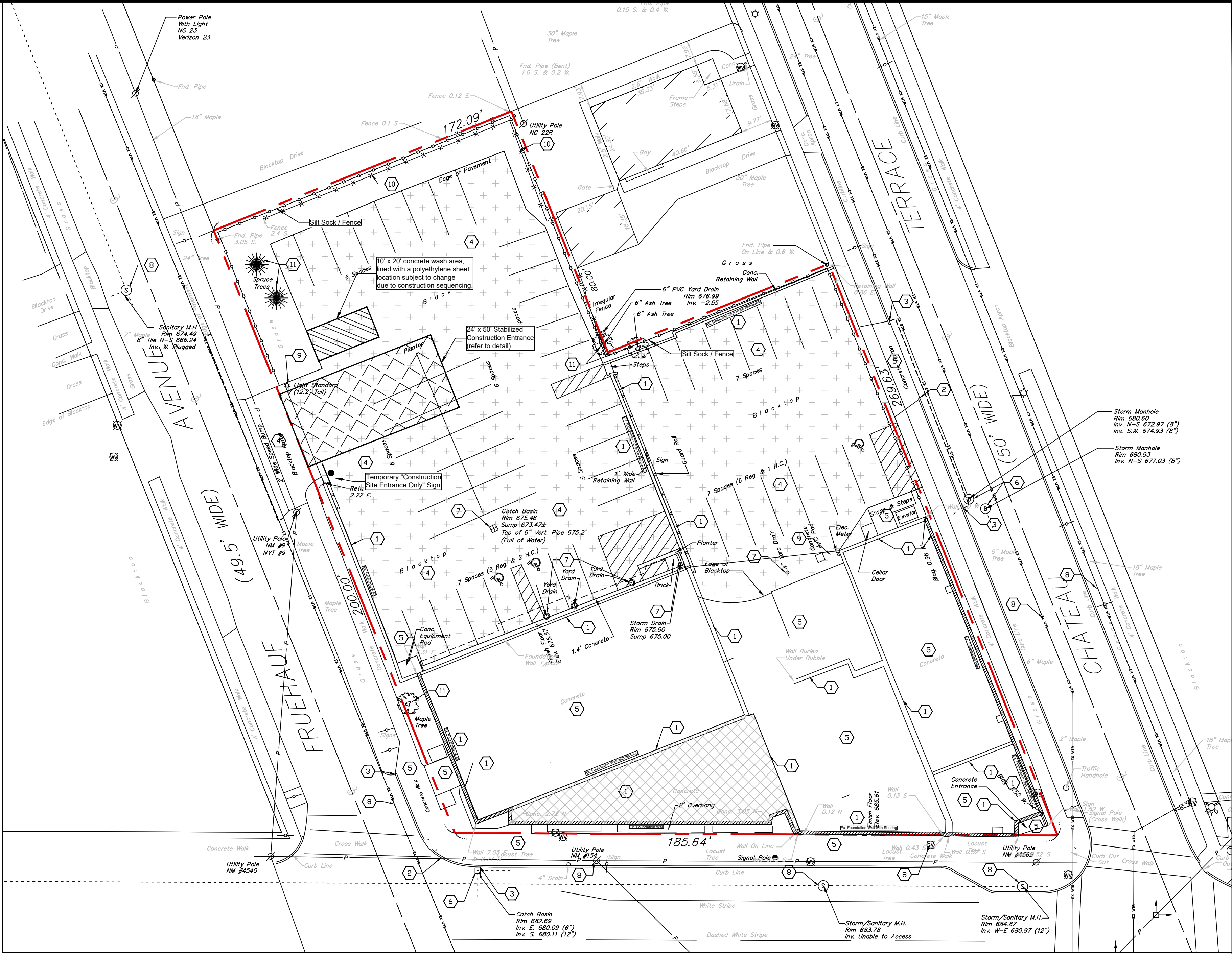
<div>THIS SURVEY MAP WAS PREPARED IN ACCORDANCE WITH THE CURRENT STANDARDS FOR LAND SURVEYS ADOPTED BY THE MAP ASSOCIATION OF ONE COUNTY AT THE REQUEST OF Bendersen Development</div> <div> CHRISTOPHER J. BARR NYS PLS No. 051068</div>	<div>©COPYRIGHT 2024 BY:  TRUE NORTH LAND SURVEYING, PLLC 150 AERO DRIVE BUFFALO, NEW YORK 14225 (716)631-5140 ~ Truenorthpllc@aol.com</div>	AMEND:
		SURVEY DATE: 5-16-24
		DRAWING DATE: 5-17-24
		SCALE: 1" = 20'
		"ALL RIGHTS RESERVED"
FOUNDATION LOCATION SURVEY		THIS MAP VOID UNLESS EMBOSSED
PART OF LOT <u>13</u> SECTION <u>12</u> TOWNSHIP <u>12</u> RANGE <u>7</u> OF THE <u>Holland Land Company's SURVEY - Erie</u> COUNTY, N.Y.		WITH NEW YORK STATE LICENSED LAND SURVEYOR'S SEAL. ALTERING ANY ITEM ON THIS MAP IS A VIOLATION OF THE LAW EXCEPT AS PROVIDED IN SECTION 7209, PART 2, OF THE NEW YORK STATE EDUCATION LAW
SURVEY OF: 22 Chateau Terrace, 4564 & 4548 Main Street and 17 Fruehauf Avenue, Town of Amherst		SBL No. 68.17-6-219,20,21&22

DEMOLITION & EROSION NOTES:

1. USE NOTED ENTRANCE FOR CONSTRUCTION ENTRANCE
2. INSTALL TEMPORARY EROSION CONTROL DEVICES AS DIRECTED WITHIN THE WORKING AREA TO PREVENT SEDIMENT MIGRATION. ALL EROSION CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS PROVIDED.
3. ALL EROSION CONTROL DEVICES SHALL BE REPLACED WHEREVER THEY BECOME INOPERABLE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS.
5. THE CONTRACTOR MUST CONTROL DUST DURING CONSTRUCTION, DURING EARTHWORK OPERATIONS, WATER-SPREADING EQUIPMENT SHALL BE PROVIDED BY THE CONTRACTOR, AND WATER SPREAD AS NECESSARY AND AS DIRECTED IN ORDER TO CONTROL DUST.
6. DIRT OR DEBRIS LEFT ON LOCAL PUBLIC ROADS AS A RESULT OF THIS CONSTRUCTION PROJECT SHALL BE REMOVED AND ROAD SURFACES CLEANED BY THE CONTRACTORS ON A DAILY BASIS, OR MORE FREQUENTLY IF DEEMED NECESSARY.
7. ALL DISTURBED AREAS (EXCEPT AREAS TO BE PAVED OR BUILT UPON) SHALL BE TOPSOILED TO A MINIMUM OF 4" DEPTH AND SEEDED IMMEDIATELY AFTER FINE GRADING TAKES PLACE AND AS SOON AS PHYSICALLY POSSIBLE.
8. THE CONTRACTOR IS RESPONSIBLY FOR THE MAINTENANCE OF DOWNSTREAM STORM SEWERS, DITCHES AND CULVERTS. SILT BUILDUP FOUND TO BE A RESULT OF THIS SITE CONSTRUCTION WORK SHALL BE REMOVED FROM DOWNSTREAM CULVERTS, DETENTION PONDS, BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER OR CITY.
9. ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES AND MATERIALS SHALL BE IN PLACE PRIOR TO BEGINNING EARTHWORK OPERATIONS AND SHALL BE MAINTAINED UNTIL THE ALL GRADING WORKS ARE COMPLETE.

GENERAL NOTES:

1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
11. CONCRETE SIDEWALK SEALERS; (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES).
- 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
- 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (x1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APRX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (x1) COAT OF CHEMMASTERS - POLYSEAL EZ.
12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.
14. CONTRACTOR TO PROVIDE NEW PAVEMENT THAT CONFORMS TO THE GRADING PLAN WHILE MAINTAINING, AS A MINIMUM, THE EXISTING STONE BASE. THE MEANS AND METHODS OF OBTAINING NEW GRADES IS LEFT UP TO THE CONTRACTOR AND CAN BE OBTAINED VIA SHIMMING THE PAVEMENT AND THEN A NEW TOP COAT, REMOVING EXISTING ASPHALT PAVEMENT AND REGRADING EXISTING STONE BASE, A COMBINATION OF THESE TWO OR ANOTHER METHOD OF THE CONTRACTORS CHOOSING. FINAL PAVEMENT WORK PLAN SHALL BE PROVIDED TO OWNER AND ENGINEER FOR REVIEW AND APPROVAL.



DEMOLITION LEGEND:

- Property Line
- Existing Gas
- Existing Water
- Existing Overhead Utility
- Existing Sanitary
- Existing Storm
- Saw Cut Line
- Silt Fence/Sock
- Inlet Protection
- Existing Building / Foundations to be removed.
- Existing Asphalt Pavement to be Removed. Sub-base to be recycled, and reused to regrade area.

- DEMOLITION NOTES:**
1. Existing Building / Foundations to be Removed. Follow construction sequence for shoring removal of existing foundation walls.
 2. Existing Curb to be removed
 3. Limits of Curb Removal
 4. Existing Asphalt Pavement to be removed and regraded (Refer to General Note 14)
 5. Existing Concrete Sidewalk/ Pavement/ Structures to be removed.
 6. Existing Storm Drainage/CB to remain and be protected during Construction.
 7. Existing Storm Drainage/CB to be removed.
 8. Existing Utility Structure to remain and be protected during Construction.
 9. Existing Utility Structure to be removed.
 10. Existing Fence to be removed.
 11. Existing Landscaping to be removed.
 12. Existing Feature to Remain.
 13. Existing Feature to be Removed.

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

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CONSTRUCTION SET



PROPERTY NUMBER: #5202

AREA: -

Main St - Snyder
4548-4564 Main St.
Amherst, NY 14226

PROPOSED RETAIL

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
BENDERSON DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

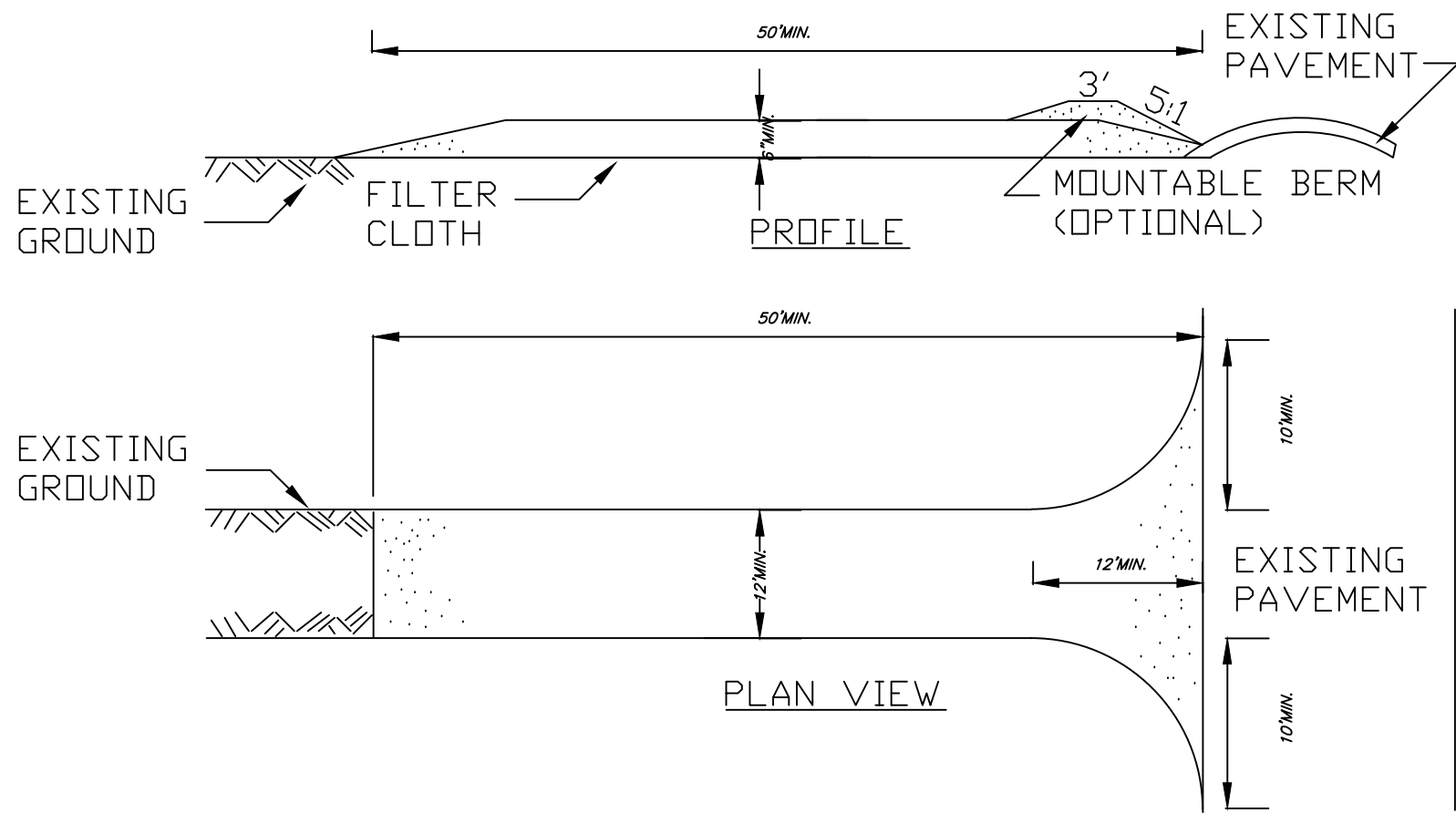
SEAL



TITLE:
Demolition and Erosion Control Plan

SCALE:
1" = 20'
DRAWN BY:
DMZ
CHECKED BY:
MAO
DATE:
04.16.2025

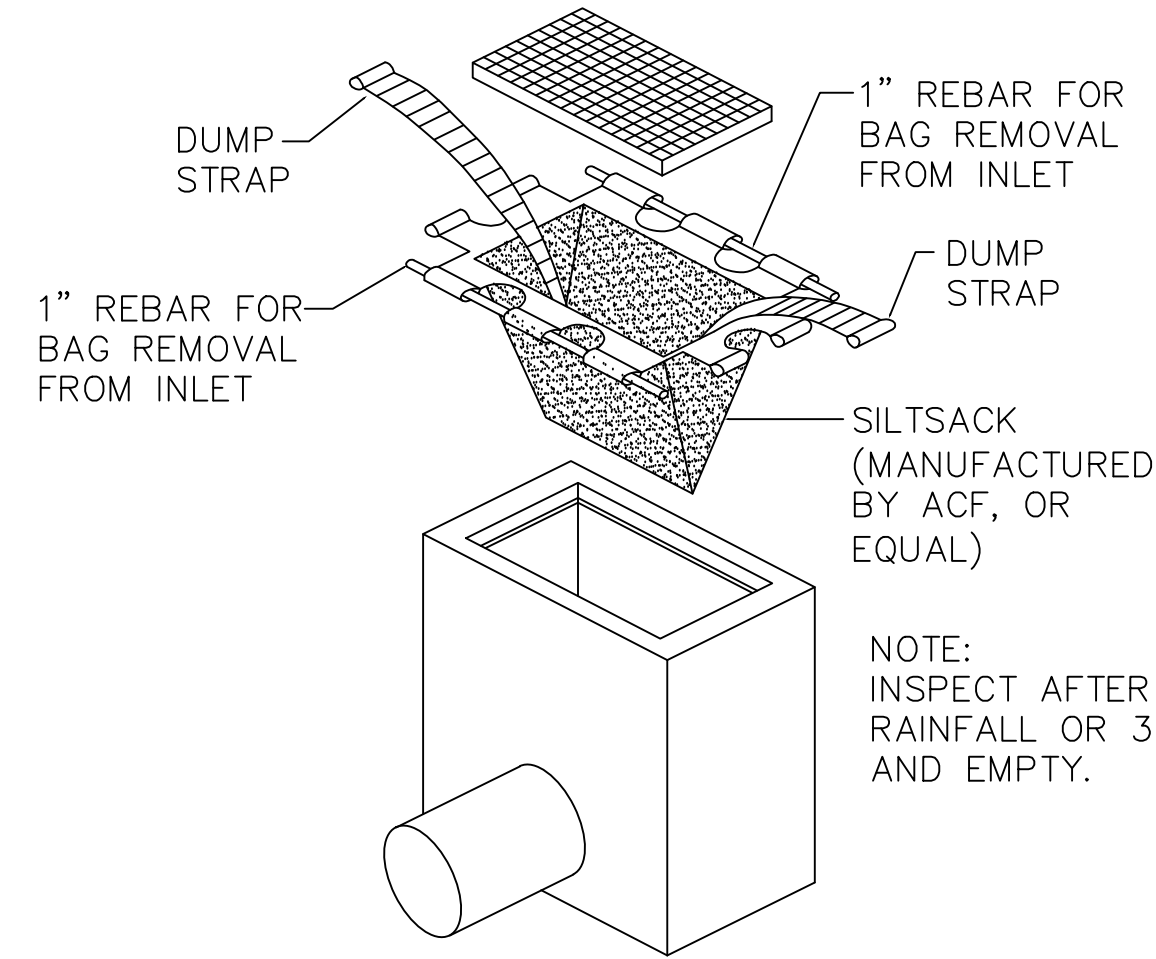
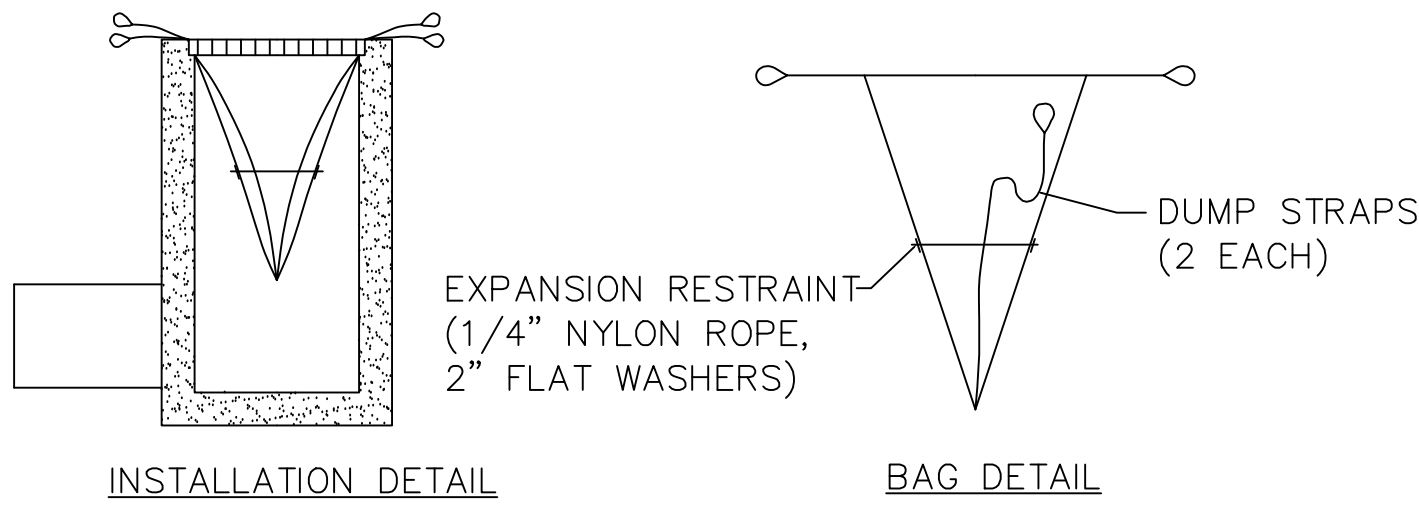
DRAWING NO.:
C3.0



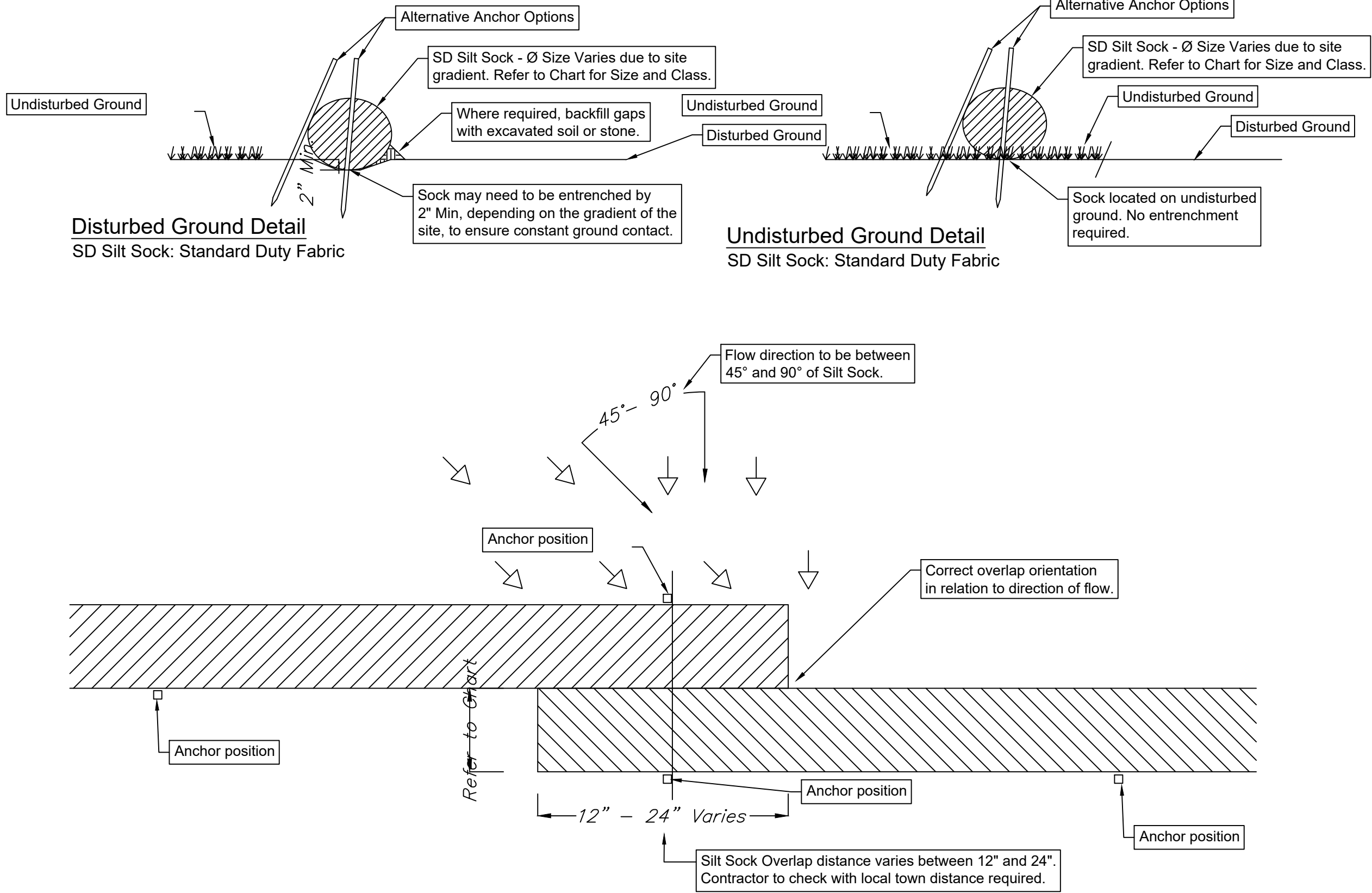
STABILIZED CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

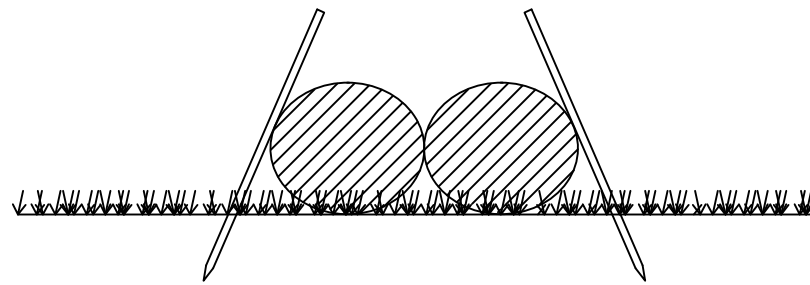


SILT SACK DETAIL
N.T.S.



Overlap Detail - PLAN

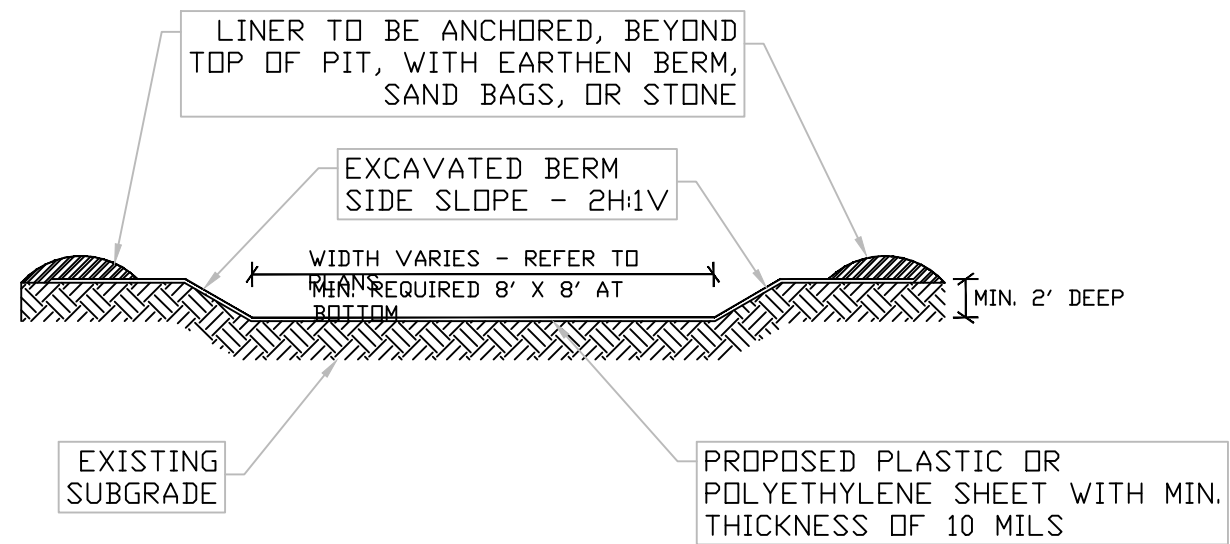
- 1) Anchors required at the overlap section are to stay outside the Silt Sock and not pierce through the material. See alternative anchor positons in details above.



Anchor at Overlaped Ends - SECTION

SD SILT SOCK DETAIL

SD Silt Sock: Standard Duty Fabric



TYPICAL CONCRETE WASH OUT DETAIL

NOTES:
1. CONSTRUCT TO 2016 NYSDEC BLUE BOOK DESIGN CRITERIA

Notes:

- 1 - Do not use sock below the normal watermark or perpendicular to flow in river and where the maximum incline is greater than 50%.
- 2 - Contractors should be aware of federal, state and local laws, rules regulations or permit requirements for the use of Silt Socks on site.
- 3 - Sock should be positioned on the outline of the area to be protected, but must be installed between 45° to 90° from directions of flow.
- 4 - Sock may be required to be entrenched a minimum of 2" on disturbed ground to ensure constant ground contact.
- 5 - All gaps and ruts must be backfilled with soil or sock material.
- 6 - Sock overlap should be in the direction of the flow. Overlap amount will be between 12" and 24". Contractor to check with local town for requirements.
- 7 - If sediment collects to 1/2 the height of the sock, then a second sock may be stacked immediately up slope of the original instead of removing the sediment.
- 8 - Sock joint is where two sock sections meet on a level grade, overlap and adjoining ends, tightening the ends together, and anchoring through each end. Where two sections meet on un-level ground, j-hook higher elevated end, anchor, and begin new section just below. Back fill any gaps.
- 9 - Sock should be inspected and repaired as needed.
- 10 - If ruts begin under the sock they should be backfilled with soil and compacted so that the ground and sock have continuous contact.
- 11 - If sock rolls out of place, the sock should be repositioned and secured with additional anchors.
- 12 - Tears in the Sock fabric may be repaired by wrapping a new piece of fabric over the sock and securing, or by place a second sock immediately up slope with the required overlap beyond deformation.
- 13 - A section of sock should be replaced whenever it has weakened to such an extent that the efficiency is reduced or diminished. Weakening can occur because the natural mesh fabric breaks down over time of from being moved/dragged on site.
- 14 - Sock should be replaced when sediment has built up and has been removed three times.
- 15 - All sediment in disturbed area next to sock must be removed and correctly disposed of before the sock can be removed.
- 16 - When removing, cut sock open and spread the filler material around. The netting should be removed from site.
- 17 - Sock should be installed before works commence on site.

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

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#5202

AREA:
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Amherst, NY 14226

PROPOSED RETAIL

CONSULTANT

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ARCHITECT
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DEVELOPMENT**
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:

Demolition
and Erosion
Control Details

SCALE:

NTS

DRAWN BY:

DMZ

CHECKED BY:

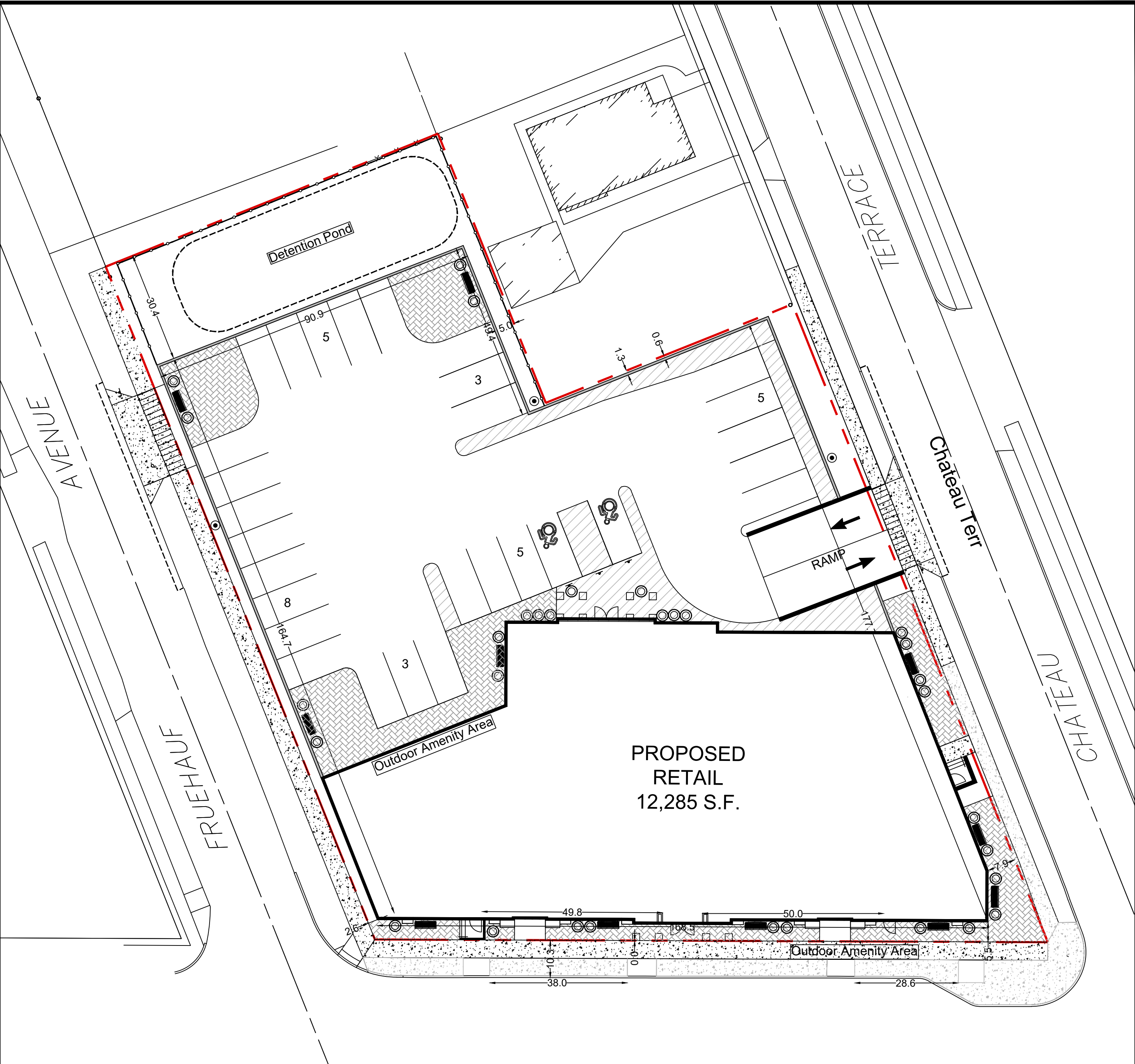
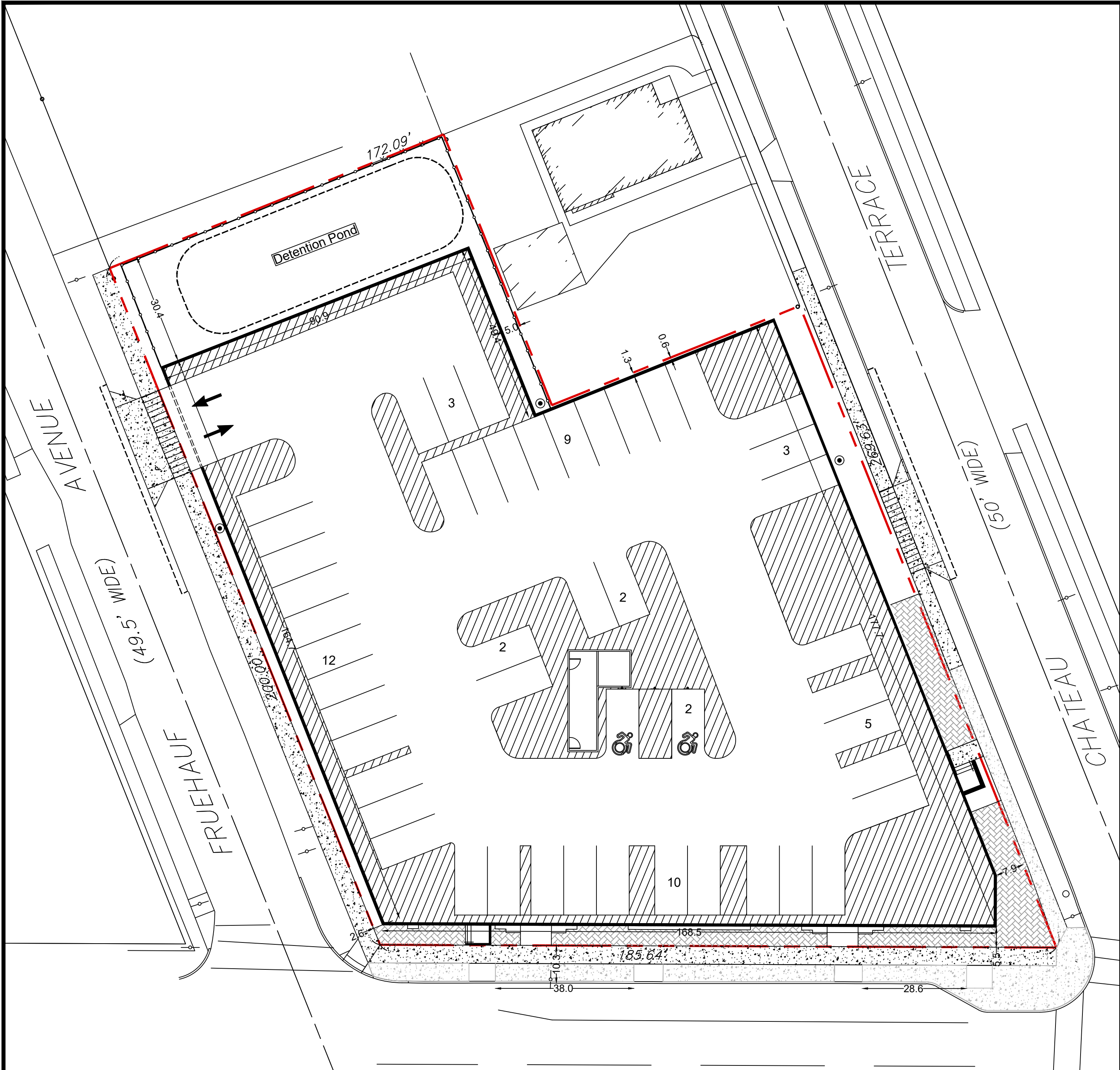
MAO

DATE:

04.16.2025

DRAWING NO.

C3.1



Basement Level

Ground Level

TOWN OF AMHERST, NY ZONING ANALYSIS		
	REQUIRED	PROVIDED
ZONED	TI-2.5 (Village Frontage)	TI-2.5 (Village Frontage)
5A-1-3: TI-2.5 Traditional Infill 2.5 Section		
LOT		
Area	0 S.F. min.	34,542 S.F.
Width	0' min.	170.7'
Outdoor Amenity Space	10% min. = 3,454 S.F.	3,560 S.F. = 10.3%
BUILDING SETBACKS		
Building-to-zone	Refer to Section 5A-2 Infill Frontages	
Lot Frontage	Refer to Section 5A-2 Infill Frontages	
Common lot line	0' min.	0.6' (North Side)
Alley	5' min.	N/A
PARKING SETBACKS		
Primary and Side Street	Refer to Section 5A-2 Infill Frontages (below)	
Common lot line	0' min.	1.3' (North Side)
Alley	5' min.	N/A
BUILDING HEIGHT		
Top Plate Height	2 Stories / 24' max.	N/A
Building Height	2.5 Stories / 35' max.	35'-0"
Roof Pitch	18:12 max.	18:12
BUILDING LENGTH	Refer to Section 5A-2 Infill Frontages (below)	168.5'
STORY HEIGHT	Refer to Section 5A-2 Infill Frontages (below)	16.5'

5A-2-4: Village Frontage		
BUILDING SETBACKS		
Build-to zone	0' min./10' max.	0.0'
Street Frontage:		
Front: Main Street	90% min.	90.8% (168.5')
PARKING SETBACKS		
Street	20' min.	52.8' (Main Street)
BUILDING MASS		
Street facing building length:		
Front: Main Street	200' max.	168.5'
STORY HEIGHT		
Ground floor elevation	0' min. / 2' max.	0.0'
Ground story height	13' min.	16.5'
Upper story height	9' min.	12.5'
TRANSPARENCY		
Ground story	70% min.	70.1%
Upper story	20% min.	41.0%
Blank wall length	15' max.	4.0'
PEDESTRIAN ACCESS		
Street facing entrance	Required	Complies
Entrance spacing	50' max.	Complies
STREETSCAPE		
Clear pedestrian zone	10' min.	10.3' Total - Existing Condition
Curb zone	6' min.	
Tree planting type	Grates	Complies
Tree spacing	35' on-center avg.	Existing: 33.3' c-c Average

 Proposed Outdoor Amenity Space

PROPOSED PARKING ANALYSIS TI-2.5			
USE	CODE	REQUIRED	PROVIDED
RETAIL	2.5/1000 SF	12,285 sqft / 1000 x 2.5 = 31 SPACES	77 SPACES
STALL SIZE		9'x19'	9'x19'

OFFICIAL TOWN USE ONLY

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CONSTRUCTION SET



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PROPOSED RETAIL

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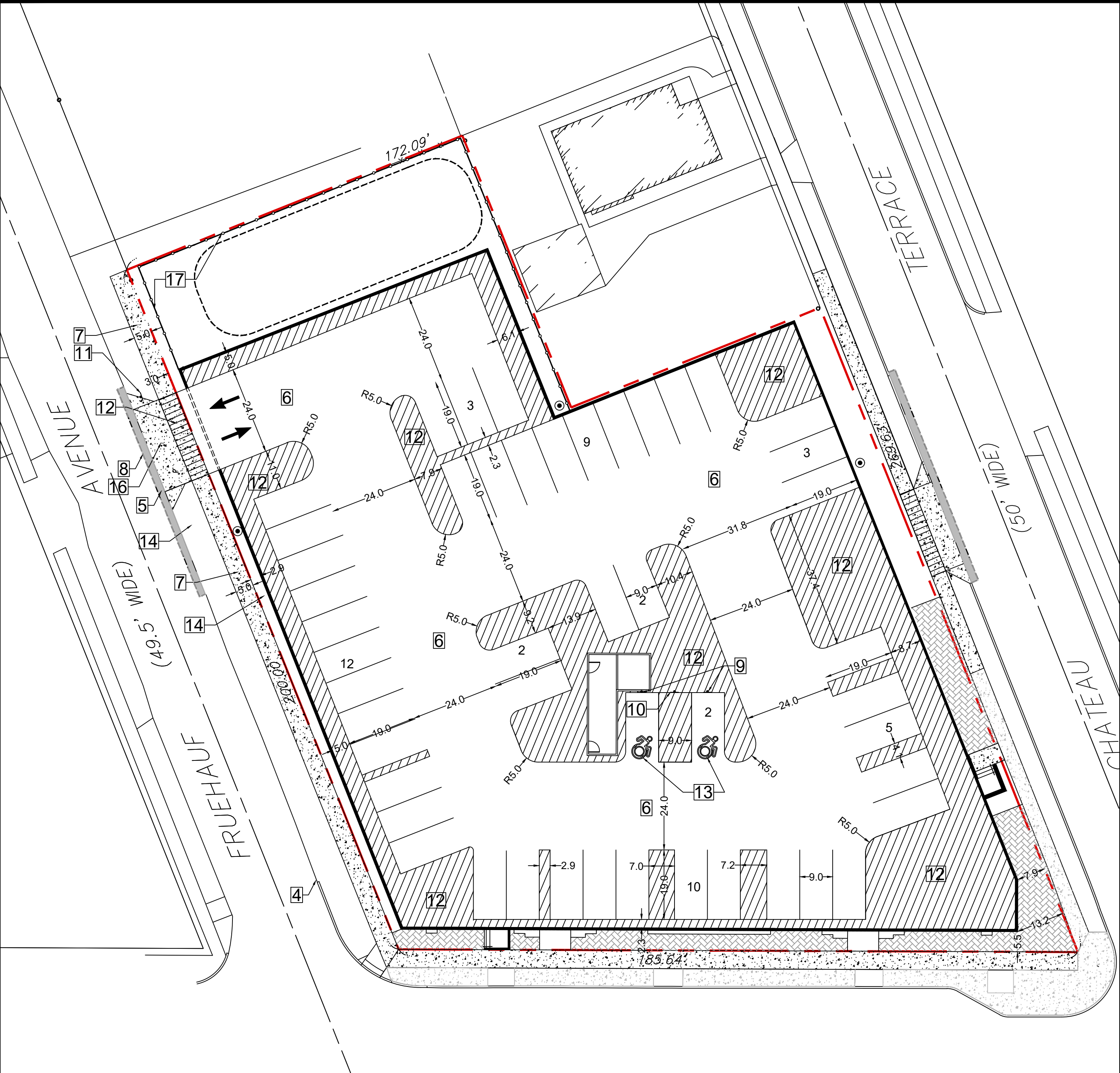
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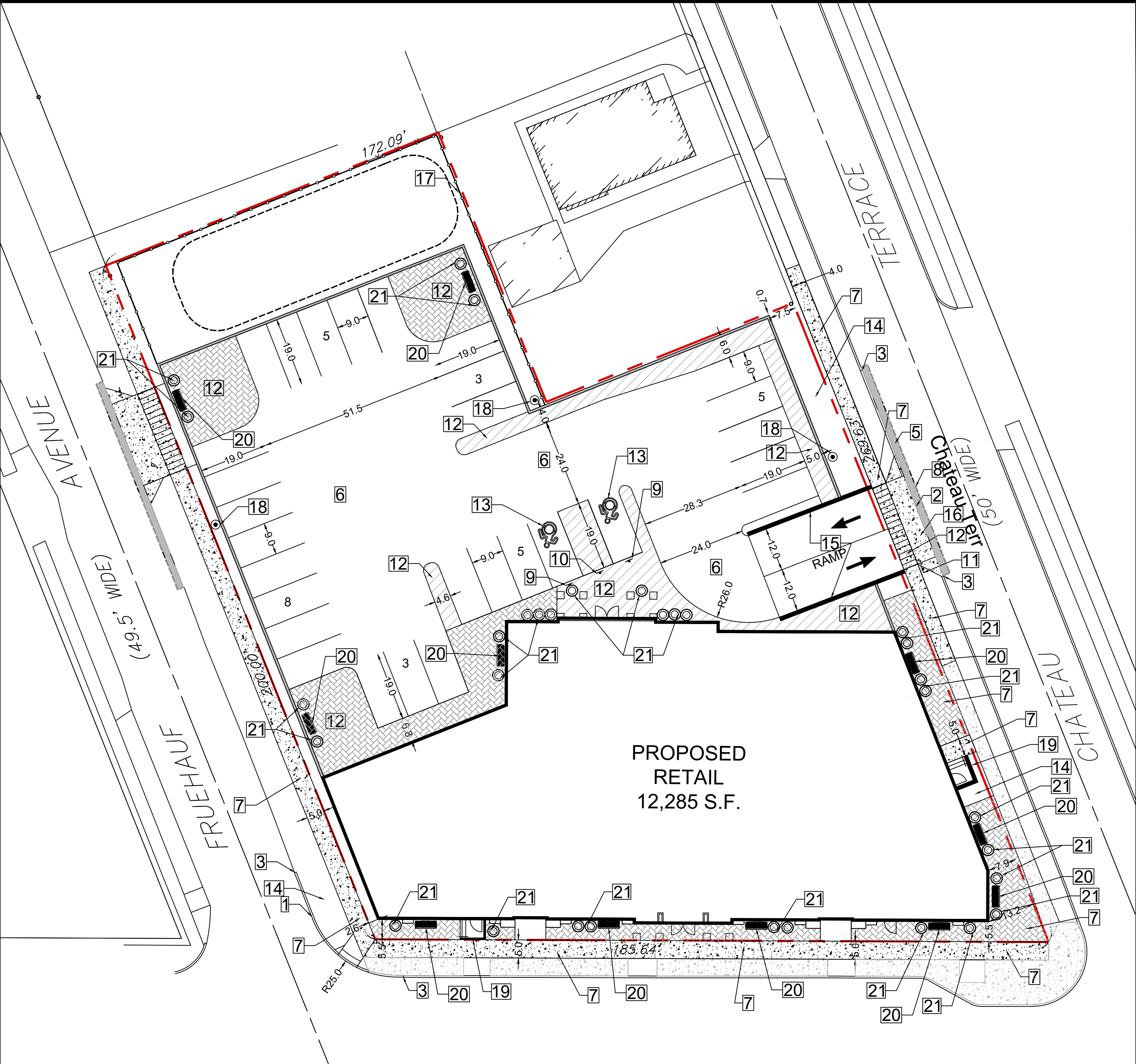
TITLE:
Overall Site Plan

SCALE:
1" = 20'
DRAWN BY:
DMZ
CHECKED BY:
MAO
DATE:
04.16.2025

DRAWING NO.
C4.0



Basement Level



Ground Level

GENERAL NOTES:

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4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
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6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
11. CONCRETE SIDEWALK SEALERS; (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES).
- 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
- 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (x1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APPX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (x1) COAT OF CHEMMASTERS - POLYSEAL EZ.
12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.
14. CONTRACTOR TO PROVIDE NEW PAVEMENT THAT CONFORMS TO THE GRADING PLAN WHILE MAINTAINING, AS A MINIMUM, THE EXISTING STONE BASE. THE MEANS AND METHODS OF OBTAINING NEW GRADES IS LEFT UP TO THE CONTRACTOR AND CAN BE OBTAINED VIA SHIMMING THE PAVEMENT AND THEN A NEW TOP COAT, REMOVING EXISTING ASPHALT PAVEMENT AND REGRADING EXISTING STONE BASE, A COMBINATION OF THESE TWO OR ANOTHER METHOD OF THE CONTRACTORS CHOOSING. FINAL PAVEMENT WORK PLAN SHALL BE PROVIDED TO OWNER AND ENGINEER FOR REVIEW AND APPROVAL.

SITE LEGEND:

- Property line
- 6" Curb (typ.)
- Proposed sign & pole
- Proposed Concrete Sidewalk
- Existing Concrete Sidewalk
- *All Parking Surfaces within building footprint shall be concrete. Refer to Structural Drawings
- Proposed Asphalt Pavement
- Proposed Outdoor Amenity Space

* Refer to General Notes, Construction Details and Architectural Plans for Concrete Sealer information.

- SITE NOTES:**
1. Proposed 6" concrete Curb.
 2. Proposed Flush Concrete Curb.
 3. Match into Existing Curb or runoff over 2'.
 4. Proposed Edge of Pavement.
 5. Proposed Standard Duty Pavement.
 6. Proposed Concrete Deck / Pavement. Refer to Structural Drawings
 7. Proposed Concrete Sidewalk.
 8. Match into Existing Pavement.
 9. Proposed "Handicapped Parking Only" sign.
 10. Proposed "No Parking" sign.
 11. Proposed STOP Sign.
 12. 4" Yellow Pavement Stripe (at 2' c-c in no parking zones).
 13. Proposed White Pavement symbol (stop bar, directional arrows, accessibility symbol, text)
 14. Proposed Landscape Area.
 15. Proposed Ramp Retaining Wall (Refer to Structural Plans)
 16. Proposed Concrete Driveway.
 17. Proposed Board on Board Fence
 18. Proposed Light Pole base.
 19. Proposed Stairs with retaining wall.
 20. Proposed Pedestrian Bench
 21. Proposed Circular Landscape Planter

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SEAL



TITLE: **Detailed Site Plan**

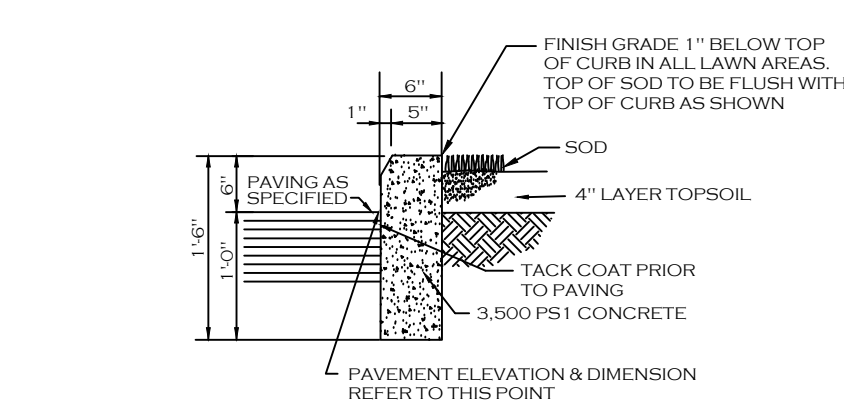
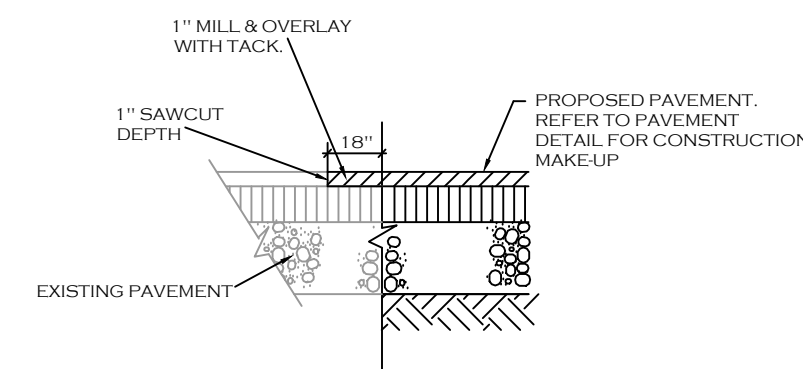
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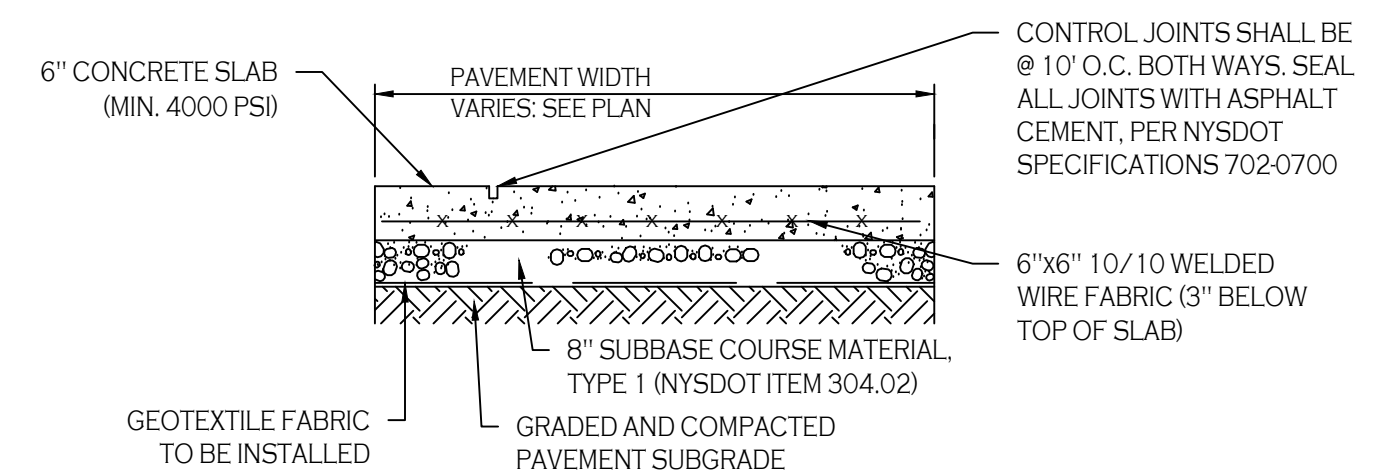
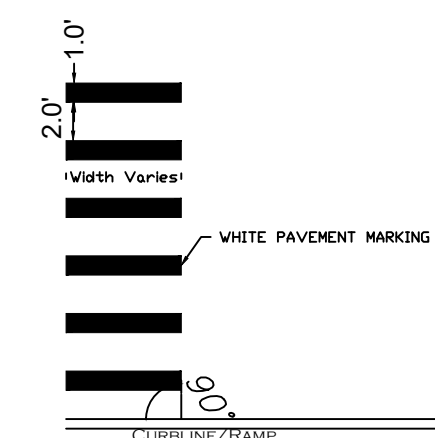
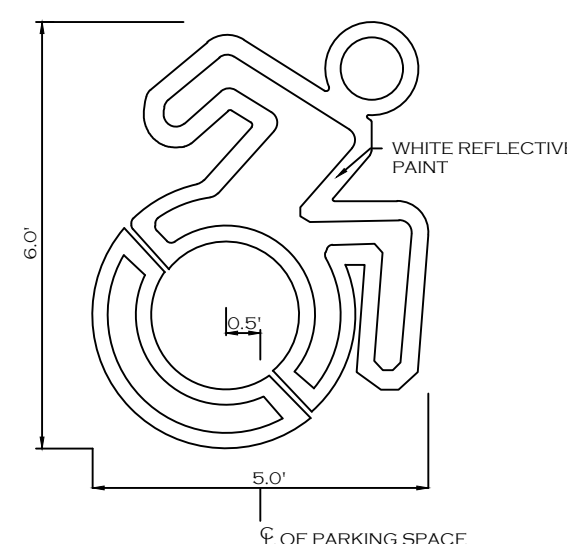
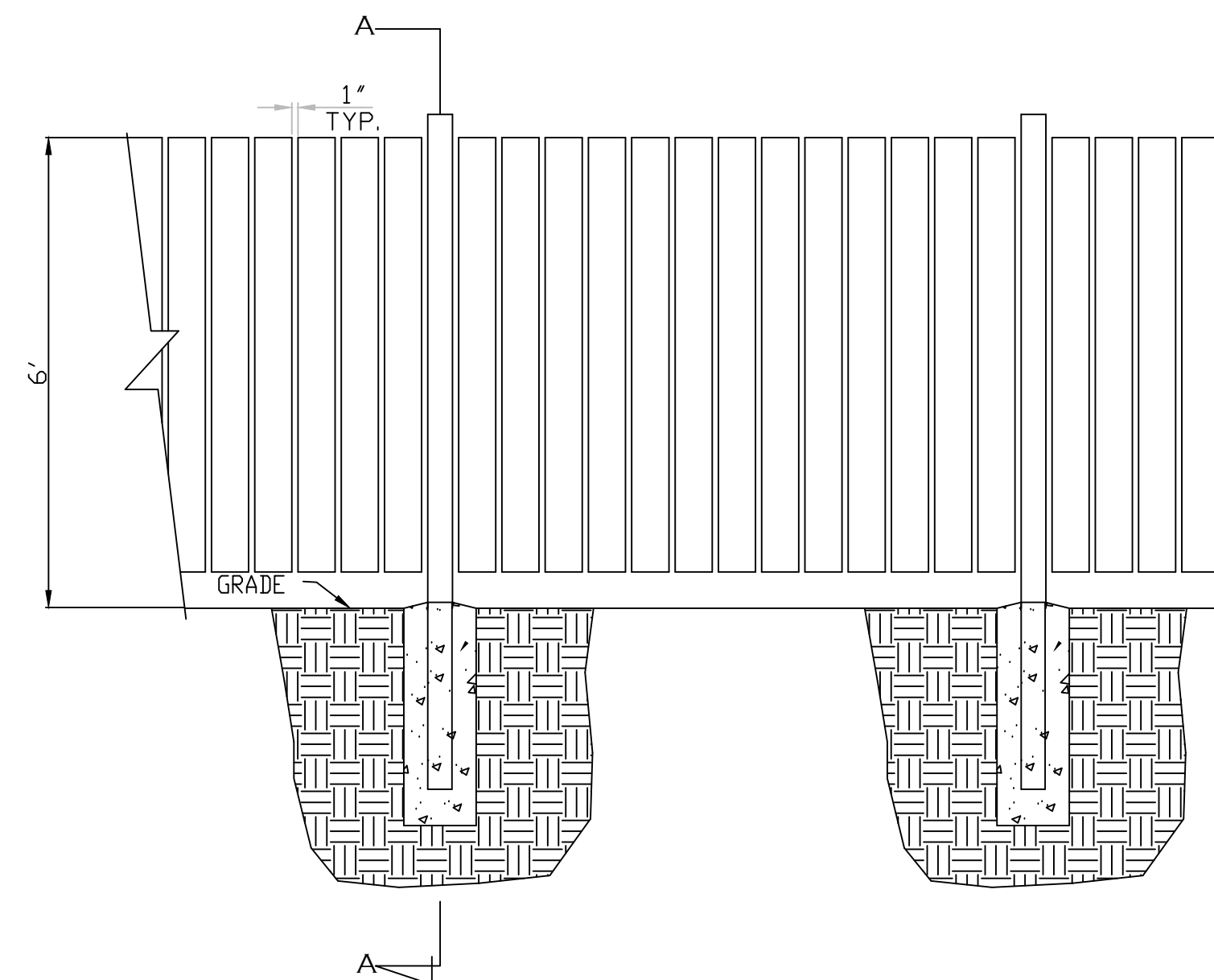
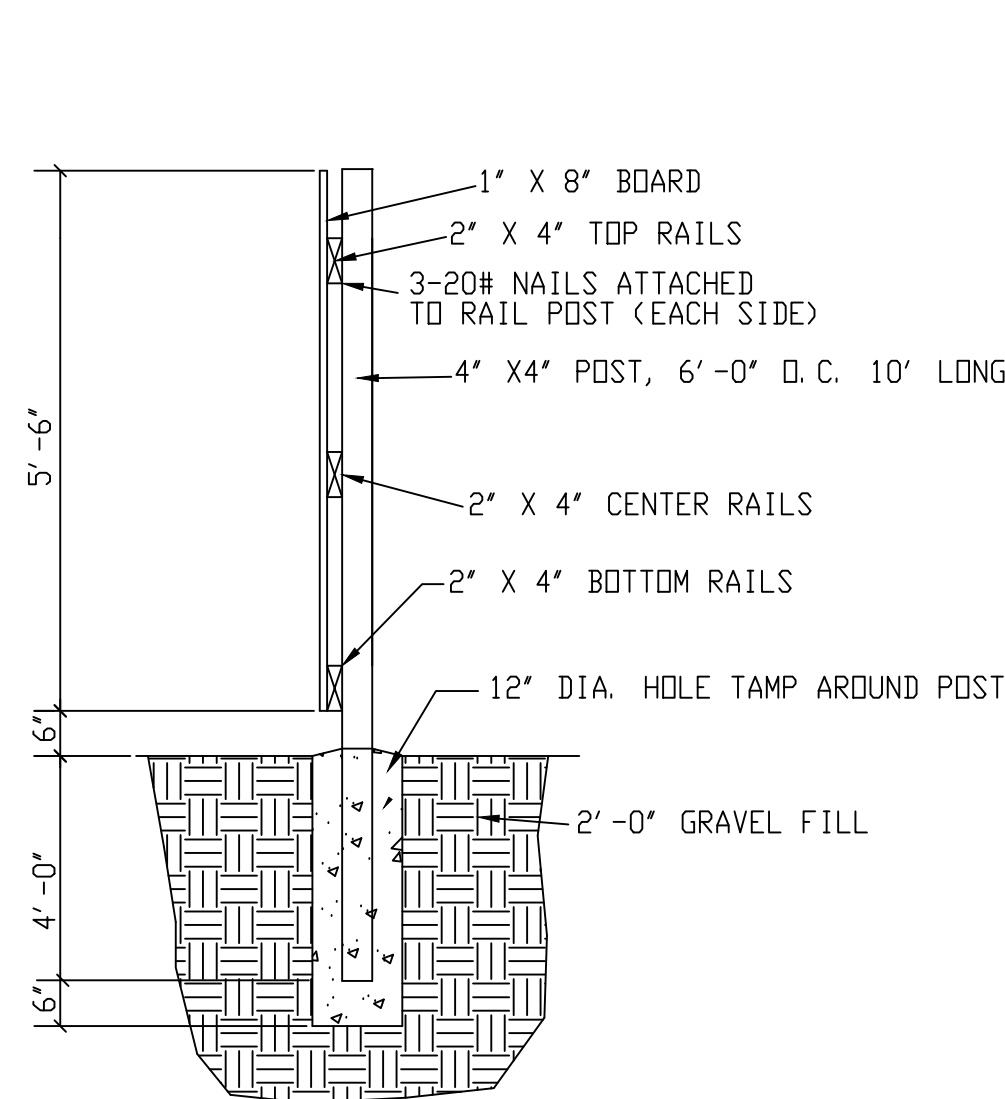
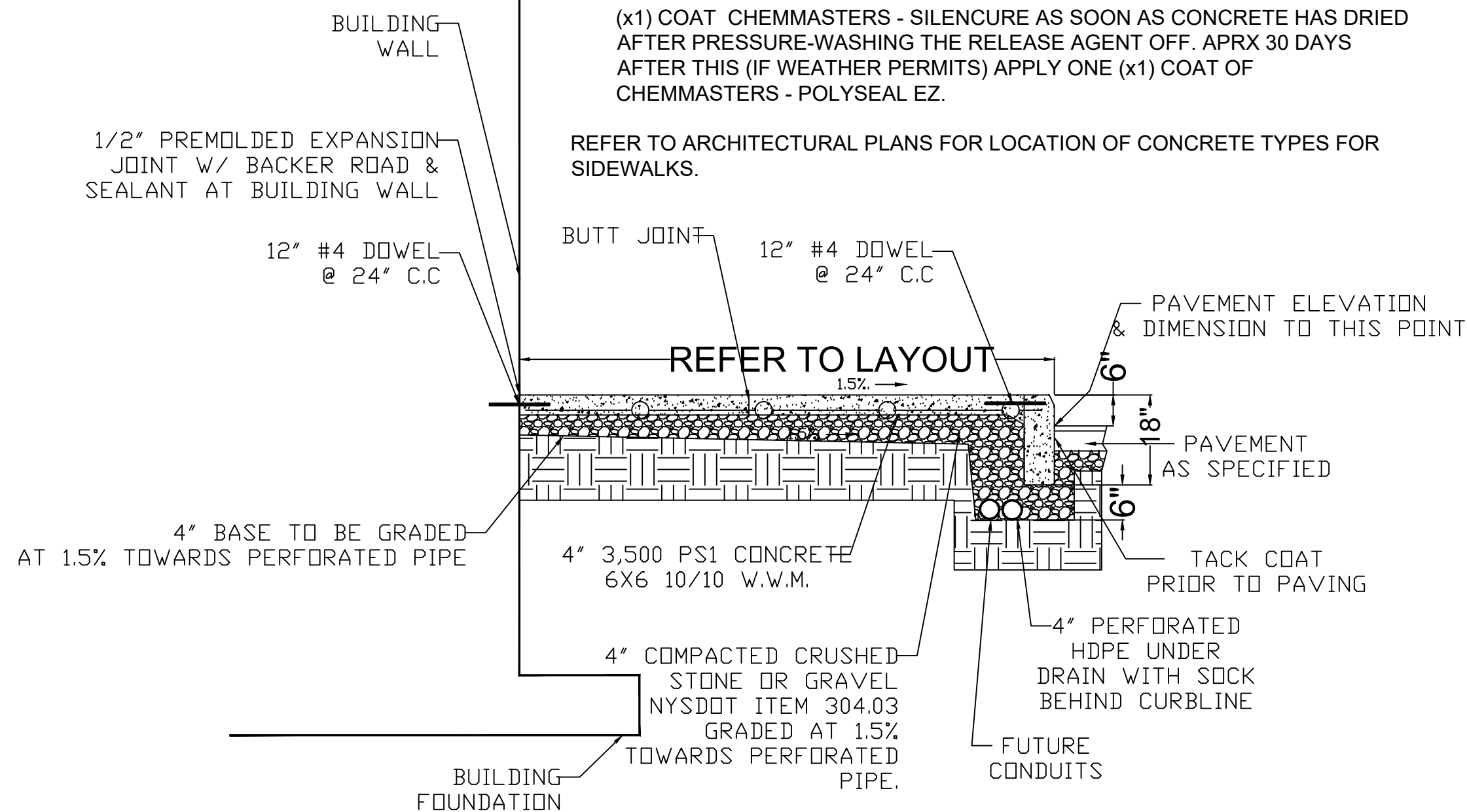
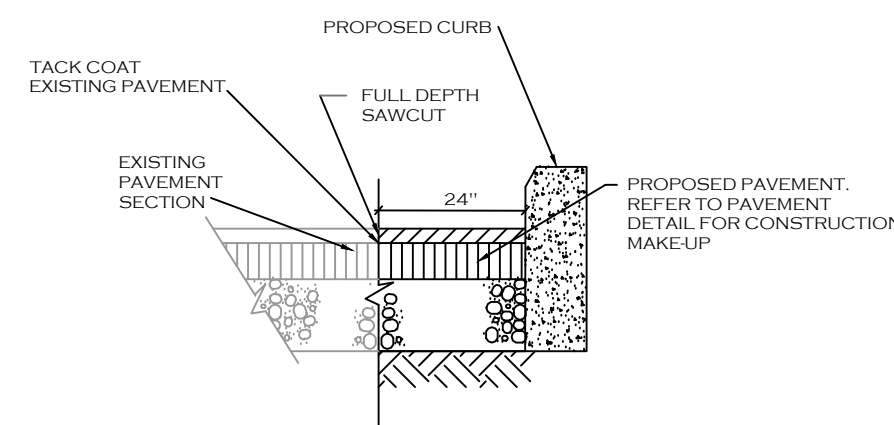
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DATE: 04.16.2025

DRAWING NO. **C4.1**



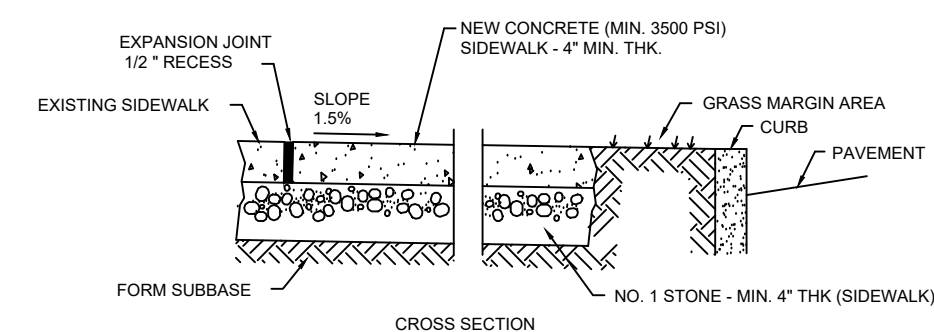
NOTE: CONTROL JOINTS TO BE 2" DEEP AT 15'-0"
O.C. BOTHWAYS - SEE SPECIFICATIONS
FOR FURTHER JOINT REQUIREMENTS NYS DOT
702-0700



— CONTROL JOINTS SHALL BE @ 10' O.C. BOTH WAYS. SEAL ALL JOINTS WITH ASPHALT CEMENT, PER NYSDOT SPECIFICATIONS 702-0700

NOTES:

1. CONCRETE PAVEMENT MATERIAL SHALL CONFORM TO NYSDOT STANDARD SPECIFICATIONS 501 & CONSTRUCTION METHODS SHALL CONFORM TO NYSDOT STANDARD SPECIFICATION 502.3.
2. PROPOSED CONCRETE FINISH SHALL BE: BROOM FINISH.
3. ALL JOINTS MUST BE CUT WITHIN 24 HOURS OF POURING CONCRETE IF CONTRACTOR ELECTS TO SAW-CUT THE CONTROL JOINTS.



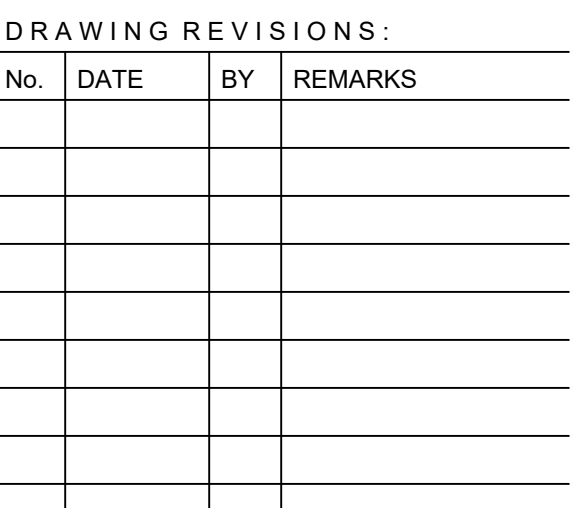
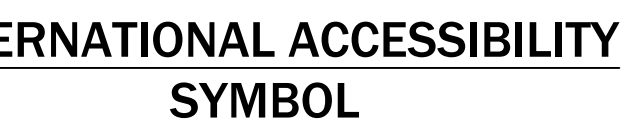
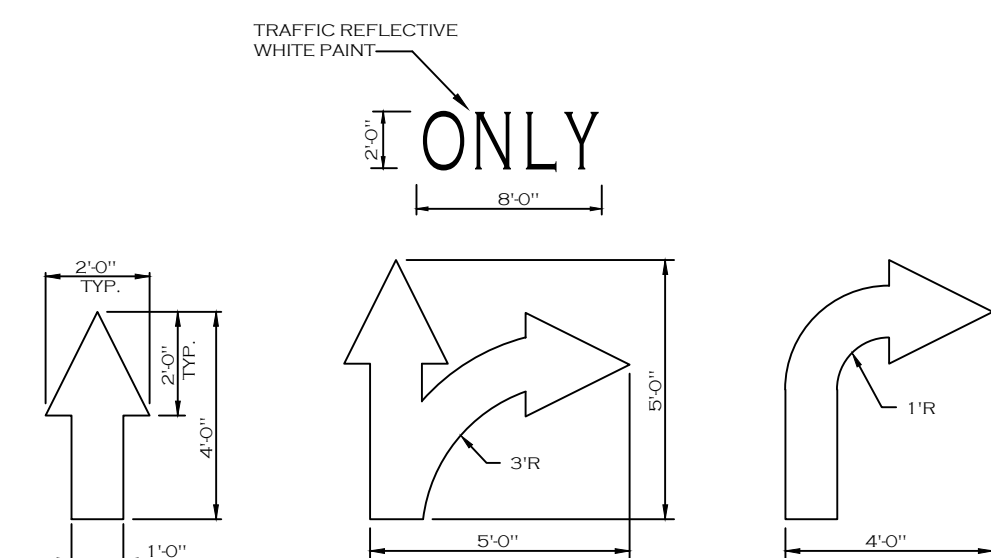
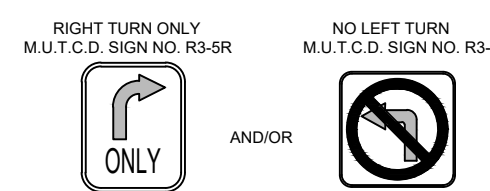
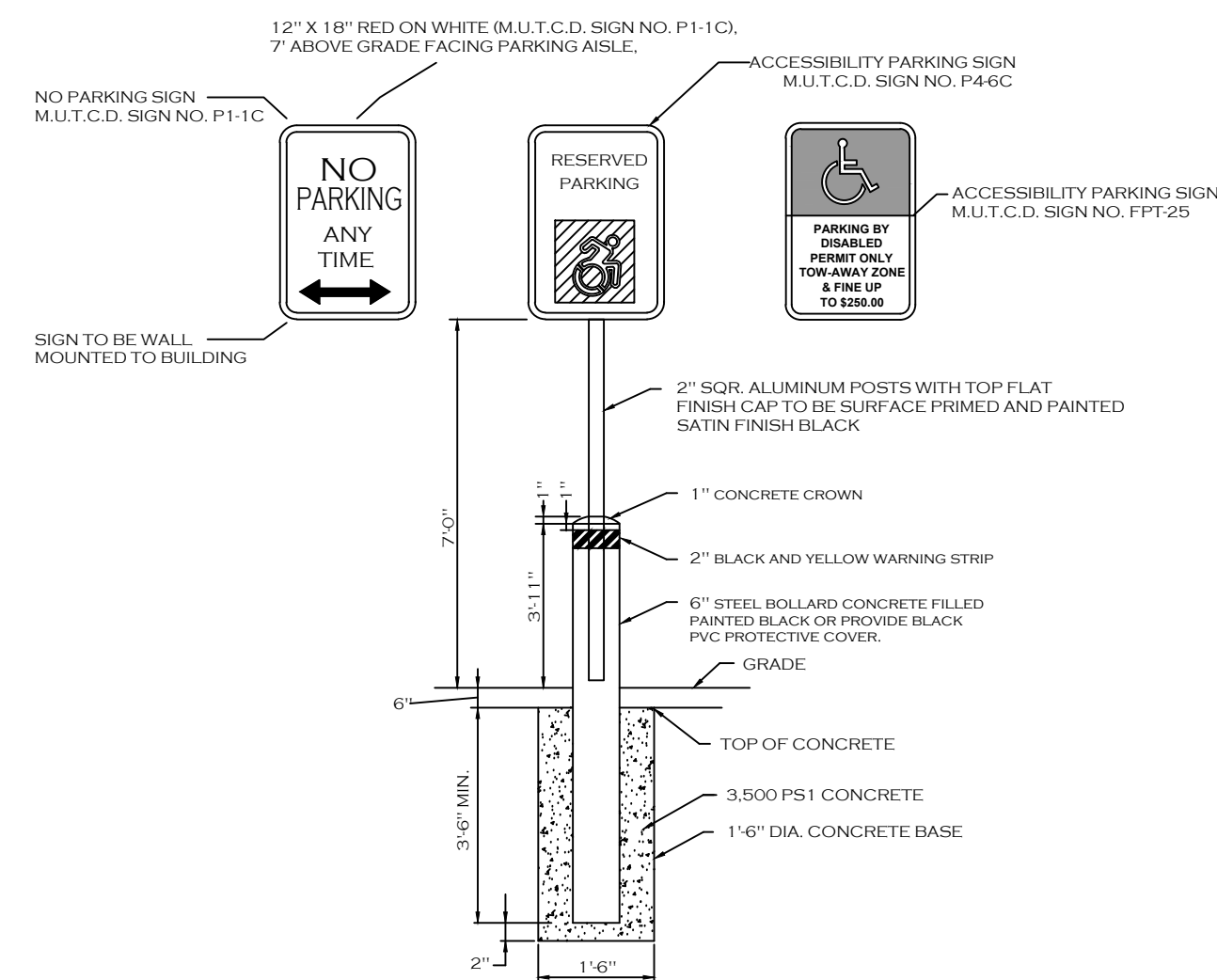
NOTES:
1. CONTROL JOINTS TO BE AT 5' MAX. BOTHWAYS. SEE SPECIFICATIONS.

1. CONTROL JOINTS TO BE AT 5'-0" O.C. BOTHWAYS - SEE SPECIFICATIONS FOR FURTHER JOINT REQUIREMENTS NYSDOT 702-0700.
2. CONCRETE SIDEWALK MATERIAL SHALL CONFORM TO NYSDOT STANDARD SPECIFICATION 501 AND CONSTRUCTION METHODS SHALL CONFORM TO NYSDOT STANDARD SPECIFICATION 608-3.

CONCRETE SIDEWALK SEALERS:

1. CONCRETE SIDEWALK SEALERS: (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES.)
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REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES FOR SIDEWALKS.



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SEAL



TITLE:

Construction Details

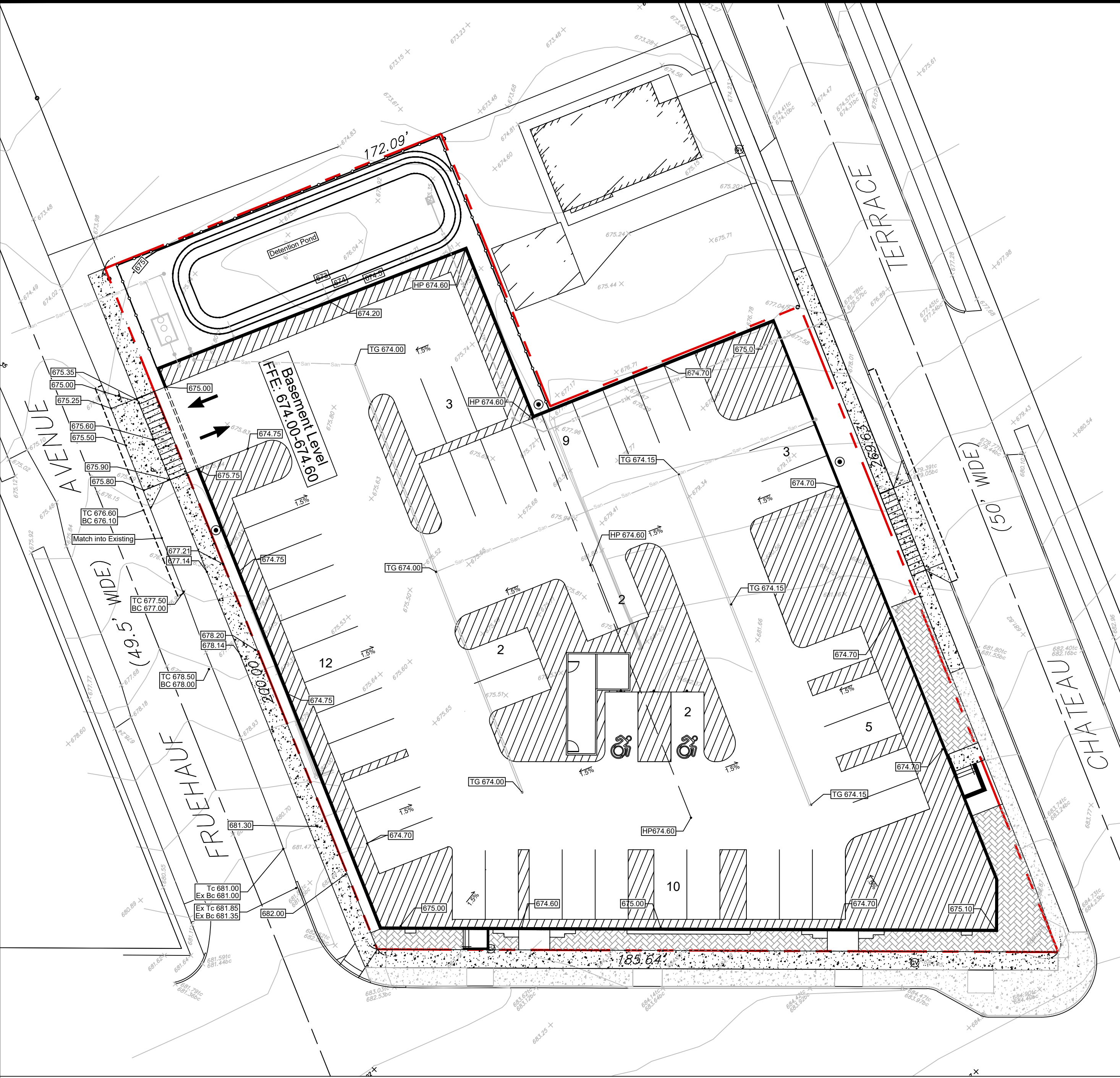
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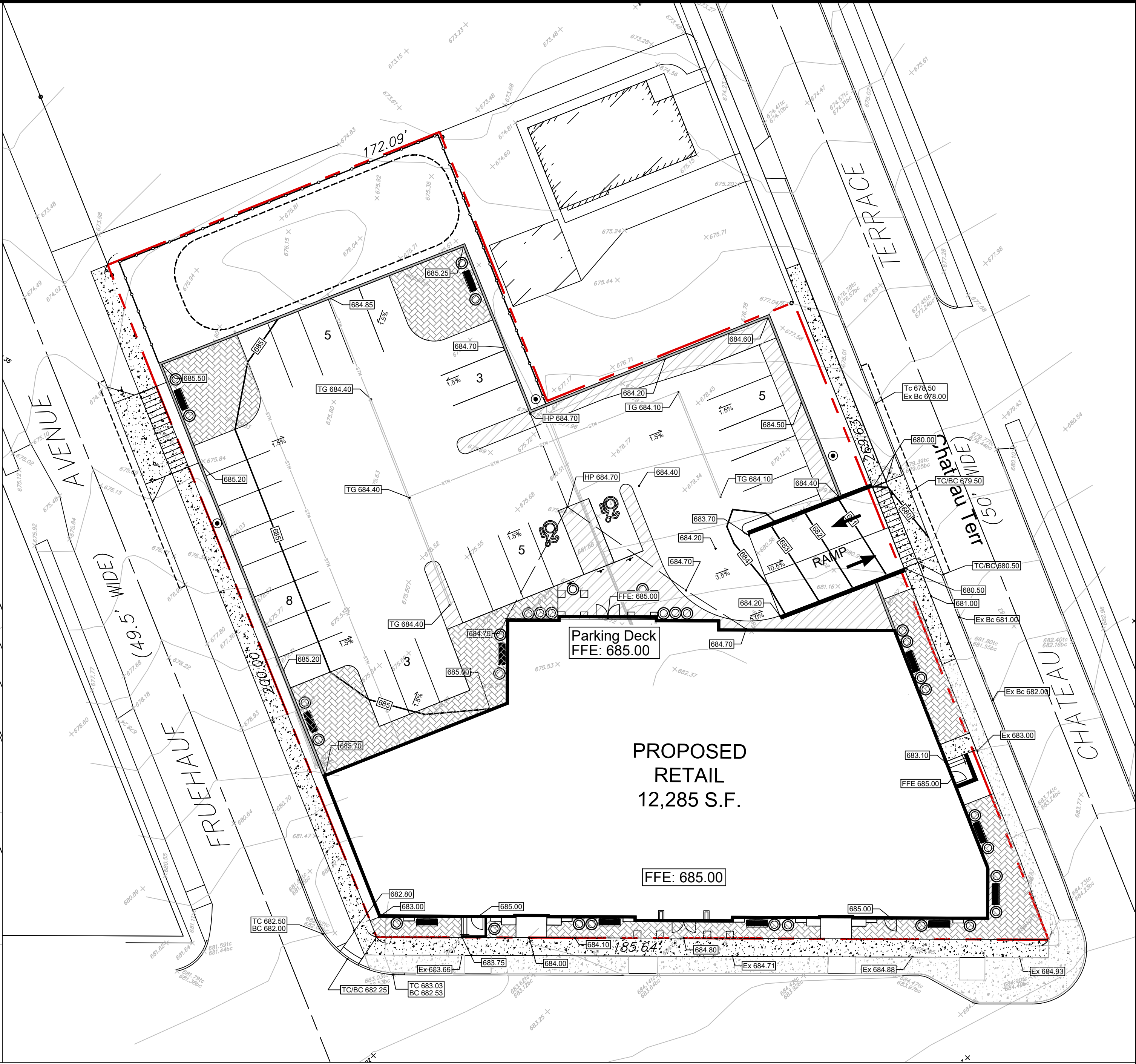
CHECKED BY:

MAO

C4.2



Basement Level



Ground Level

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 9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
 10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
 11. CONCRETE SIDEWALK SEALERS; (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES).
 - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
 - 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (x1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APRX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (x1) COAT OF CHEMMASTERS - POLYSEAL EZ.
 12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
 13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.
 14. CONTRACTOR TO PROVIDE NEW PAVEMENT THAT CONFORMS TO THE GRADING PLAN WHILE MAINTAINING, AS A MINIMUM, THE EXISTING STONE BASE. THE MEANS AND METHODS OF OBTAINING NEW GRADES IS LEFT UP TO THE CONTRACTOR AND CAN BE OBTAINED VIA SHIMMING THE PAVEMENT AND THEN A NEW TOP COAT, REMOVING EXISTING ASPHALT PAVEMENT AND REGRADING EXISTING STONE BASE, A COMBINATION OF THESE TWO OR ANOTHER METHOD OF THE CONTRACTORS CHOOSING. FINAL PAVEMENT WORK PLAN SHALL BE PROVIDED TO OWNER AND ENGINEER FOR REVIEW AND APPROVAL.

GRADING LEGEND:

- Property Line
- 6" Curb (typ.)
- Catch Basin - Top of Grade
- Proposed Contour Line
- Slope Direction

HOLD CRITICAL SLOPE - FINISHED FLOOR ELEVATION MUST BE VERIFIED AT EACH ENTRY DOOR PRIOR TO SETTING OF CONCRETE CURB FORMS TO VERIFY THAT SIDEWALK SLOPE DOES NOT EXCEED 1.5%.

DRAWING REVISIONS:				
No.	DATE	BY	REMARKS	

SPECIAL INFORMATION:

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SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE

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CONSTRUCTION SET



PROPERTY NUMBER: #5202

AREA:

Main St - Snyder
4548-4564 Main St.
Amherst, NY 14226

PROPOSED RETAIL

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
BENDERSON DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE: Grading Plan

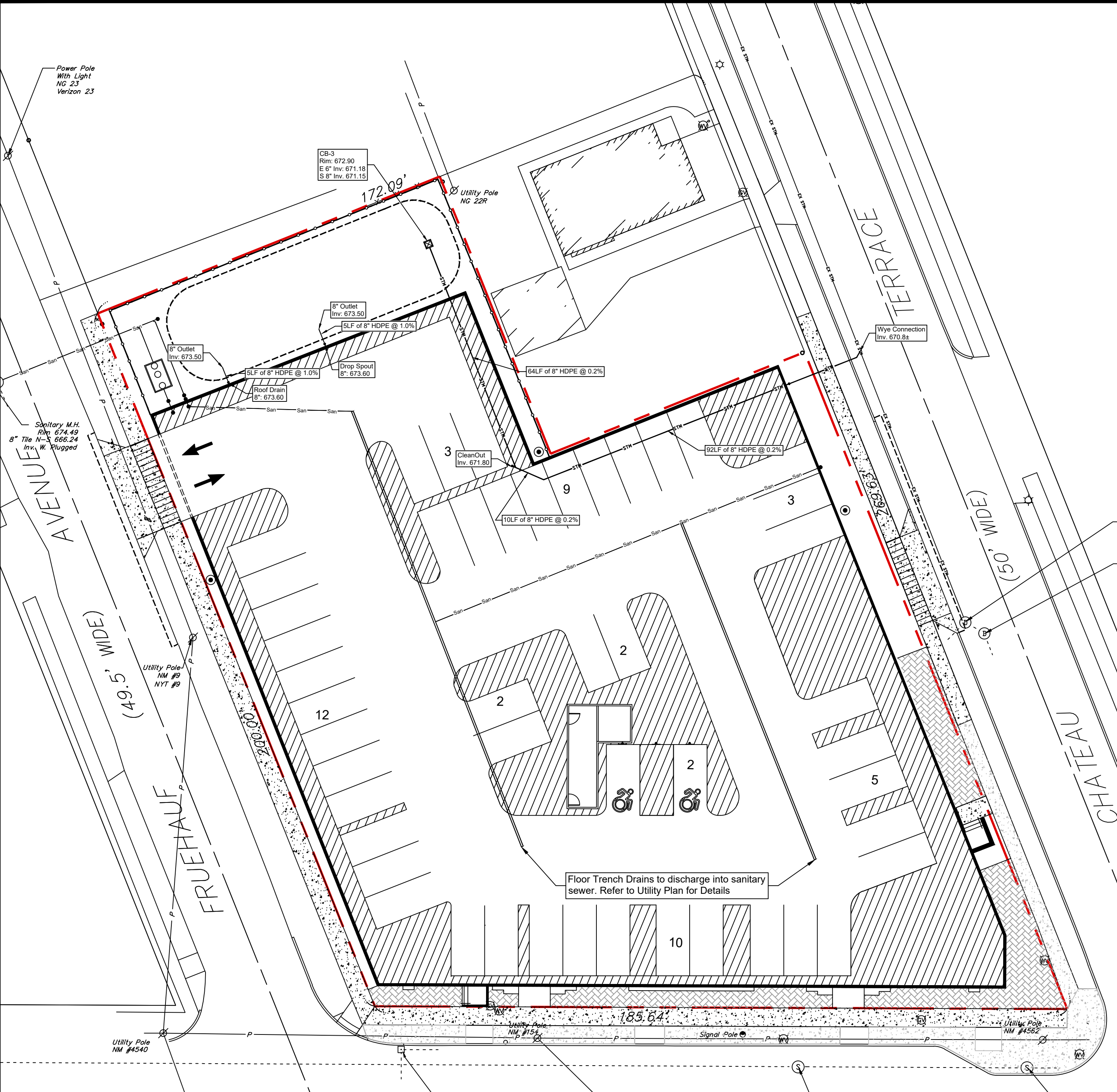
SCALE: 1" = 20'

DRAWN BY: DMZ

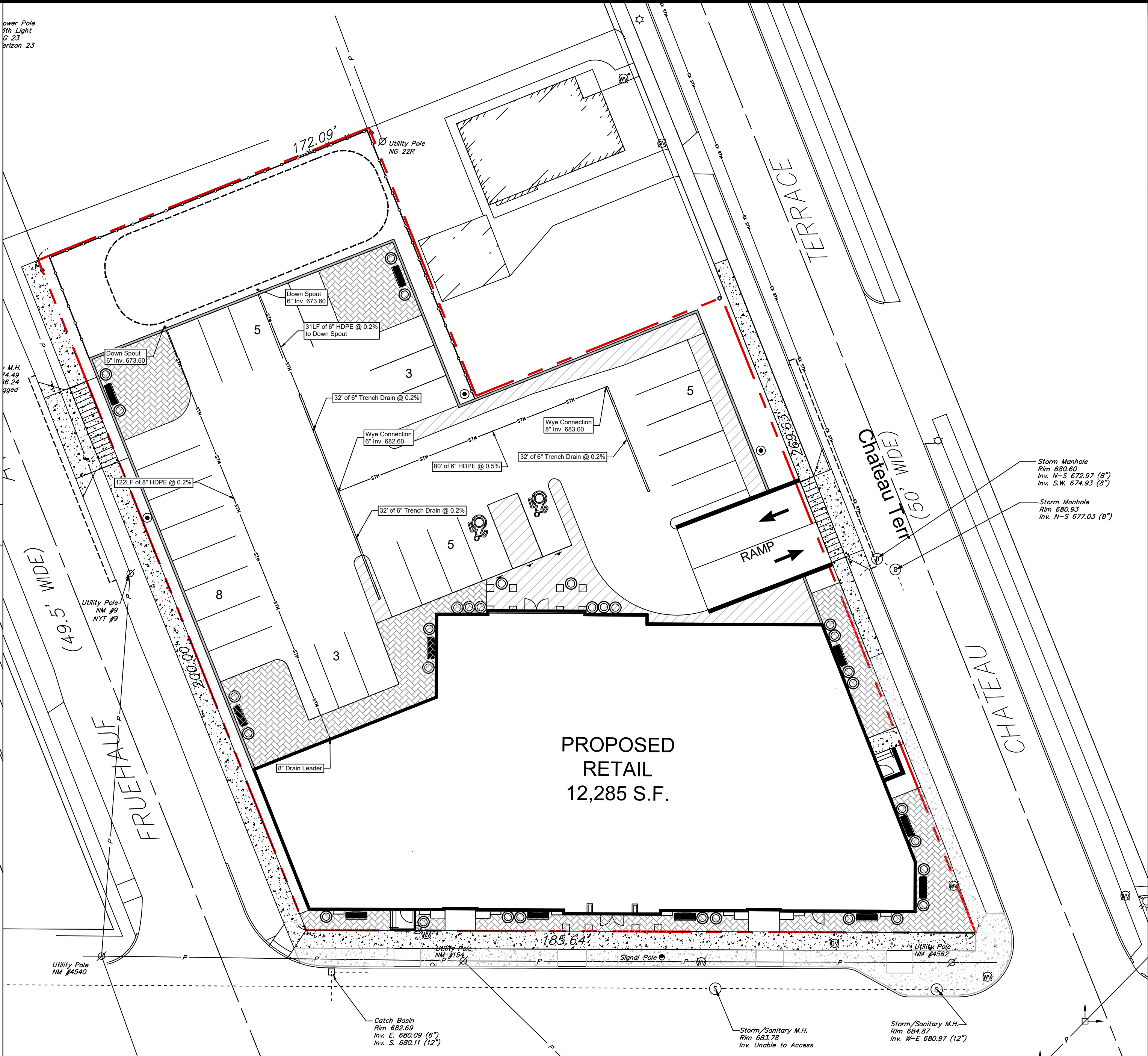
CHECKED BY: MAO

DATE: 04.16.2025

DRAWING NO. C5.0



Basement Level



Ground Level

- GENERAL NOTES:
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
 2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
 3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
 4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
 6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
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DRAINAGE LEGEND:

- PROPERTY LINE
- PROPOSED STORMWATER
- 6" CURB TYP.
- CO / WC PROPOSED STORM CLEAN OUT / WYE CONNECTION
- CB - # PROPOSED CATCH BASIN

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

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CONSTRUCTION SET



PROPERTY NUMBER: #5202 AREA: -

Main St - Snyder
4548-4564 Main St.
Amherst, NY 14226

PROPOSED RETAIL

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

BENDERSON DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL

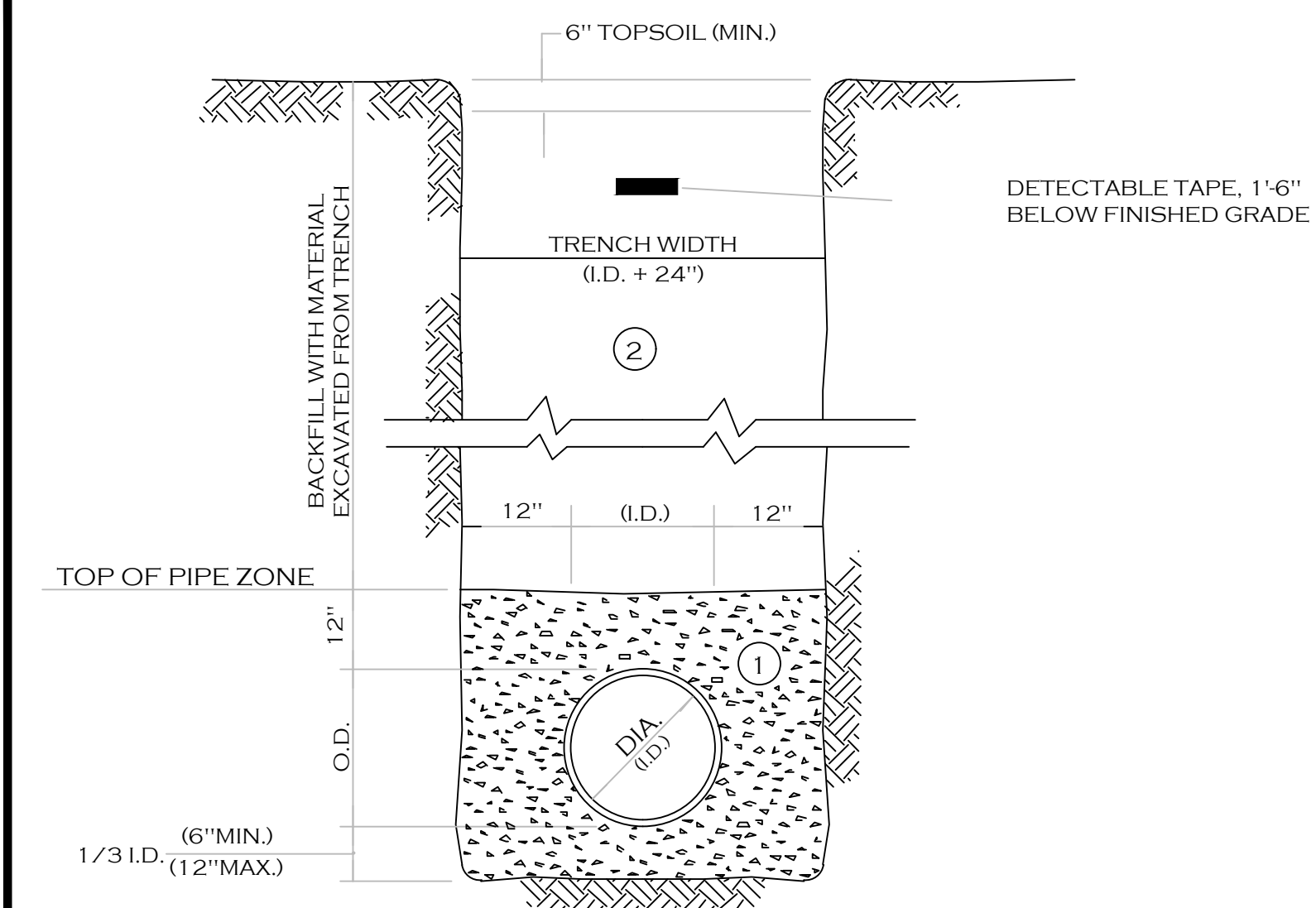


TITLE: **Drainage Plan**

SCALE: 1" = 20'

DRAWN BY: DMZ
CHECKED BY: MAO
DATE: 04.16.2025

DRAWING NO. **C5.1**

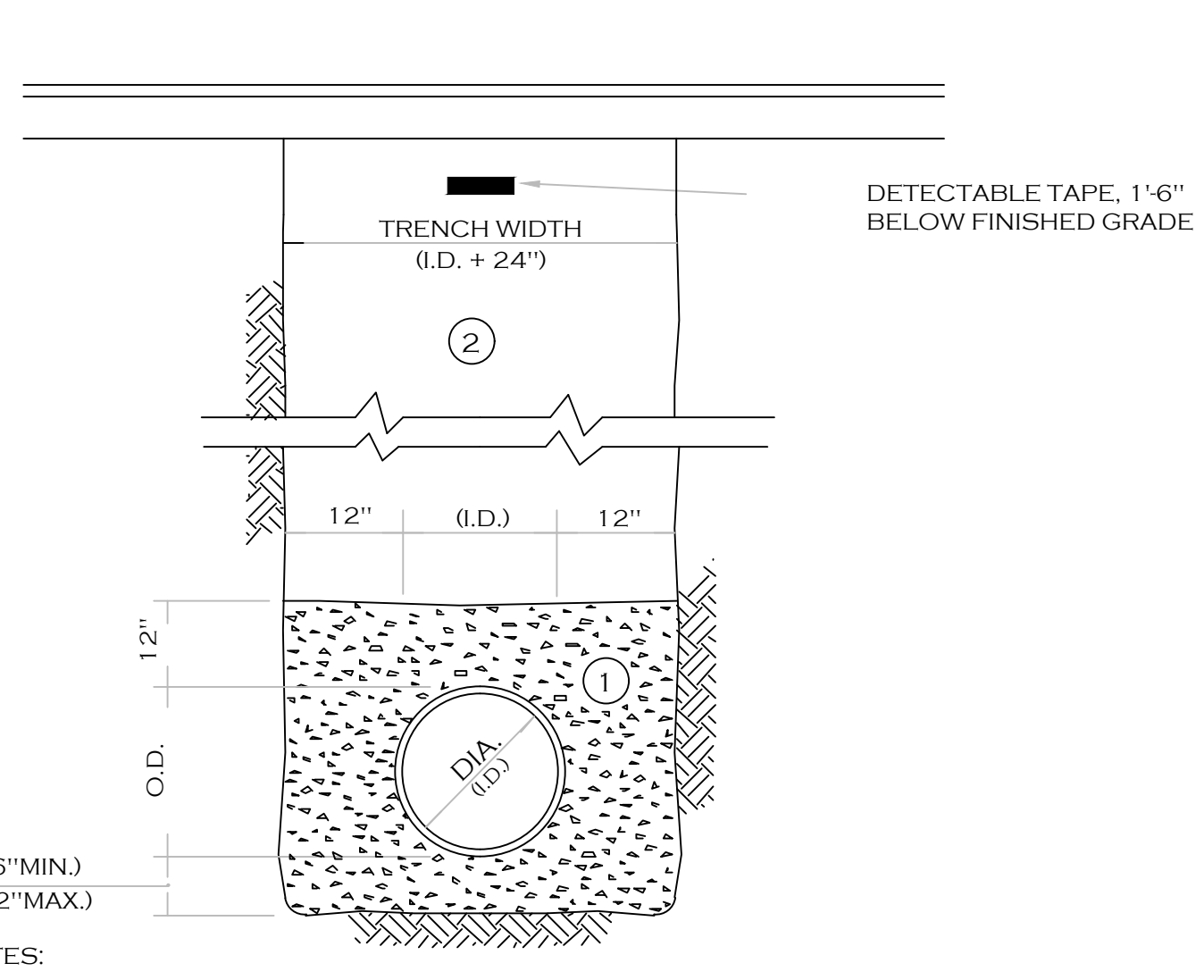


- NOTES:
- A. PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 - B. TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
 - C. TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
 - D. AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS.

MATERIALS

- PIPE BEDDING MATERIAL (NYS DOT 1985 EDITION)
- 1 NO. 1 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYSDOT SECTION 703.02. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
 - NO SLAG SHALL BE ALLOWED FOR MATERIAL 1
 - 2 BACKFILL MATERIAL SHALL BE NATIVE SOIL CONTAINING NO UNSUITABLE MATERIAL COMPACTED IN 6" LIFTS.

TRENCH SECTION IN UNPAVED AREAS

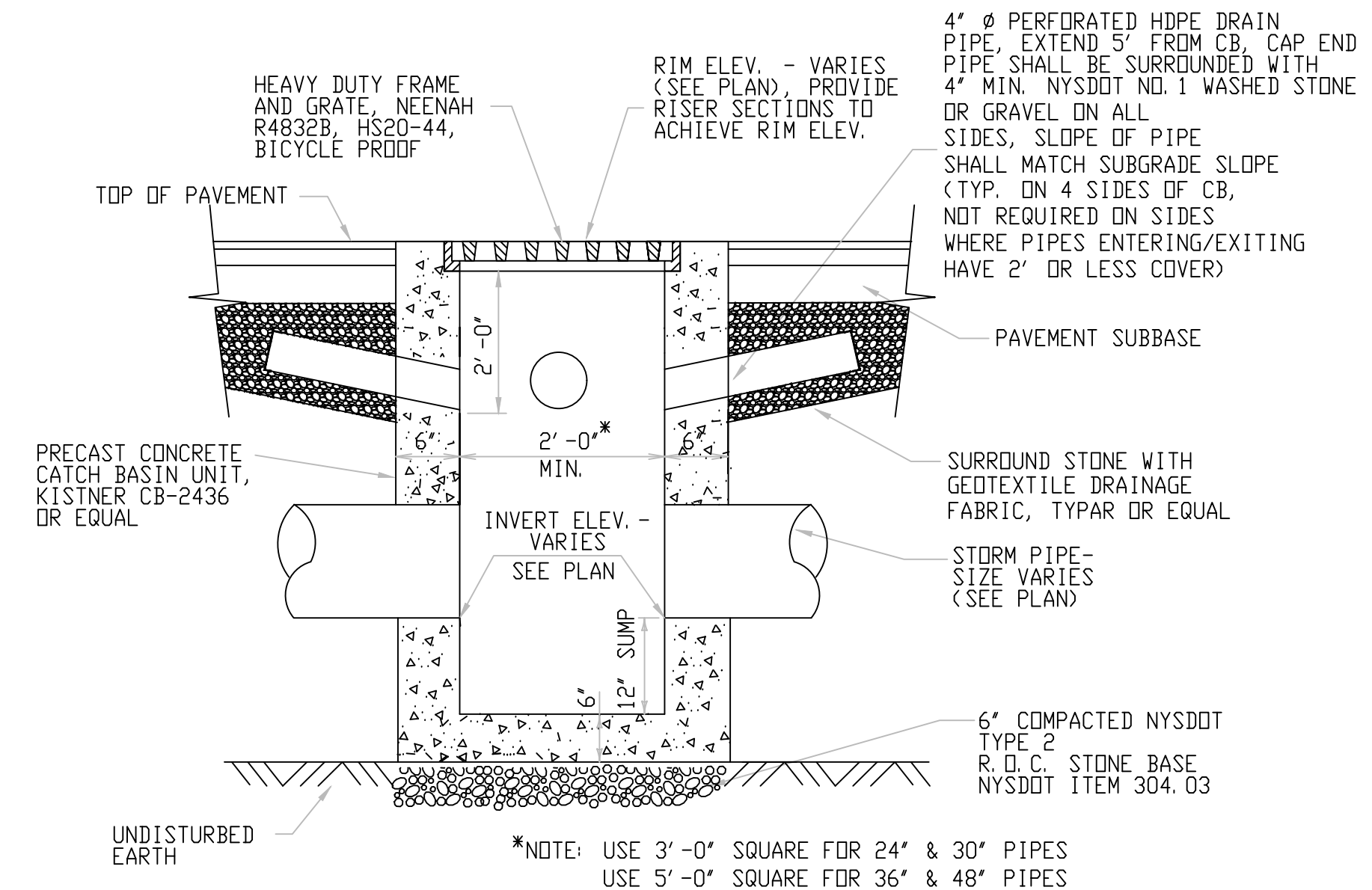


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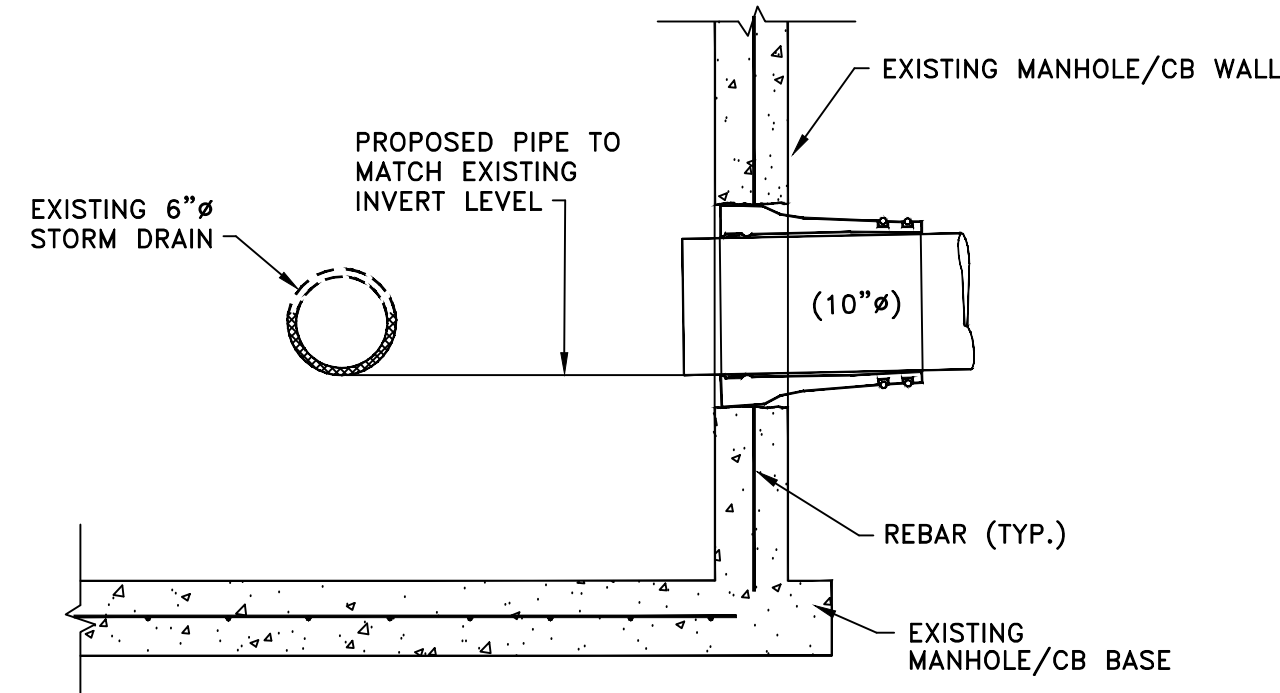
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 - NO SLAG SHALL BE ALLOWED FOR MATERIAL 1
 - 2 TYPE 2 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYSDOT SECTION 304.2.02 TYPE 2. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN TWO INCHES AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
 - NO SLAG SHALL BE ALLOWED FOR MATERIAL 2

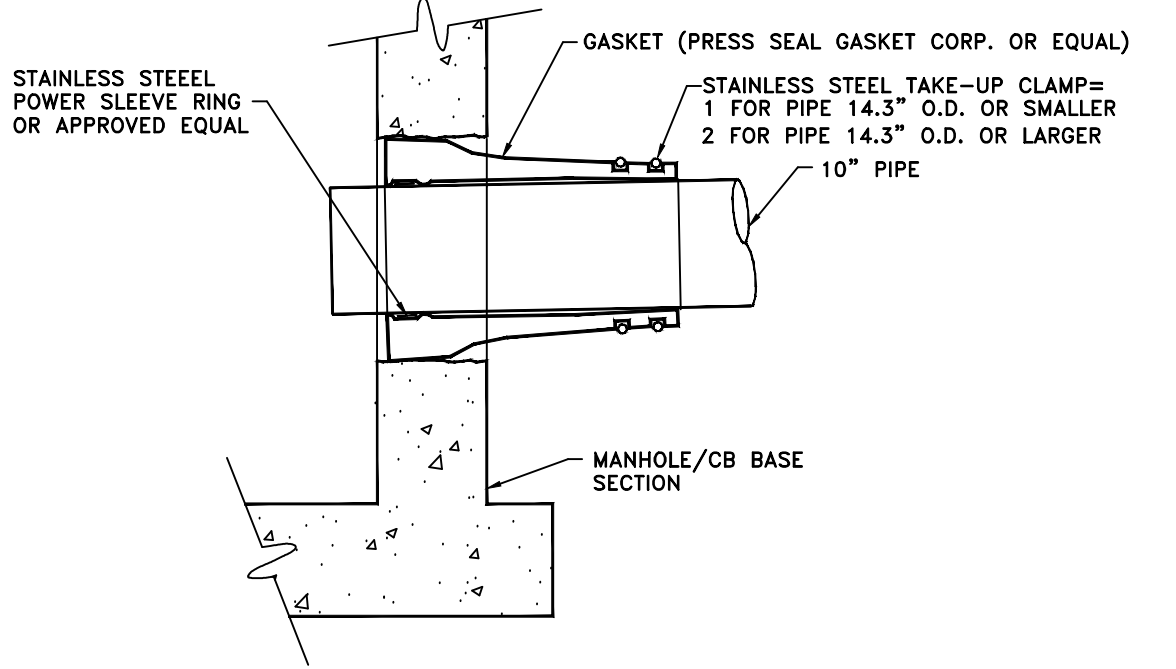
TRENCH SECTION IN PAVED AREAS



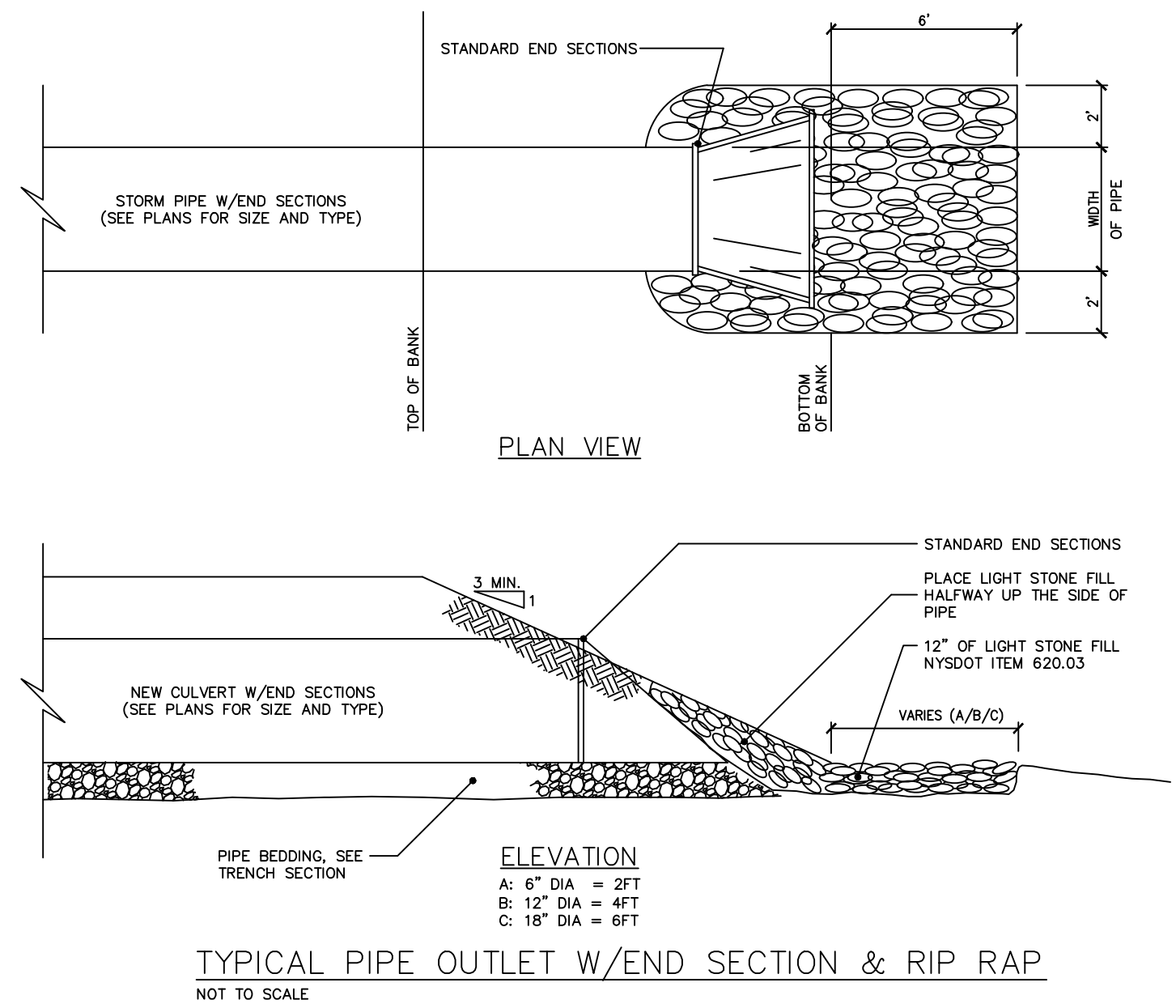
TYPICAL PRECAST CATCH BASIN



- NOTES:
- 1. CORE DRILL ENTRANCE HOLE IN PRECAST MANHOLE BARREL, BASE AND/OR BENCH FOR REQUIRED PIPE CLEARANCE. PER MANUFACTURERS RECOMMENDATIONS.
 - 2. DOES NOT APPLY TO HOUSE LATERALS.
 - 3. WATERTIGHT PIPE TO MANHOLE BOOT SEAL REQUIRED FOR ALL CORE DRILLED ENTRANCE HOLES IN MANHOLE BARREL AS SHOWN BELOW.



CONNECTION TO EXISTING MANHOLE/CB



TYPICAL PIPE OUTLET W/END SECTION & RIP RAP

ZURN
Z886
DOT INSTALLATION GUIDE

Dimensional data (inches and [mm]) are subject to manufacturing tolerances and change without notice.

INSTALLATION GUIDE:

- Install top of trench to final grade including grate
- Install grates
- Install channel guides

WARNING: Cancer and Reproductive Harm - www.P65Warnings.ca.gov
ADVERTENCIA: Cáncer y daño reproductivo - www.P65Warnings.ca.gov
AVERTISSEMENT: Cancer et effets néfastes sur la reproduction - www.P65Warnings.ca.gov

Zurn Industries, LLC | Specification Drainage Operation
1801 Pittsburgh Avenue, Erie, PA, U.S.A. 16502 | Ph: 800-653-9876, Fax 814-454-7929
In Canada | Zurn Industries Limited
3944 Nashua Drive, Mississauga, Ontario L4V 1L2 | Ph: 905-405-8272, Fax 905-405-1202
www.zurn.com

Rev. B
Date: 8/1/2018
C.N.I. No. 140094
Form No. FT865

Page 1 of 1

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

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CONSTRUCTION SET

PROPERTY NUMBER: #5202

AREA: -

Main St - Snyder
4548-4564 Main St.
Amherst, NY 14226

PROPOSED RETAIL

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

BENDERSON DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE: Drainage Details

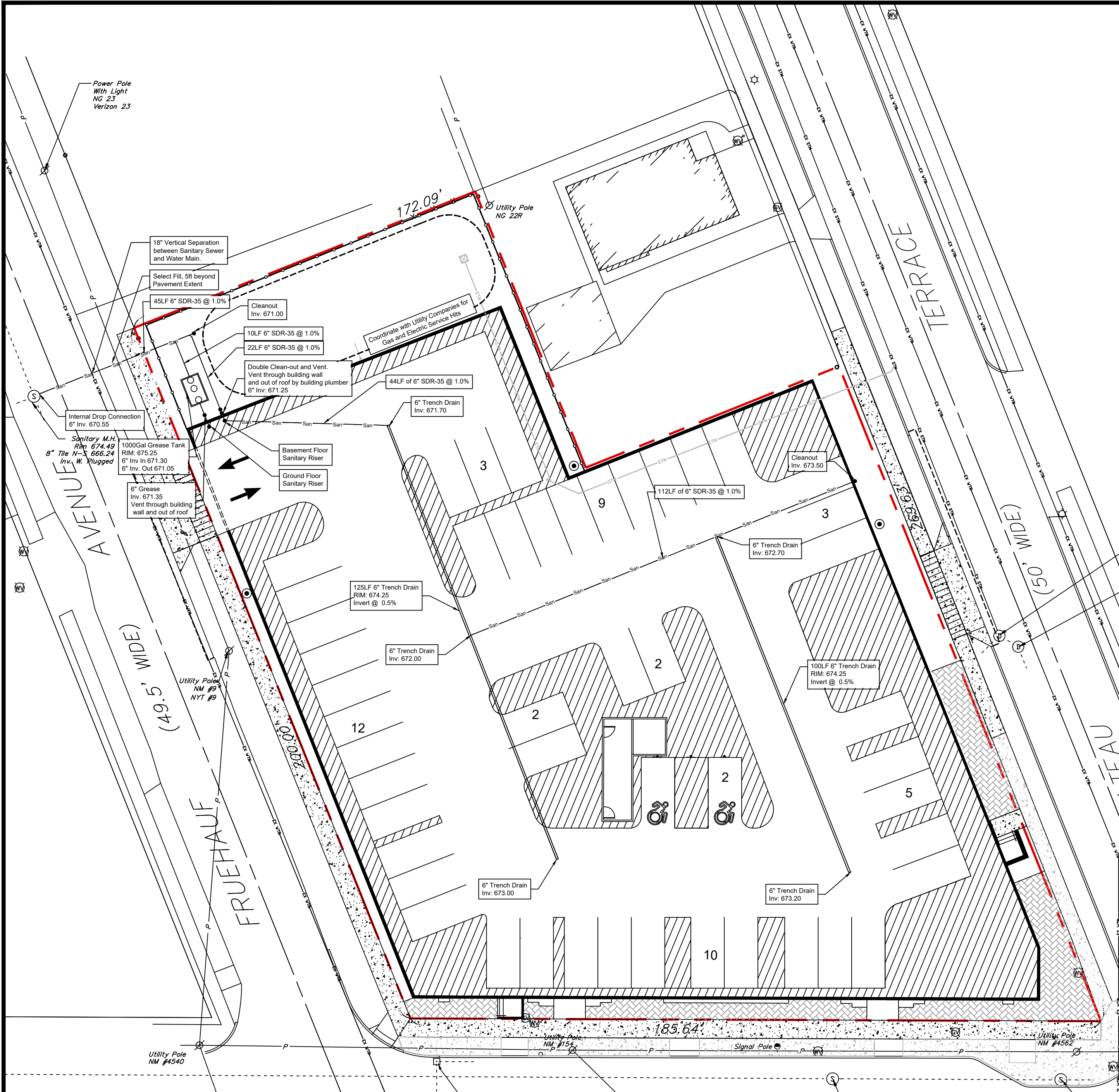
SCALE: NTS

DRAWN BY: DMZ

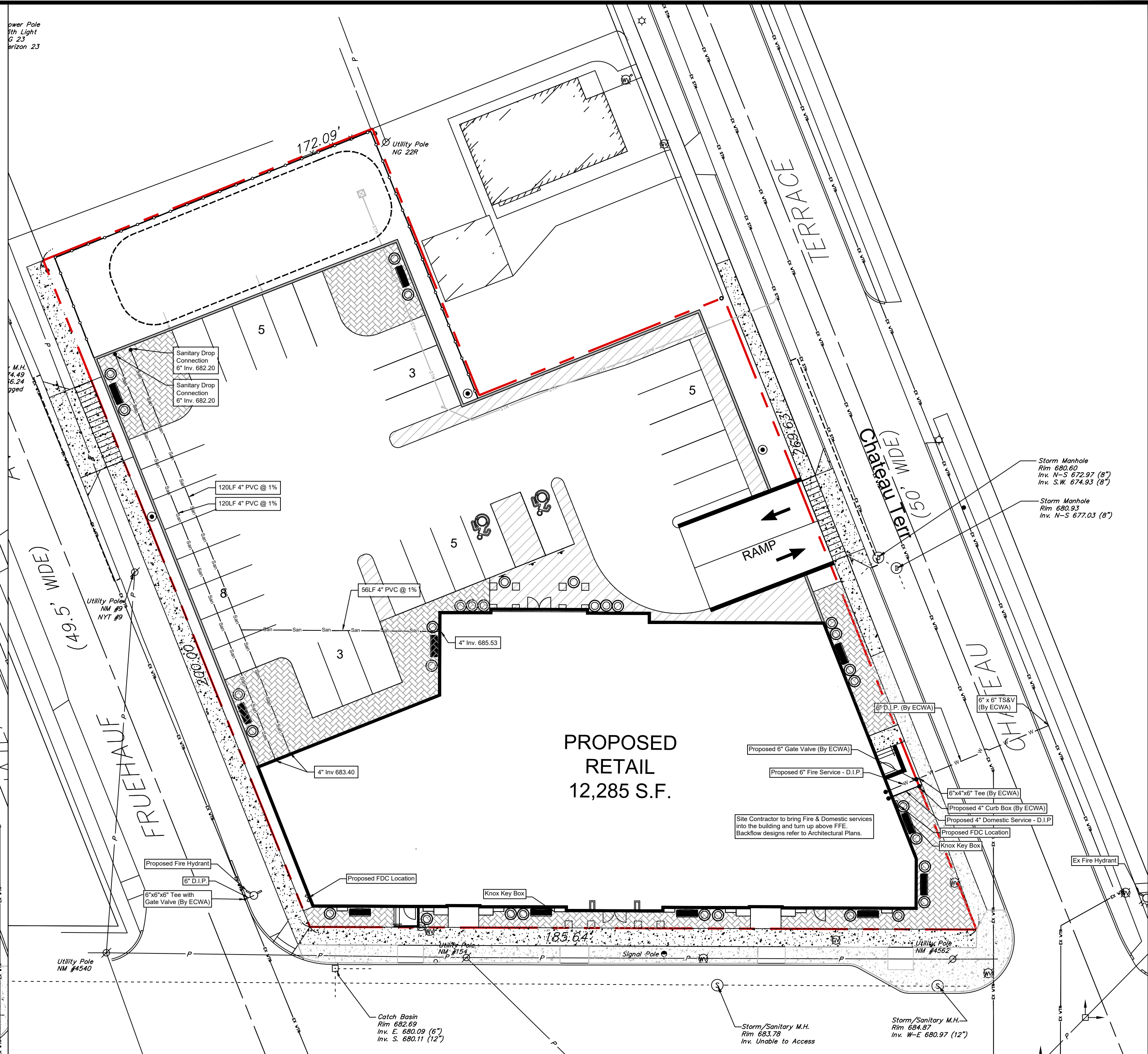
CHECKED BY: MAO

DATE: 04.16.2025

DRAWING NO. C5.2



Basement Level



Ground Level

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- DRAINAGE LEGEND:
- PROPERTY LINE
 - PROPOSED STORMWATER
 - 6" CURB TYP.
 - CO / WC PROPOSED STORM CLEAN OUT / WYE CONNECTION
 - CB - # PROPOSED CATCH BASIN

- UTILITY LEGEND:
- PROPERTY LINE
 - PROPOSED GAS
 - PROPOSED WATER
 - PROPOSED ELECTRIC
 - PROPOSED SANITARY
 - EX ELEC--- EXISTING ELECTRIC
 - EX GAS--- EXISTING GAS
 - EX WTR--- EXISTING WATER
 - EX OH--- EXISTING OVERHEAD UTILITY
 - EX SAN--- EXISTING SANITARY
 - EX STM--- EXISTING STORM
 - EX TC--- EXISTING TELECOMS

OFFICIAL TOWN USE ONLY

DRAWING REVISIONS:				
No.	DATE	BY	REMARKS	

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PROPOSED RETAIL

CONSULTANT

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ARCHITECT
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BENDERSON DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
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SEAL



TITLE: Utility Plan

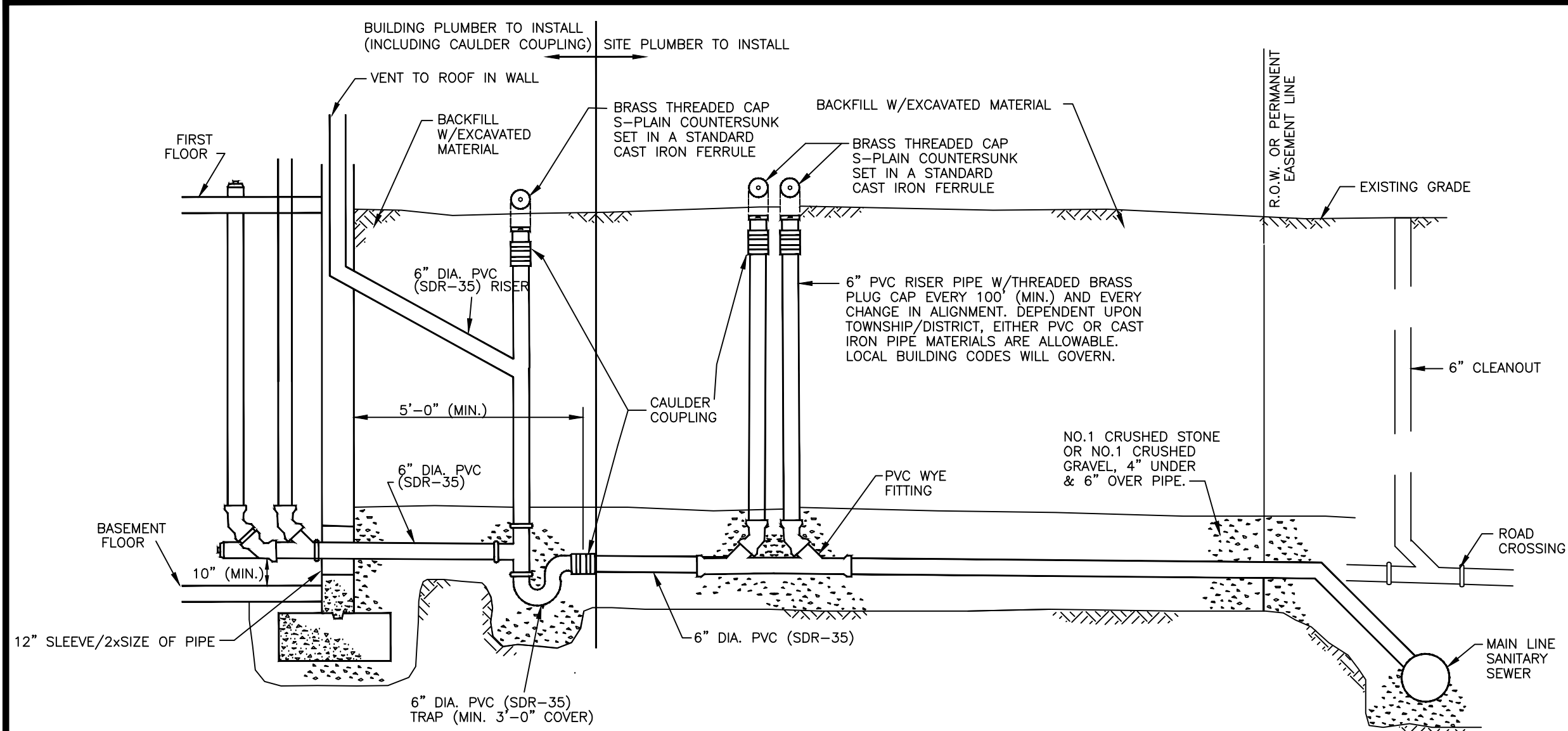
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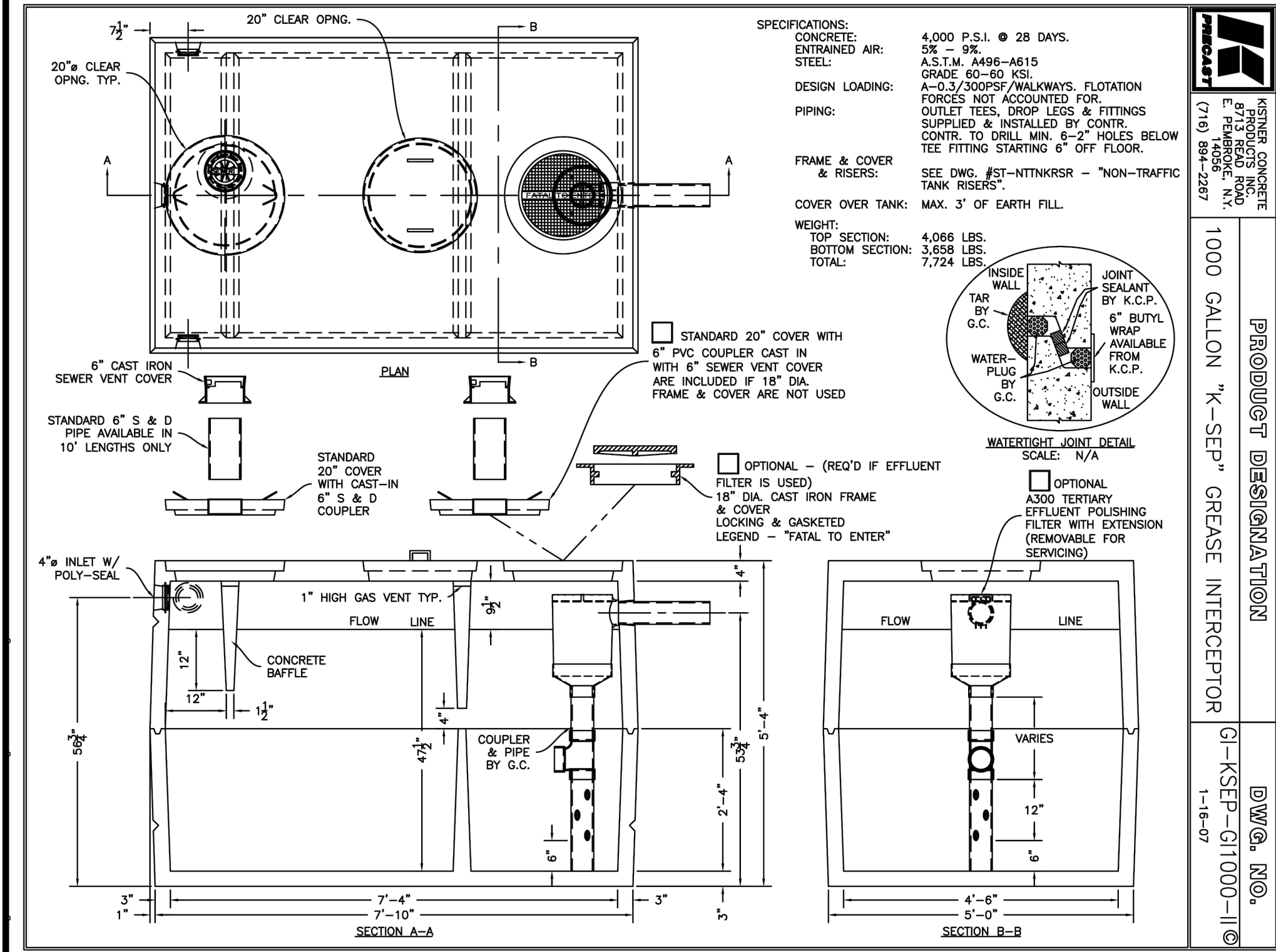
CHECKED BY: MAO

DATE: 04.16.2025

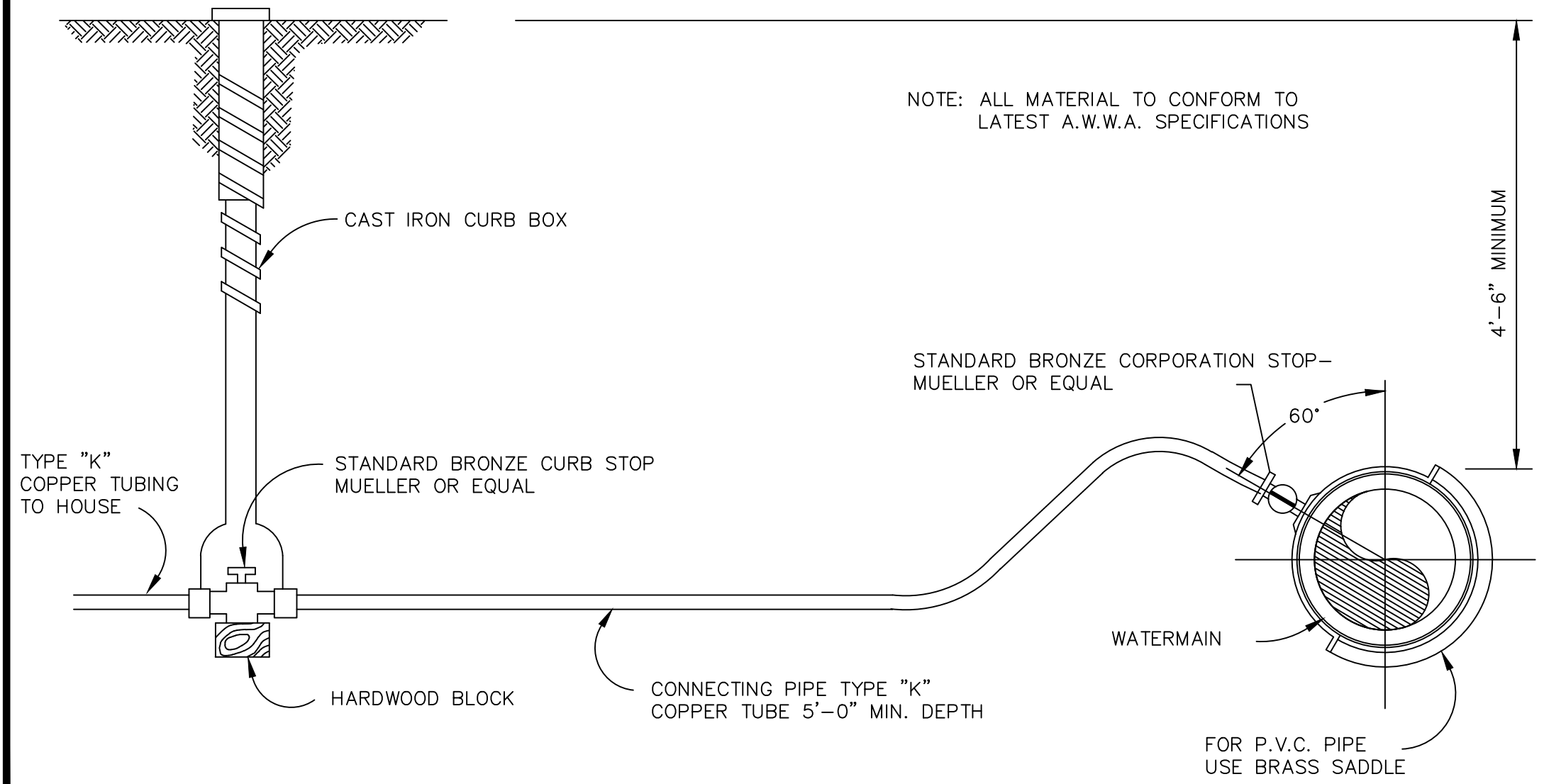
DRAWING NO. C6.0



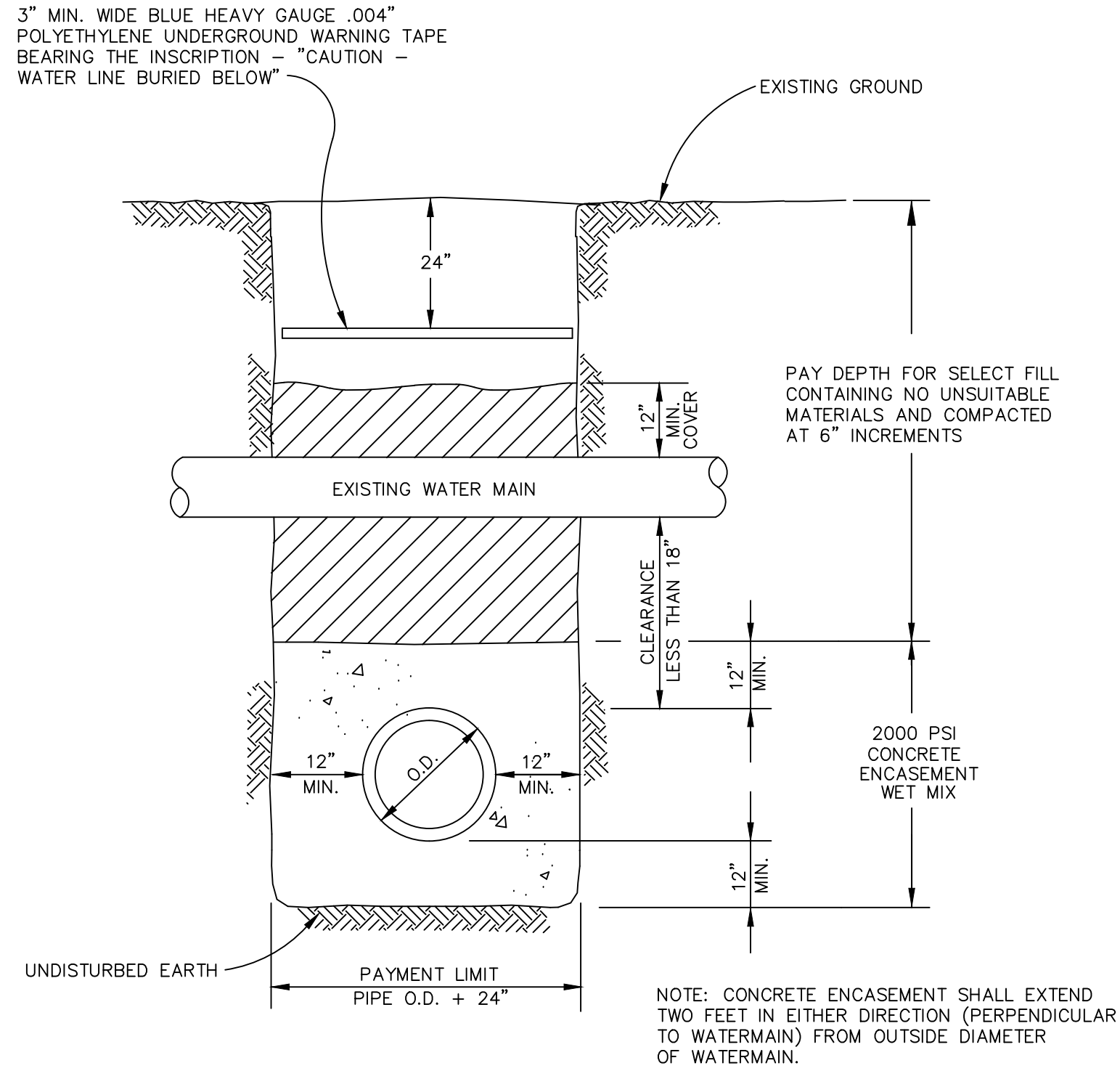
TYPICAL COMMERCIAL SERVICE WITH BASEMENT DETAIL WITH TRAP



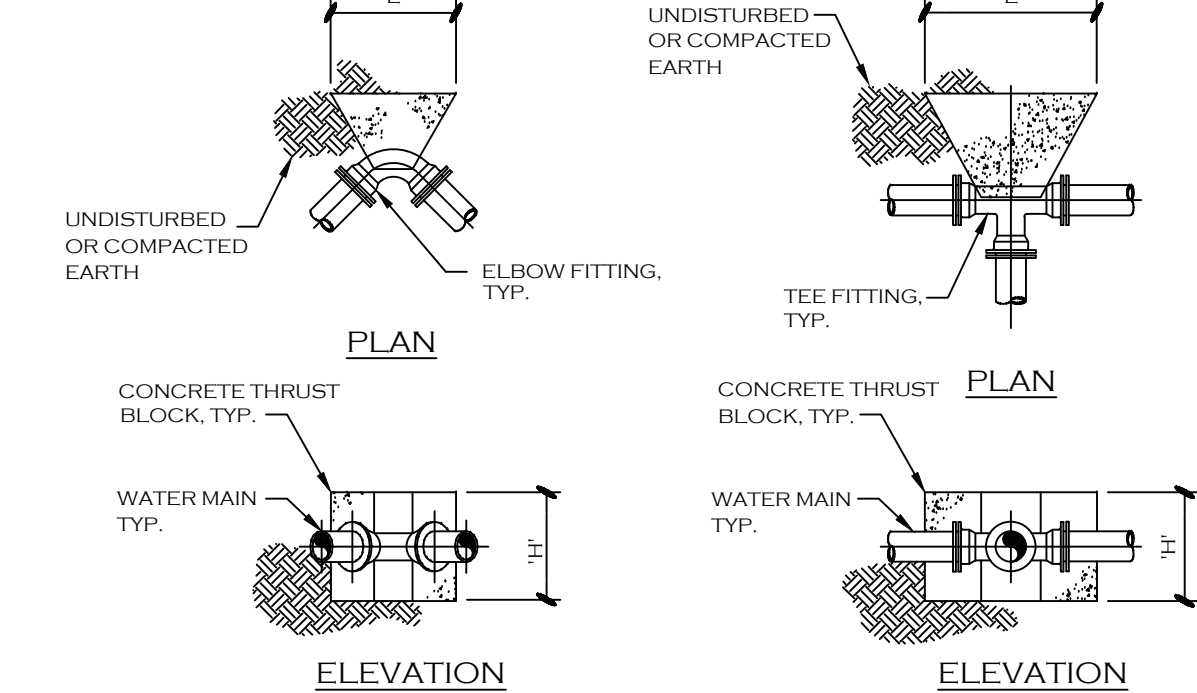
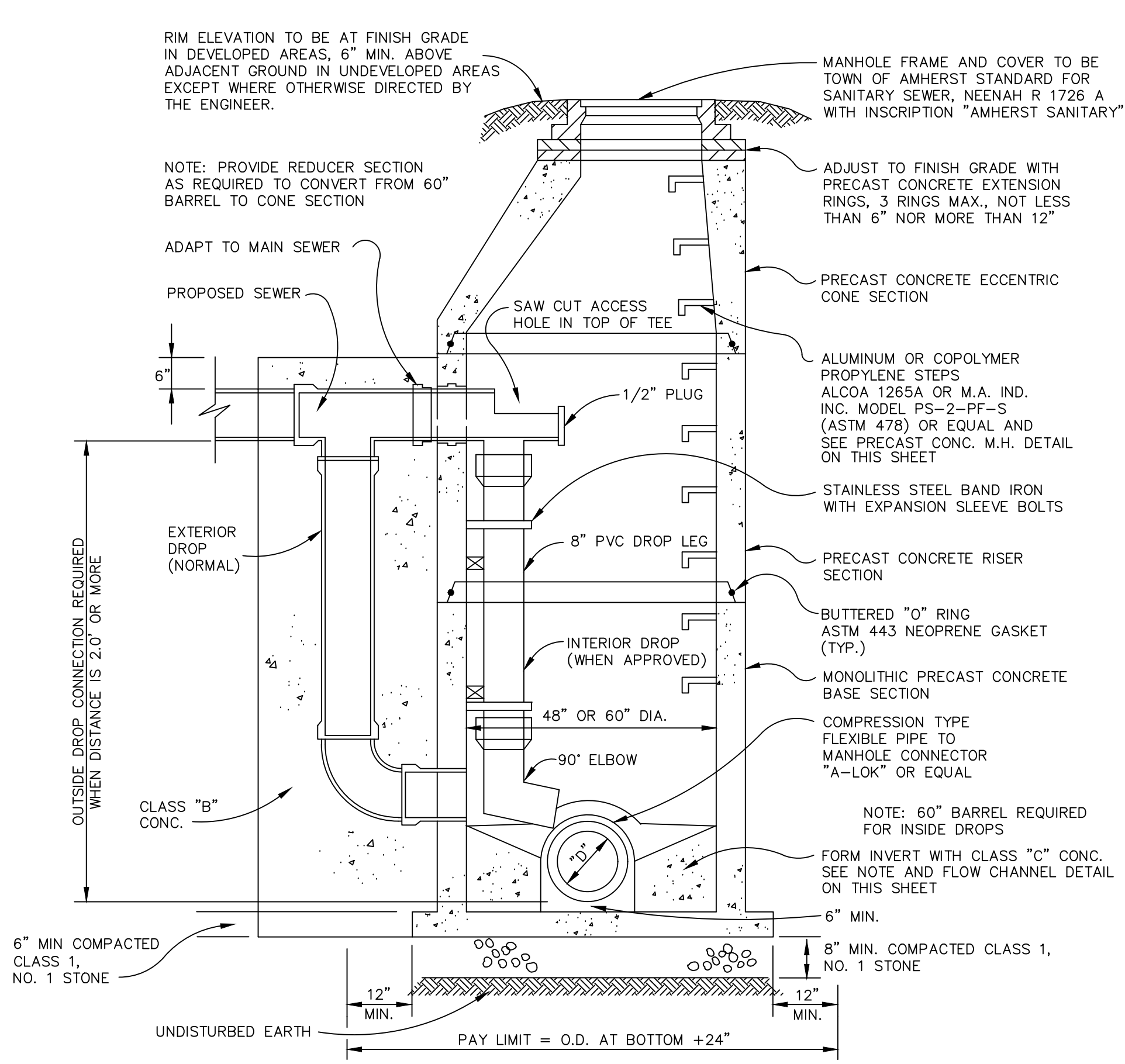
TOWN OF AMHERST TYPICAL PRECAST CONCRETE DROP MANHOLE (FOR DROP CONNECTION)



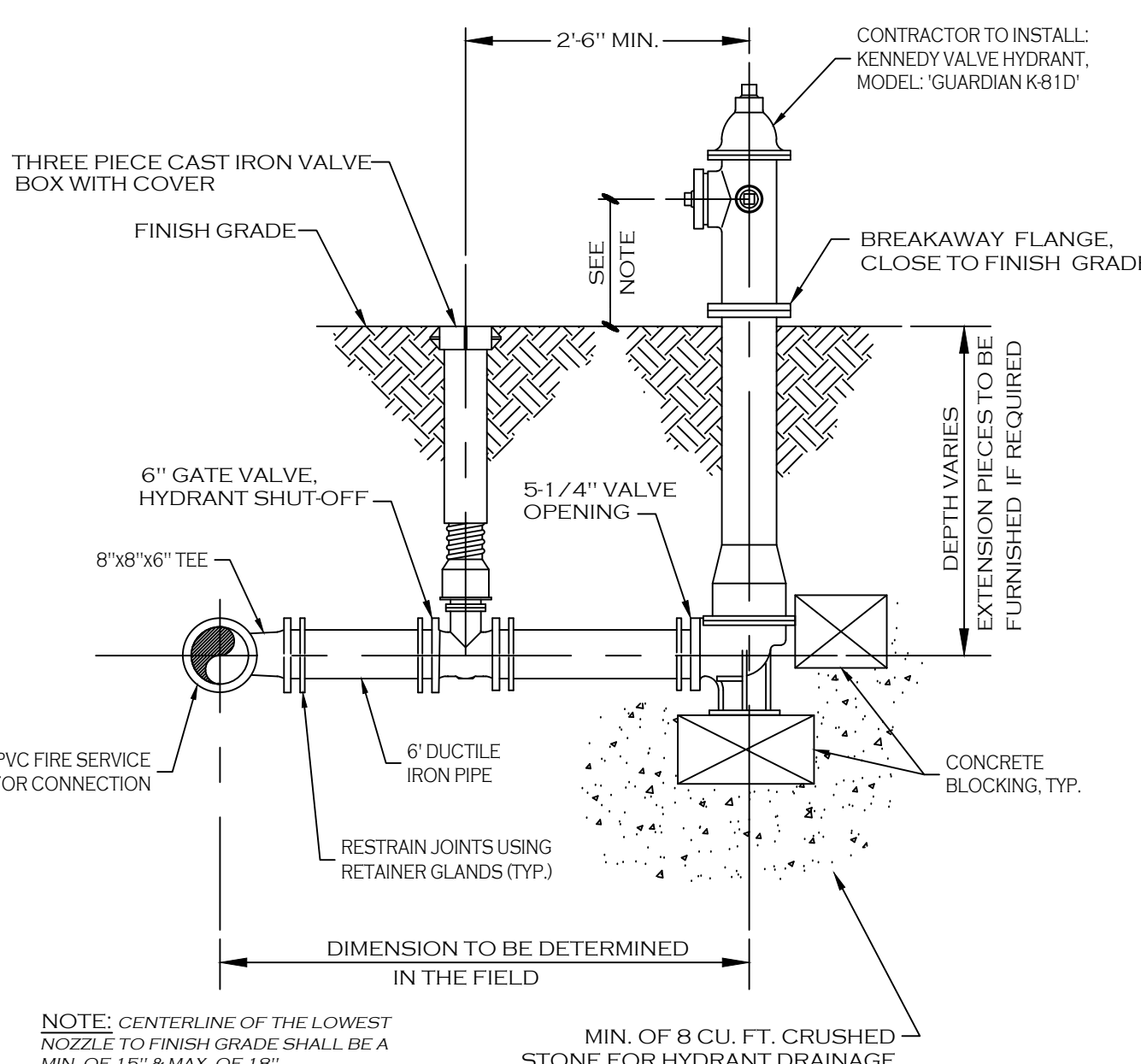
TYPICAL WATER SERVICE LINE INSTALLATION



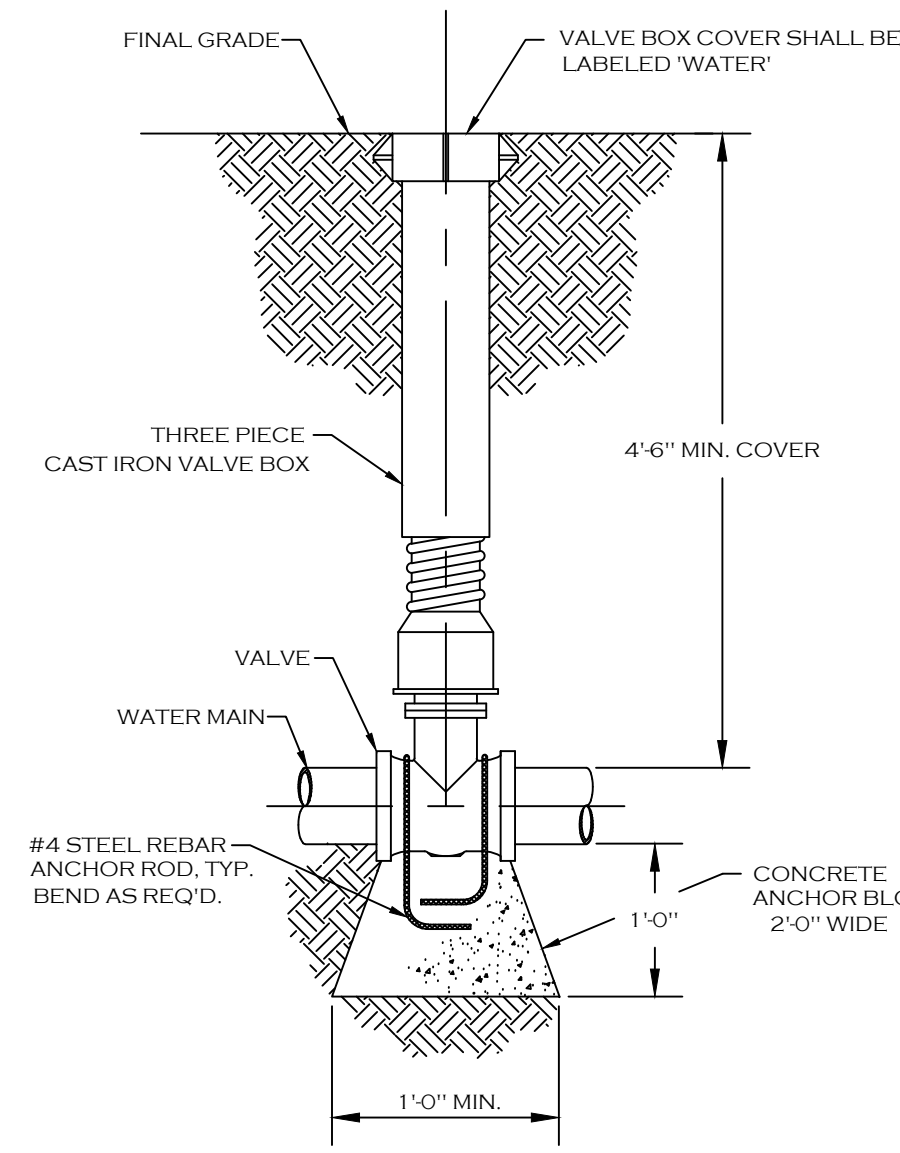
WATER CROSSING DETAIL CLEARANCE LESS THAN 18"



THRUST BLOCK SCHEDULE



TYPICAL FIRE HYDRANT ASSEMBLY DETAIL



TYPICAL GATE VALVE DETAIL

DRAWING REVISIONS:

No.	DATE	BY	REMARKS

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CONSTRUCTION SET

811
Know what's below.
Call before you dig.

PROPERTY NUMBER: #5202
AREA: -

Main St - Snyder
4548-4564 Main St.
Amherst, NY 14226

PROPOSED RETAIL

CONSULTANT

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ARCHITECT
PREPARED FOR
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570 DELAWARE AVE., BUFFALO, NY 14202
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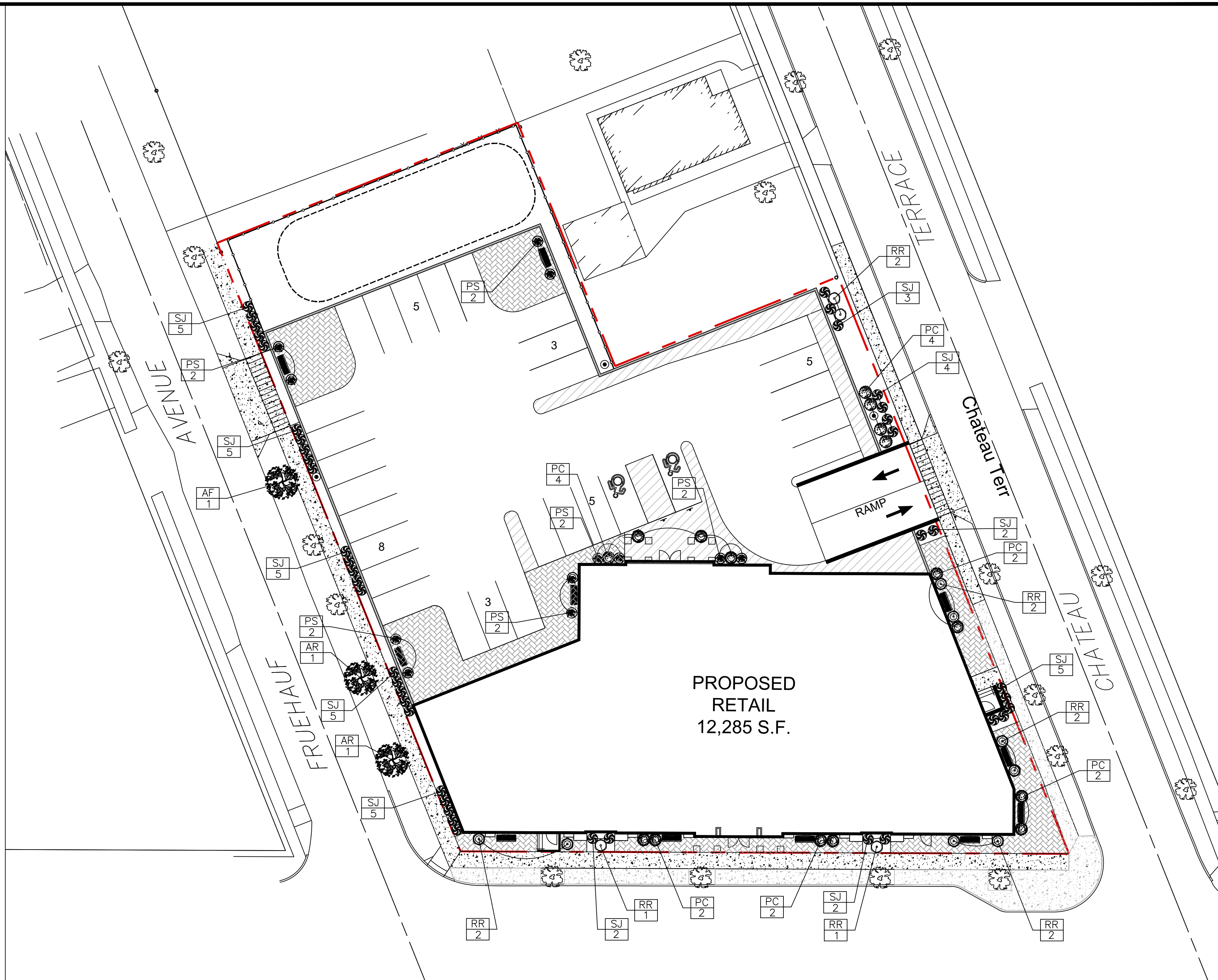
SEAL

REGISTERED ARCHITECT
JAMES ALLEN RUMSEY
STATE OF NEW YORK

TITLE: **Utility Details**






SCALE: NTS
DRAWN BY: DMZ
CHECKED BY: MAO
DATE: 04.16.2025

DRAWING NO.: **C6.1**



LANDSCAPE NOTES

1. ALL PLANTS INSTALLED SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED ON THE PLANS AND IN THE LATEST EDITION ON THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSEYMEN, ANSI Z60.1
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF. THE QUANTITIES SHOWN ARE A MINIMUM AND ARE FOR REFERENCE ONLY.
3. PROPOSED PLANTING MATERIAL LOCATIONS IDENTIFIED ON THE PLANS CONVEY DESIGN INTENT ONLY. PRIOR TO INSTALLATION, THE CONTRACTOR SHALL COMPLETE A FIELD STAKEOUT OF ALL PROPOSED PLANTING MATERIAL LOCATIONS FOR THE OWNER'S REPRESENTATIVE'S INITIAL REVIEW. THE FINAL LOCATION OF ALL PROPOSED PLANTING MATERIALS WILL REQUIRE THE APPROVAL OF THE OWNER'S REPRESENTATIVE AT THE TIME OF INSTALLATION.
4. THE CONTRACTOR IS HEREBY NOTIFIED THAT IF UNDERGROUND UTILITIES EXIST IN THE VICINITY OF THE PLANTINGS, ALL PROPOSED PLANTINGS SHALL BE INSTALLED A MINIMUM OF 5' FROM ANY UNDERGROUND UTILITY. CONTACT THE OWNERS FIELD REPRESENTATIVE IF PLANTINGS SHOWN ON THE PLANS VIOLATE THIS SITUATION.
5. ALL TREES SHALL BE INSTALLED A MINIMUM OF 20' FROM ANY OVERHEAD ELECTRIC LINES.
6. PLANTING BACKFILL MIXTURE SHALL CONSIST OF 4 PARTS TOPSOIL, 1 PART PEAT Moss, ½ PART WELL ROTTED MANURE, 10 LBS 5-10-5 PLANTING FERTILIZER THOROUGHLY MIXED PER CUBIC YARD.
7. STAKE AND WRAP TREES IMMEDIATELY FOLLOWING INSTALLATION.
8. ALL PLANTED AREAS SHALL RECEIVE A MAX. 2" LAYER OF COCOA BROWN MULCH. WEED MAT EQUAL TO "WEEDBLOCK" BY EASY GARDENER OR DEWITT WEED BARRIER.
9. ALL DISTURBED AREAS NOT RECEIVING PLANTINGS (INCLUDING RIGHT-OF-WAYS) SHALL BE PROVIDED WITH SOD. SEED PERMITTED AT RETENTION POND IF PLANTED EARLY ENOUGH TO ESTABLISH.
10. THE AREAS ON THE PLAN TO BE SEEDED SHALL HAVE A 4" MINIMUM OF TOPSOIL, DISK PLOWED, LEVELED AND HAND RAKED SMOOTH. SURFACE SHALL BE ROLLED TO REMOVE LUMPS.
11. ALL SEEDED AREAS SHALL BE HYDROSEEDED IN ACCORDANCE WITH THE SPECIFICATION INDICATED. WHERE REQUIRED BY CLIMATIC CONDITIONS, SLOPE OR SEASON OF PLANTING.
HYDROSEED SPEC: 20% RYE, 20% BLUE GRASS, 60% TURF TYPE FESCUE.
SOD MAY BE SUBSTITUTED FOR SEEDING IN ORDER TO ACHIEVE THE REQUIRED COVERAGE (REFER TO CONTRACTOR FOR SOD/SEED COVERAGE).
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING, MOWING AND OTHER MAINTENANCE TO SEEDED AREAS UNTIL THE PROJECT IS ACCEPTED BY THE OWNER. THIS SHALL INCLUDE WATERING DAILY FOR 15 DAYS OR AS REQUIRED BY WEATHER CONDITIONS AND RE-SEEDING IF THIS SPECS FOLLOWS THE GERMINATION OF THE SEEDS.
13. CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING TREES ONSITE AND OFFSITE, WHICH ARE TO BE PRESERVED, FROM ALL POSSIBLE TYPES OF ROOT, TRUNK, AND LIMB DAMAGE.
14. CONTRACTOR TO PROVIDE A ONE YEAR GUARANTEE ON ALL NEW PLANTING MATERIALS, INCLUDING LAWNS, STARTING AT THE DATE OF FINAL ACCEPTANCE.

LANDSCAPING INDEX							
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	CAL.	SIZE	ROOT	QTY.
[TREES]							
	AF	Acer x Freemanii	ARMSTRONG MAPLE	2-1/2"		B&B	3
[SHRUBS & GRASS]							
	SJ	Spiraea japonica 'Gold Mound'	GOLD MOUND SPIRAEA		24"	³ GAL.	43
	PC	Prunus x cistena	PURPLELEAF SAND CHERRY		24"	³ GAL.	16
	RR	Rosa 'Radrazz'	KNOCK OUT ROSES	-	24"	³ GAL.	10
	PS	Pennisetum setaceum	FOUNTAIN GRASS	-	24"	³ GAL.	12

OFFICIAL TOWN USE ONLY

[illegible]

SPECIAL INFORMATION:
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FOR A PERIOD OF ONE YEAR FROM THE DATE OF
OWNERS ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY
AND ALL STRUCTURES.

NOTICE
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE
IN VIOLATION OF SECTION #7209 OF THE STATE
EDUCATION LAW.

CONSTRUCTION SET



PROPERTY NUMBER: #5202

AREA: -

**Main St - Snyder
4548-4564 Main St.
Amherst, NY 14226**

PROPOSED RETAIL

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

BENDERSON
DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE: Overall
Landscaping Plan

SCALE:
1" = 20'
DRAWN BY:
DMZ
CHECKED BY:
MAO
DATE:
04.16.2025

DRAWING NO.

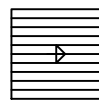
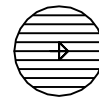
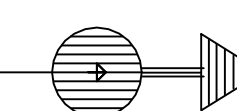
C7.0



Basement Level



Ground Level

Luminaire Schedule							
Index	Manufacturer	Luminaire type	Item number	Luminous flux	Mounting Height	Connected load	Quantity
	C-Lite	C-Lite Full Cutoff Wall Pack, A Series, 09 Lumen, 40K CCT	C-WP-A-FCA-09-4 0K-DB	9000 Lm	15 Ft	62 W	3
	Cree Inc.	Cree IG Series Parking Garage Luminaire, Type V, 7L Input Power Designator, 4000K	IG-B-NM-5S-7L-40K8-UL	7550 Lm	10 Ft	60 W	22
	Cree Inc	Cree OSO Series Luminaire, 22L Power, 4000K, Type 4M distribution with backlight shield	OSQL-C-22L-40K7-4M-NM-w/ BLSF	12000 Lm	25 Ft	130 W	3

FOOTCANDLE LEVELS AT GRADE					
#	Name	Parameter	Min	Max	Average
1	Non-Residential Parking Area	Ground Level Parking and Site	0.51 fc Code: 0.2 fc	6.23 fc Code: 10.0 fc	1.47 fc Code: 1.5 fc
2	Canopy Area	Basement Parking Area	2.10 fc Code: 2.0 fc	8.21 fc Code: 15.0 fc	3.67 fc Code: 10.0 fc

OFFICIAL TOWN USE ONLY

DRAWING REVISIONS:				
No.	DATE	BY	REMARKS	

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Main St - Snyder
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CONSULTANT

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ARCHITECT
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BENDERSON DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:
Lighting Plan
SCALE:
1" = 20'
DRAWN BY:
DMZ
CHECKED BY:
MAO
DATE:
04.16.2025
DRAWING NO.:
C8.0

