

# PROPOSED RETAIL

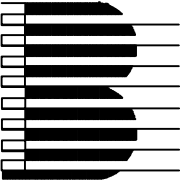
Main St. - Snyder  
4548-4564 Main Street  
Town of Amherst, NY 14226  
BDC Property # 5202

### INDEX OF DRAWINGS

DWG. #	DRAWING NAME	REVISION	DATE
C1.0	COVER SHEET	4	07.14.2025
C2.0	EXISTING SURVEY		
C3.0	DEMOLITION AND EROSION CONTROL PLAN	2	05.27.2025
C3.1	DEMOLITION AND EROSION CONTROL DETAILS		
C4.0	OVERALL SITE PLAN	4	07.14.2025
C4.1	DETAILED SITE PLAN	4	07.14.2025
C4.2	CONSTRUCTION DETAILS	3	06.04.2025
C5.0	GRADING PLAN	4	07.14.2025
C5.1	DRAINAGE PLAN	4	07.14.2025
C5.2	DRAINAGE DETAILS		
C6.0	UTILITY PLAN	4	07.14.2025
C6.1	UTILITY DETAILS		
C7.0	LANDSCAPING PLAN	4	07.14.2025
C8.0	LIGHTING PLAN	4	07.14.2025
C8.1	LIGHTING DETAILS	3	06.04.2025

### OWNER/DEVELOPER:

NAME: BENDERSON DEVELOPMENT COMPANY, LLC  
ADDRESS: 570 DELAWARE AVENUE, BUFFALO, NY 14202  
CONTACT: DAVID ZUPPELLI  
PHONE: 716 - 878 - 9683



BENDERSON DEVELOPMENT COMPANY, LLC  
570 Delaware Ave.  
Buffalo, New York 14202

### SURVEYOR

NAME: TRUE NORTH SURVEYING  
ADDRESS: 150 AERO DRIVE, BUFFALO NY 14225  
CONTACT: CHRISTOPHER BARR  
PHONE: 716-631-5140

### UTILITIES:

WATER DEPARTMENT  
NAME/TITLE: ADAM MASSARO  
COMPANY/DEPT: ERIE COUNTY WATER AUTHORITY  
ADDRESS: 3030 UNION RD, CHEEKTOWAGA, NY  
PHONE: 716 - 685-8207

BUILDING & PLUMBING DEPARTMENT  
NAME/TITLE: -  
COMPANY/DEPT: TOWN OF AMHERST, NY - BUILDING DPT  
ADDRESS: 5583 MAIN STREET, WILLIAMSVILLE, NY 14221  
PHONE: 716 - 631 - 7080

NATURAL GAS  
NAME/TITLE: WILLIAM SCHNEIDER  
COMPANY/DEPT: NATURAL FUEL GAS  
ADDRESS: -  
PHONE: 716 - 696 - 6460

TELEPHONE COMPANY  
NAME/TITLE: JOHN HECKMAN  
COMPANY/DEPT: VERIZON  
ADDRESS: -  
PHONE: 716 - 840 - 8603

ELECTRIC  
NAME/TITLE: -  
COMPANY/DEPT: NATIONAL GRID  
ADDRESS: -  
PHONE: -

DIG SAFELY NEW YORK  
PHONE: 1 - 800 - 962 - 7962 OR (811)

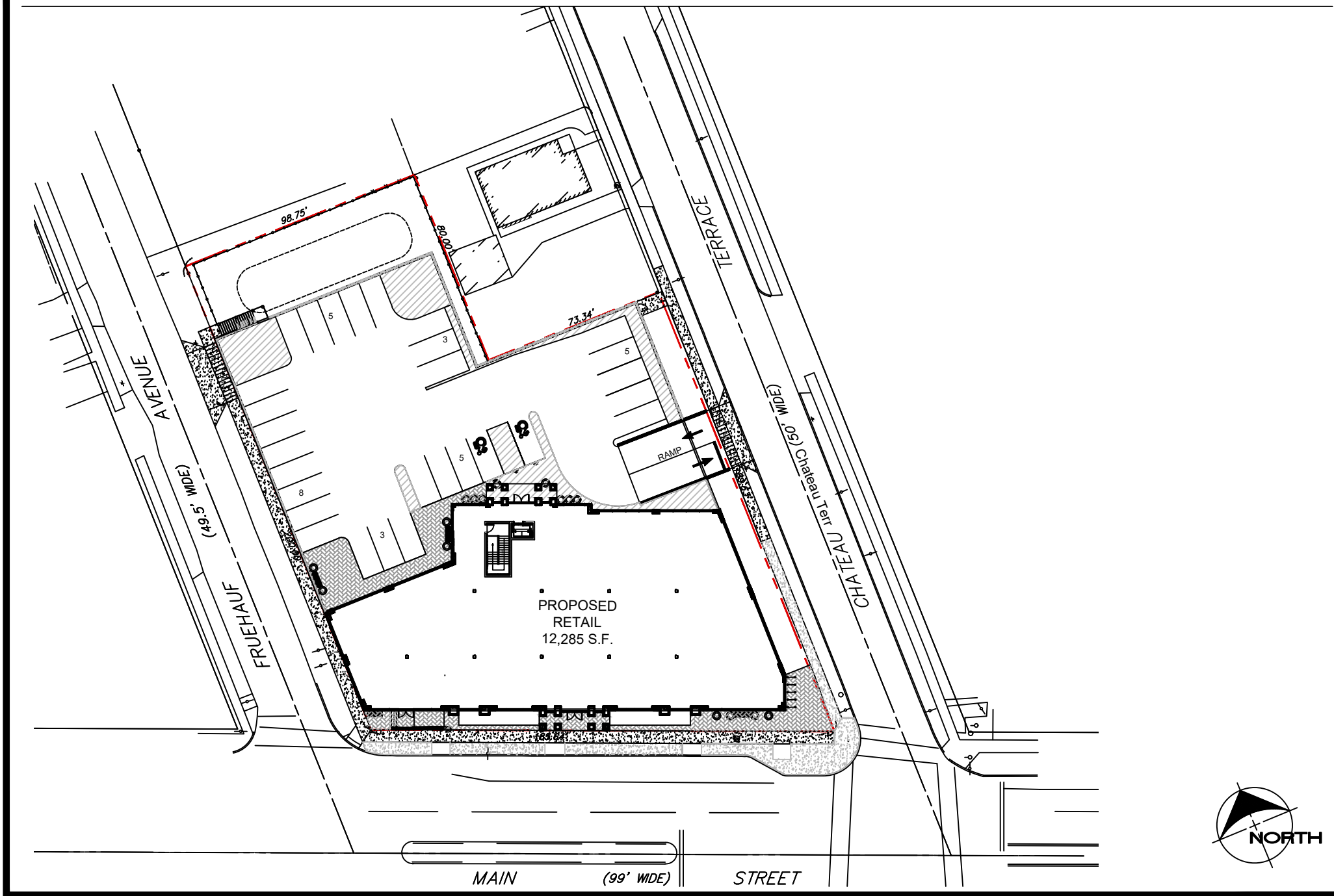
### AGENCIES:

ENGINEERING DEPARTMENT  
NAME/TITLE: JEFF BURROUGHS  
COMPANY/DEPT: TOWN OF AMHERST, NY - ENGINEERING DPT  
ADDRESS: 1100 NORTH FOREST RD, WILLIAMSVILLE, NY  
PHONE: 716 - 631 - 7154 EX 7418

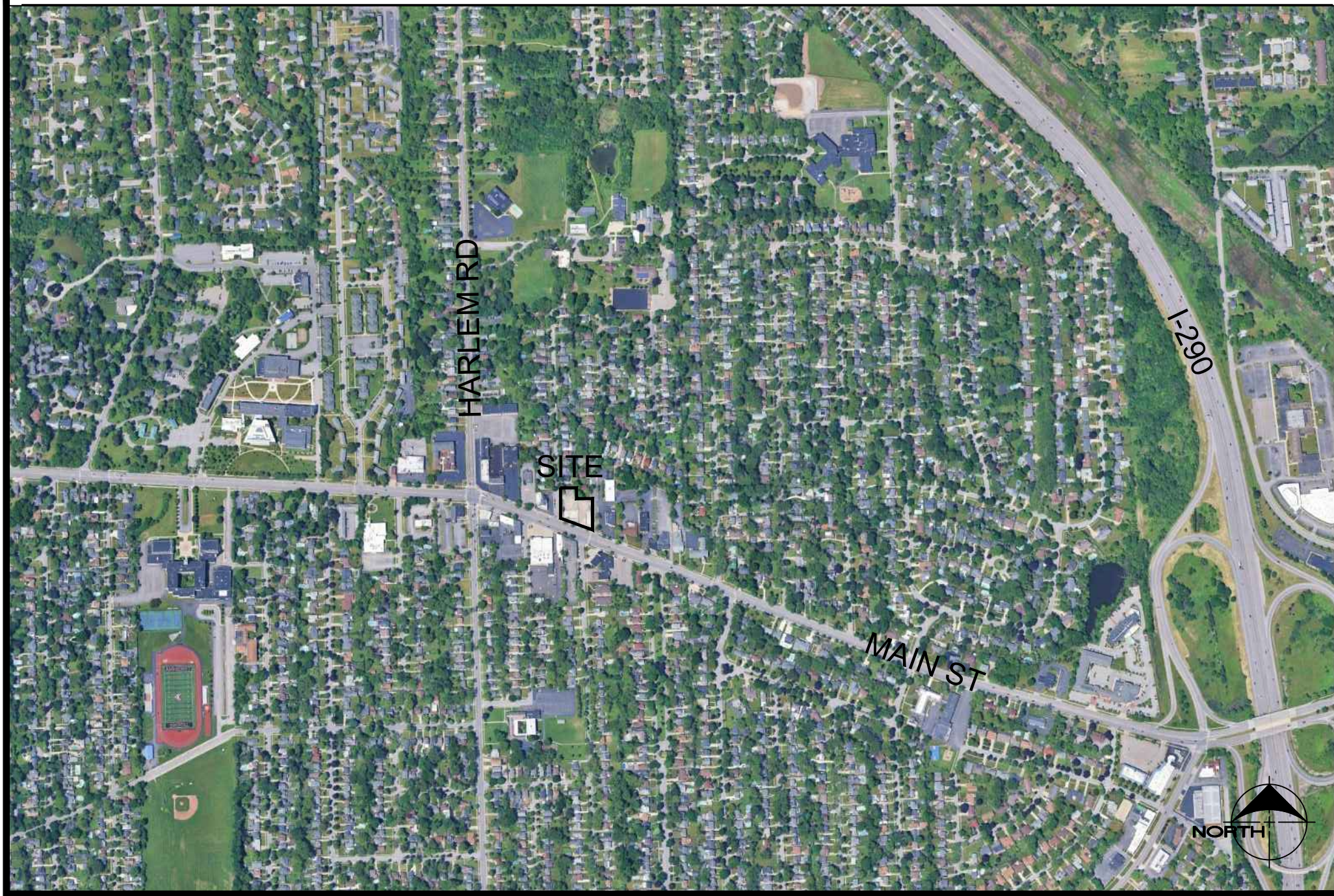
PLANNING DEPARTMENT  
NAME/TITLE: DAN HOWARD  
COMPANY/DEPT: TOWN OF AMHERST, NY - PLANNING DPT  
ADDRESS: 5583 MAIN STREET, WILLIAMSVILLE, NY 14221  
PHONE: 716 - 631 - 7051

NYS DOT - HIGHWAY & UTILITY PERMITS  
NAME/TITLE: ALFRED I. OYOYO, ASSISTANT RESIDENT ENGINEER  
COMPANY/DEPT: NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NORTH ERIE RESIDENCY)  
ADDRESS: 111 INDIAN ROAD. DEPEW, NEW YORK 14043  
PHONE: 716 - 683 - 3476 (EXT - 27)

SITE LOCATION MAP 1" = 50'



REGIONAL LOCATION MAP NTS



OFFICIAL TOWN USE ONLY

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS
1	04.29.2025	DZ	Arch Updates
2	05.27.2025	DZ	Coordination Notes and Town Comments
3	06.04.2025	DZ	Town Meeting Update
4	07.14.2025	DZ	Site Updates

SPECIAL INFORMATION:  
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.  
SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.  
NOTICE  
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION #7209 OF THE STATE EDUCATION LAW.

### CONSTRUCTION SET



PROPERTY NUMBER: #5202  
AREA: -

Main St - Snyder  
4548-4564 Main St.  
Amherst, NY 14226  
PROPOSED RETAIL

### CONSULTANT

JAMES ALLEN RUMSEY  
ARCHITECT  
PREPARED FOR  
**BENDERSON DEVELOPMENT**  
570 DELAWARE AVE., BUFFALO, NY 14202  
(716) 886-0211

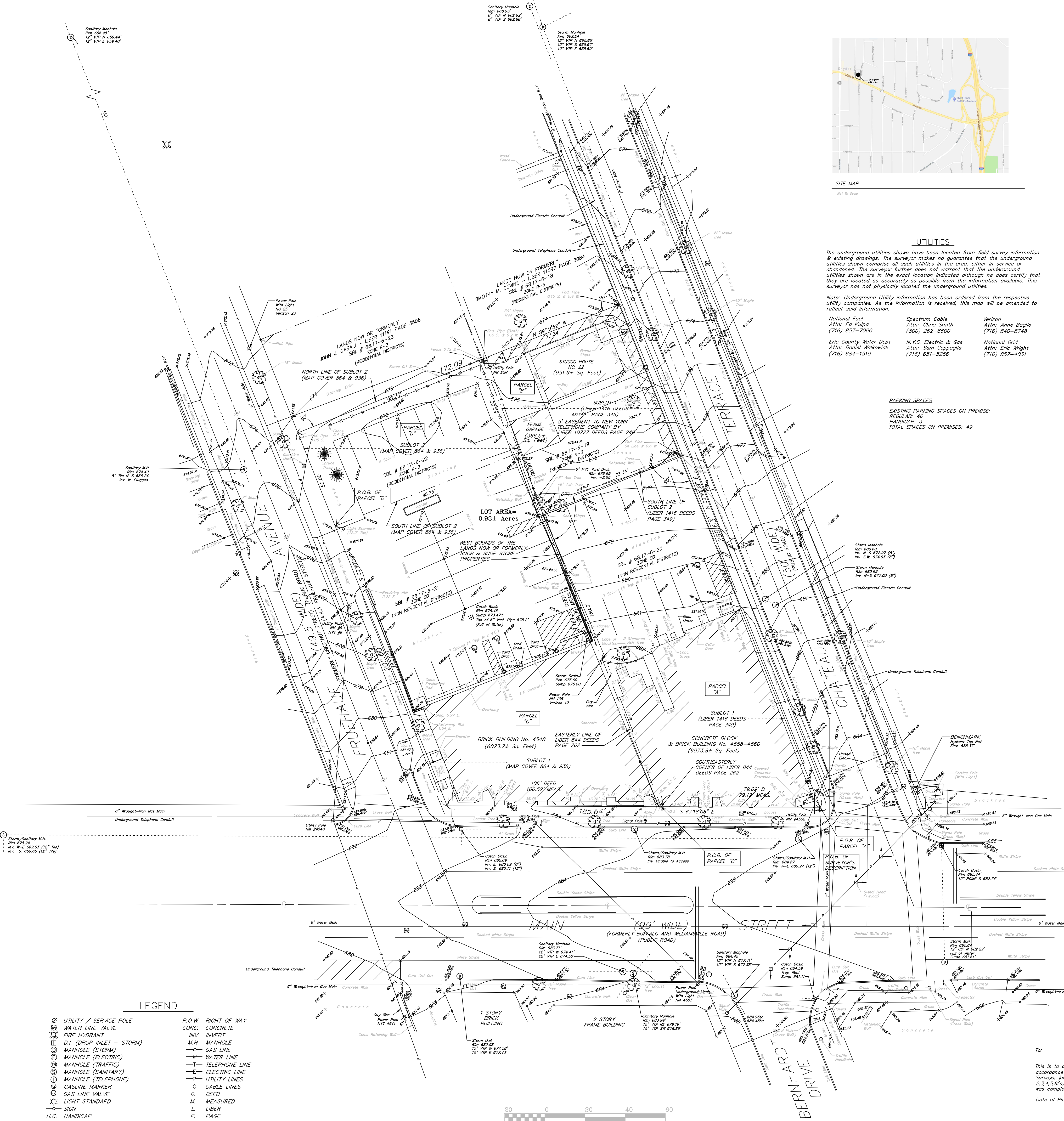
### SEAL



TITLE:  
**COVER SHEET**

SCALE:  
NTS  
DRAWN BY: DMZ  
CHECKED BY: MAO  
DATE: 04.16.2025  
DRAWING NO.:  
**C1.0**





EASEMENT:

HOLLAND LAND TITLE & ABSTRACT COMPANY, INC.  
SEARCH NO. 5010-54386  
DATED: NOVEMBER 17, 2017

23.) EASEMENT TO NEW YORK TELEPHONE COMPANY BY LIBER 10727  
DEEDS PAGE 240. (PLOTTED ON DRAWING)

SCHEDULE "A"

HOLLAND LAND TITLE & ABSTRACT COMPANY, INC.  
SEARCH NO. 5010-54386  
DATED: NOVEMBER 17, 2017

PARCEL A:

ALL THAT TRACT OR PARCEL OF LAND, situate in the Town of Amherst, County of Erie, and State of New York, being part of Farm Lot No. 13, Township 12, Range 7 of the Holland Land Company's Survey, and being Subdivision Lot No. 1 as shown on a certain subdivision map made by Busch & Percival, Engineers, entitled "College Hill Terraces" and recorded in Erie County Clerk's Office in Liber 1416 of Deeds, page 349, and more particularly bounded and described as follows:

BEGINNING at the point of intersection of the northeasterly line of Main Street with the west line of Chateau Terrace; running thence northerly along the westerly line of Chateau Terrace; running thence northerly along the westerly line of Chateau Terrace, 189.63 feet to the southerly line of Subdivision Lot No. 2, as shown on said subdivision map; thence westerly at right angles with the westerly line of Chateau Terrace and along the southerly line of Subdivision Lot No. 2, 73.34 feet to the westerly boundary of the lands of Suor & Suor Store Properties, Inc.; thence southerly and at right angles with the said southerly line of Subdivision Lot No. 2, and along the westerly boundary of the lands of the Suor & Suor Store Properties, Inc., 160 feet to the northeasterly line of Main Street; thence southeasterly along the said line of Main Street, 79.09 feet to the point of beginning.

PARCEL B:

ALL THAT TRACT OR PARCEL OF LAND, situate in the Town of Amherst, County of Erie, and State of New York, being part of Farm Lot No. 13, Township 12, Range 7 of the Holland Land Company's Survey, and being designated as Subdivision Lot No. 1 as shown on subdivision map made for Jacob C. Fruhauf by C.F. Witmer, Surveyor, in 1898 of part of said Lot No. 18 filed in Erie County Clerk's Office under Map Cover 864 and also being designated as Subdivision Lot No. 1 on a map filed in Erie County Clerk's Office under Cover No. 936, and bounded and described as follows:

PARCEL C:

ALL THAT TRACT OR PARCEL OF LAND, situate in the Town of Amherst, County of Erie, and State of New York, being part of Farm Lot No. 13, Township 12, Range 7 of the Holland Land Company's Survey, and being designated as Subdivision Lot No. 1 as shown on subdivision map made for Jacob C. Fruhauf by C.F. Witmer, Surveyor, in 1898 of part of said Lot No. 18 filed in Erie County Clerk's Office under Map Cover 864 and also being designated as Subdivision Lot No. 1 on a map filed in Erie County Clerk's Office under Cover No. 936, and bounded and described as follows:

BEGINNING at the southeasterly corner of premises conveyed to said Jacob C. Fruhauf by Fanny Hall, by Committee, by deed dated February 7, 1898, recorded in Erie County Clerk's Office in Liber 844 of Deeds, page 262, February 7, 1898, being in the northerly line of Main Street (Buffalo and Williamsville Road); running thence northerly along the easterly line of the premises conveyed by said deed, 189.25 feet; thence westerly 98.75 feet to the easterly line of Fruhauf Street (formerly known as Chestnut Street) as shown on said map; thence southerly along the westerly line of Fruhauf Street (formerly known as Chestnut Street) 150 feet to the said northerly line of Main Street (Buffalo and Williamsville Road); and thence easterly along said line of Main Street (Buffalo and Williamsville Road) 106 feet to the place of beginning.

PARCEL D:

ALL THAT TRACT OR PARCEL OF LAND, situate in the Town of Amherst, County of Erie, and State of New York, being part of Farm Lot No. 13, Township 12, Range 7 of the Holland Land Company's Survey, and being further known and distinguished as Subdivision Lot No. 2 as shown and laid down on map and survey made by C.F. Witmer, Surveyor, in 1898, which map is filed in Erie County Clerk's Office under Cover No. 864, said lot being bounded and described as follows:

BEGINNING in the easterly line of Fruhauf Avenue at a point distant 150 feet from the point of intersection of said line of Fruhauf Avenue with the northerly line of Main Street; thence easterly along the southerly line of said Subdivision Lot No. 2, 98.75 feet to the east line of land conveyed to Jacob C. Fruhauf by deed recorded in Erie County Clerk's Office in Liber 844 of Deeds, page 262; thence northerly along the said easterly line of said land so conveyed, 20 feet; thence westerly along the northerly line of said Subdivision Lot No. 2, 98.75 feet; and thence southerly along the easterly line of Fruhauf Avenue 20 feet to the place of beginning.

Parcel containing 0.93 acres of land, more or less.

SURVEYOR'S DESCRIPTION:

ALL THAT TRACT OR PARCEL OF LAND, situate in the Town of Amherst, County of Erie, and State of New York, being part of Farm Lot No. 13, Township 12, Range 7 of the Holland Land Company's Survey, bounded and described as follows:

BEGINNING at the point of intersection of the northerly line of Main Street with the west line of Chateau Terrace; running thence northerly along the westerly line of Chateau Terrace; running thence northerly along the westerly line of Chateau Terrace, 269.63 feet to a point; thence westerly at right angles with the westerly line of Chateau Terrace, 172.09 feet to the easterly line of Fruhauf Avenue; thence southerly along the easterly line of Fruhauf Avenue, 200.00 feet; to the said northerly line of Main Street; and thence easterly along said line of Main Street, 185.54 feet to the place of beginning.

Parcel containing 0.93 acres of land, more or less.

NOTE:  
ALL ELEVATIONS ON CURBLINE ARE TAKEN AT TOP OF CURB - 6" CURB IS ASSUMED

ELEVATIONS AND COORDINATES ESTABLISHED FROM TOWN OF AMHERST MONUMENTS No. 8 & No. 9, NAD 83/92 HARN DATUM NEW YORK WEST ZONE

FLOOD ZONE DATA

ENTIRE PREMISES LIES WITHIN ZONE "X" (AREA DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN)  
PER F.E.M.A. FLOOD INSURANCE RATE MAP 3602226 0012 E, TOWN OF AMHERST  
MAP DATE: OCTOBER 16, 1992

ZONING

TOWN OF AMHERST  
ONLINE - ECODE360  
ADOPTED BY THE TOWN BOARD OF THE TOWN OF AMHERST 5-1-2006

SBL. NO. 68.17-6-19 AND 22

ARE IN ZONE R-3 (RESIDENTIAL DISTRICTS)

SBL. NO. 68.17-6-20 AND 21

ARE IN ZONE GB (NON RESIDENTIAL DISTRICTS)

Dimensional Standards.

R-3 Principal Use Dimensional Standards	
Min. lot area (see dwelling)	
Interior	8,400 sq ft
Corner	8,400 sq ft
Interior	45 ft
Corner	25 ft
Min. yard	
Front yard	30 ft
Rear yard	30 ft
Combined side yards	10 ft
Each side yard	5 ft
Corner lot	See R-3 (a)(3)
Through lot	See R-3 (a)(3)
Max. height	2 stories (see R-3 (a)(3))
Max. building coverage	35%
Min. floor area (dwelling only)	
Under 2 stories	1,000 sq ft
3 or more stories	1,200 sq ft

Note: For explanation of measurements, computations, and exceptions see § 3-3.8

GB Principal & Accessory Use/Structure Dimensional Standards		Vehicle Use Area
Min. lot area	None	
Min. lot width	None	
Min. front yard		
Height of structure for first 35 ft.	20 ft	10 ft <sup>2</sup>
Height of structure for any portion of building above 35 ft.	30 ft	10 ft <sup>2</sup>
Min. rear yard (dwelling residential)*** (nonresidential)		
Height of structure up to 35 ft.	See § 3-3.8(3)(b) 15 ft	15 ft <sup>2</sup> 15 ft <sup>2</sup>
Height of structure 35 ft or more	See § 3-3.8(3)(b) 25 ft	15 ft <sup>2</sup> 15 ft <sup>2</sup>
Min. side yard (dwelling residential)*** (nonresidential)**		
Height of structure up to 35 ft.	See § 3-3.8(3)(b) 15 ft or 10 ft	15 ft <sup>2</sup> 15 ft <sup>2</sup>
Height of structure 35 ft or more	See § 3-3.8(3)(b) 25 ft	15 ft <sup>2</sup> 15 ft <sup>2</sup>
Max. height	None	
Max. building coverage	None	
Min. interior building separation	None required	

\* The entire area must be landscaped.

\*\* Accessory structures shall be setback a minimum of 10 feet.

\*\*\* R-3, S-4, R-4, R-5, R-6, CR-36, TR-3, R-4, MPR-46, MPR-5, MPR-6, MPR-7, PRO-3, PRO-4, PRO-5, PRO-6, PRO-7

SUBLOT 1 & 2 ~ MAP IN LIBER 1416 DEEDS PAGE 349  
AND SUBLOT 1 & 2 ~ MAP IN MAP COVER 864 & 936

8/14/18: ADDED UNDERGROUND UTILITIES  
10/27/20: LOCATED RETAINING WALL & GASLINE MARKER

INSTRUMENTS UTILIZED IN DETERMINING LOCATION OF BOUNDARY LINES: HEAD OF SEARCH

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED IN SAID ABSTRACT.

NOTE: PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.

To:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2.3, 4.5, 6(a), 7(a), 7(b), 11.1, 13, & 21 (Per Email List) of Table A thereof. The field work was completed on 3-26-18.

Date of Plat or Map: 3-28-2018

Francis C. Delles Registration No. 050477

CERTIFICATION

COPYRIGHT 2018 BY:

Millard, Mackay & Delles

LAND SURVEYORS, LLP

150 AERO DRIVE

BUFFALO, NEW YORK 14225

PHONE (716) 631-5140 ~ FAX 631-3811

AMEND:

SURVEY DATE: 3-28-18

DRAWING DATE: 3-28-18

SCALE: 1" = 20'

"ALL RIGHTS RESERVED"

THIS MAP VOID UNLESS UNDOUBTED

WITH NEW YORK STATE LICENSED LAND SURVEYORS, EAL, ALTHOUGH ANY ITEM ON THIS MAP IS A VIOLATION OF THE LAW EXCEPT AS PROVIDED IN SECTION 7209, STATE OF THE NEW YORK STATE EDUCATION LAW.

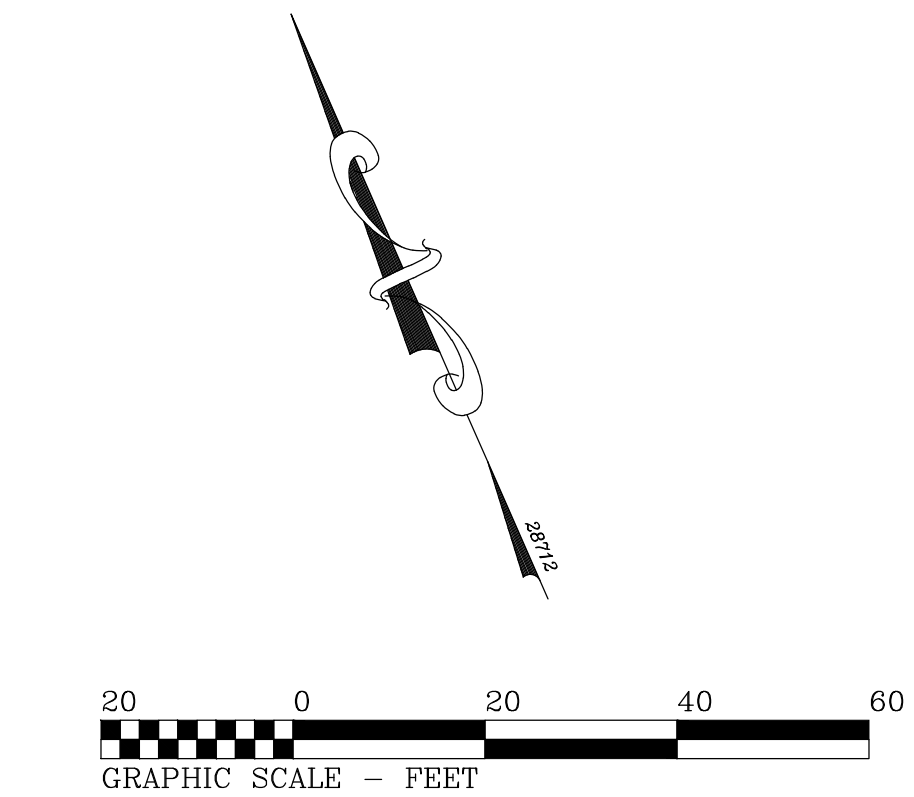
PART OF LOT 13 SECTION 12 TOWNSHIP 12 RANGE 7 OF THE

Holland Land Company's SURVEY - Erie COUNTY, N.Y.

SURVEY OF: 22 Chateau Terrace, 4564 & 4548 Main Street and 17 Fruhauf Avenue, Town of Amherst

SBL. NO. 68.17-6-21&22

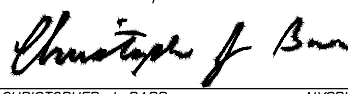





LEGEND	
⊗ UTILITY / SERVICE POLE	R.O.W. RIGHT OF WAY
⊗ WATER LINE VALVE	CONC. CONCRETE
⊗ FIRE HYDRANT	INV. INVERT
⊗ D.I. (DROP INLET - STORM)	M.H. MANHOLE
⊗ MANHOLE (STORM)	—G— GAS LINE
⊗ MANHOLE (ELECTRIC)	—W— WATER LINE
⊗ MANHOLE (TRAFFIC)	—T— TELEPHONE LINE
⊗ MANHOLE (SANITARY)	—E— ELECTRIC LINE
⊗ MANHOLE (TELEPHONE)	—P— UTILITY LINES
⊗ GASLINE MARKER	—C— CABLE LINES
⊗ GAS LINE VALVE	D. DEED
⊗ LIGHT STANDARD	M. MEASURED
⊗ SIGN	L. LIBER
H.C. HANDICAP	P. PAGE

SUBLLOT 1 & 2 ~ MAP IN LIBER 1416 DEEDS PAGE 349  
AND SUBLLOT 1 & 2 ~ MAP IN MAP COVER 864 & 936

INSTRUMENT(S) UTILIZED IN DETERMINING LOCATION OF BOUNDARY LINES: HEAD OF SEARCH  
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED IN SAID ABSTRACT.  
NOTE: PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.

<div>THIS SURVEY MAP WAS PREPARED IN ACCORDANCE WITH THE CURRENT STANDARDS FOR LAND SURVEYS ADOPTED BY THE MAP ASSOCIATION OF ONE COUNTY AT THE REQUEST OF Benderston Development</div> <div> CHRISTOPHER J. BARR NYS PLS No. 051068</div>	<div>©COPYRIGHT 2024 BY:  <b>TRUE NORTH</b> LAND SURVEYING, PLLC 150 AERO DRIVE BUFFALO, NEW YORK 14225 (716)631-5140 ~ Truenorthpllc@aol.com</div>	AMEND:
		SURVEY DATE: 5-16-24
		DRAWING DATE: 5-17-24
		SCALE: 1" = 20'
		"ALL RIGHTS RESERVED"
FOUNDATION LOCATION SURVEY		THIS MAP VOID UNLESS EMBOSSED SURVEYOR'S SEAL. ALTERING ANY ITEM ON THIS MAP IS A VIOLATION OF THE LAW EXCEPT AS PROVIDED IN SECTION 7209, PART 2, OF THE NEW YORK STATE EDUCATION LAW
PART OF LOT <u>13</u> SECTION <u>12</u> TOWNSHIP <u>12</u> RANGE <u>7</u> OF THE <u>Holland Land Company's SURVEY</u> ~ <u>Erie</u> COUNTY, N.Y.		SBL No. <u>68.17-6-219,20,21&amp;22</u>
SURVEY OF: 22 Chateau Terrace, 4564 & 4548 Main Street and 17 Fruehauf Avenue, Town of Amherst		

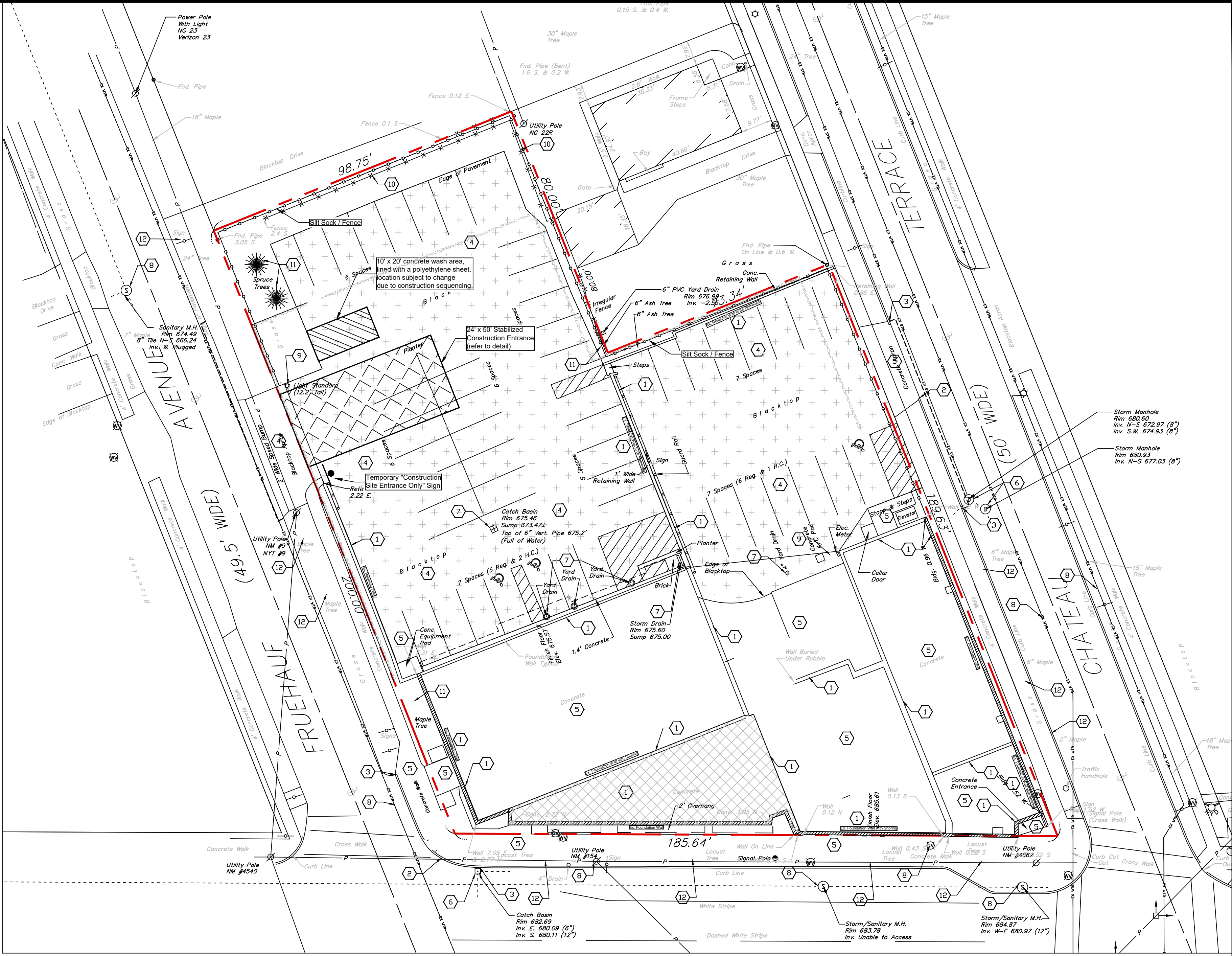


DEMOLITION & EROSION NOTES:

1. USE NOTED ENTRANCE FOR CONSTRUCTION ENTRANCE
2. INSTALL TEMPORARY EROSION CONTROL DEVICES AS DIRECTED WITHIN THE WORKING AREA TO PREVENT SEDIMENT MIGRATION. ALL EROSION CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS PROVIDED.
3. ALL EROSION CONTROL DEVICES SHALL BE REPLACED WHEREVER THEY BECOME INOPERABLE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS.
5. THE CONTRACTOR MUST CONTROL DUST DURING CONSTRUCTION, DURING EARTHWORK OPERATIONS, WATER-SPREADING EQUIPMENT SHALL BE PROVIDED BY THE CONTRACTOR, AND WATER SPREAD AS NECESSARY AND AS DIRECTED IN ORDER TO CONTROL DUST.
6. DIRT OR DEBRIS LEFT ON LOCAL PUBLIC ROADS AS A RESULT OF THIS CONSTRUCTION PROJECT SHALL BE REMOVED AND ROAD SURFACES CLEANED BY THE CONTRACTORS ON A DAILY BASIS, OR MORE FREQUENTLY IF DEEMED NECESSARY.
7. ALL DISTURBED AREAS (EXCEPT AREAS TO BE PAVED OR BUILT UPON) SHALL BE TOPSOILED TO A MINIMUM OF 4" DEPTH AND SEEDED IMMEDIATELY AFTER FINE GRADING TAKES PLACE AND AS SOON AS PHYSICALLY POSSIBLE.
8. THE CONTRACTOR IS RESPONSIBLY FOR THE MAINTENANCE OF DOWNSTREAM STORM SEWERS, DITCHES AND CULVERTS. SILT BUILDUP FOUND TO BE A RESULT OF THIS SITE CONSTRUCTION WORK SHALL BE REMOVED FROM DOWNSTREAM CULVERTS, DETENTION PONDS, BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER OR CITY.
9. ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES AND MATERIALS SHALL BE IN PLACE PRIOR TO BEGINNING EARTHWORK OPERATIONS AND SHALL BE MAINTAINED UNTIL THE ALL GRADING WORKS ARE COMPLETE.

GENERAL NOTES:

1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
11. CONCRETE SIDEWALK SEALERS; (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES).
- 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
- 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (x1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APPX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (x1) COAT OF CHEMMASTERS - POLYSEAL EZ.
12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.
14. CONTRACTOR TO PROVIDE NEW PAVEMENT THAT CONFORMS TO THE GRADING PLAN WHILE MAINTAINING, AS A MINIMUM, THE EXISTING STONE BASE. THE MEANS AND METHODS OF OBTAINING NEW GRADES IS LEFT UP TO THE CONTRACTOR AND CAN BE OBTAINED VIA SHIMMING THE PAVEMENT AND THEN A NEW TOP COAT, REMOVING EXISTING ASPHALT PAVEMENT AND REGRADING EXISTING STONE BASE, A COMBINATION OF THESE TWO OR ANOTHER METHOD OF THE CONTRACTORS CHOOSING. FINAL PAVEMENT WORK PLAN SHALL BE PROVIDED TO OWNER AND ENGINEER FOR REVIEW AND APPROVAL.



DEMOLITION LEGEND:

- Property Line
- Existing Gas
- Existing Water
- Existing Overhead Utility
- Existing Sanitary
- Existing Storm
- Saw Cut Line
- Silt Fence/Sock
- Inlet Protection
- Existing Building / Foundations to be removed.
- Existing Asphalt Pavement to be Removed. Sub-base to be recycled, and reused to regrade area.

DEMOLITION NOTES:

1. Existing Building / Foundations to be Removed. Follow construction sequence for shoring removal of existing foundation walls.
2. Existing Curb to be removed
3. Limits of Curb Removal
4. Existing Asphalt Pavement to be removed and regraded (Refer to General Note 14)
5. Existing Concrete Sidewalk/ Pavement/ Structures to be removed.
6. Existing Storm Drainage/CB to remain and be protected during Construction.
7. Existing Storm Drainage/CB to be removed.
8. Existing Utility Structure to remain and be protected during Construction.
9. Existing Utility Structure to be removed.
10. Existing Fence to be removed.
11. Existing Landscaping to be removed.
12. Existing Landscaping to Remain and be protected during construction.

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS
2	05.27.2025	DZ	Coordination Notes
			and Town Comments

SPECIAL INFORMATION:

ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNER'S ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE

UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION #7209 OF THE STATE EDUCATION LAW.

CONSTRUCTION SET



PROPERTY NUMBER: #5202

AREA: -

Main St - Snyder  
4548-4564 Main St.  
Amherst, NY 14226

PROPOSED RETAIL

CONSULTANT

JAMES ALLEN RUMSEY  
ARCHITECT  
PREPARED FOR  
**BENDERSON DEVELOPMENT**  
570 DELAWARE AVE., BUFFALO, NY 14202  
(716) 886-0211

SEAL



TITLE:  
Demolition and  
Erosion Control  
Plan

SCALE:  
1" = 20'

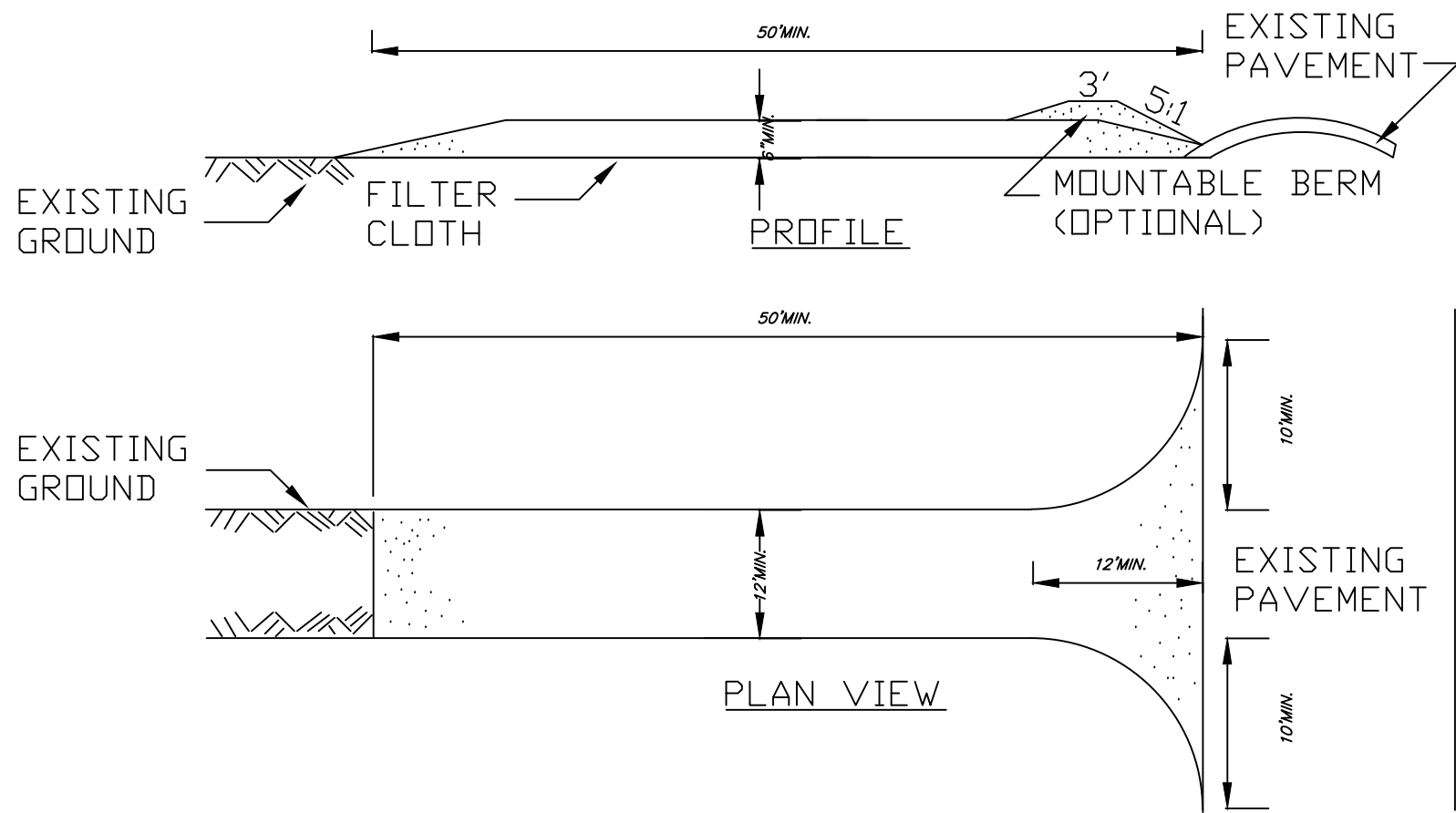
DRAWN BY:  
DMZ

CHECKED BY:  
MAO

DATE:  
04.16.2025

DRAWING NO.:  
**C3.0**

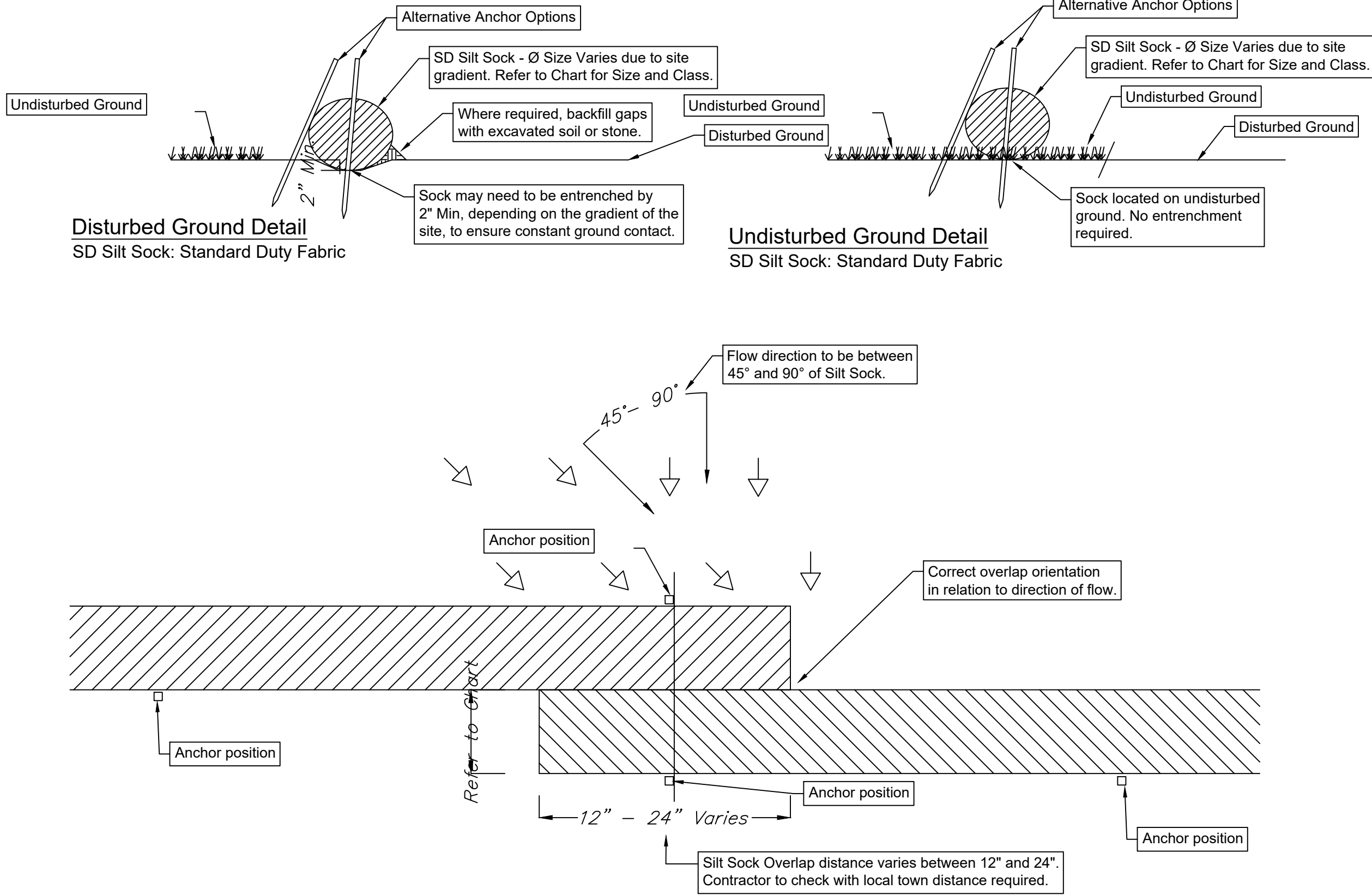
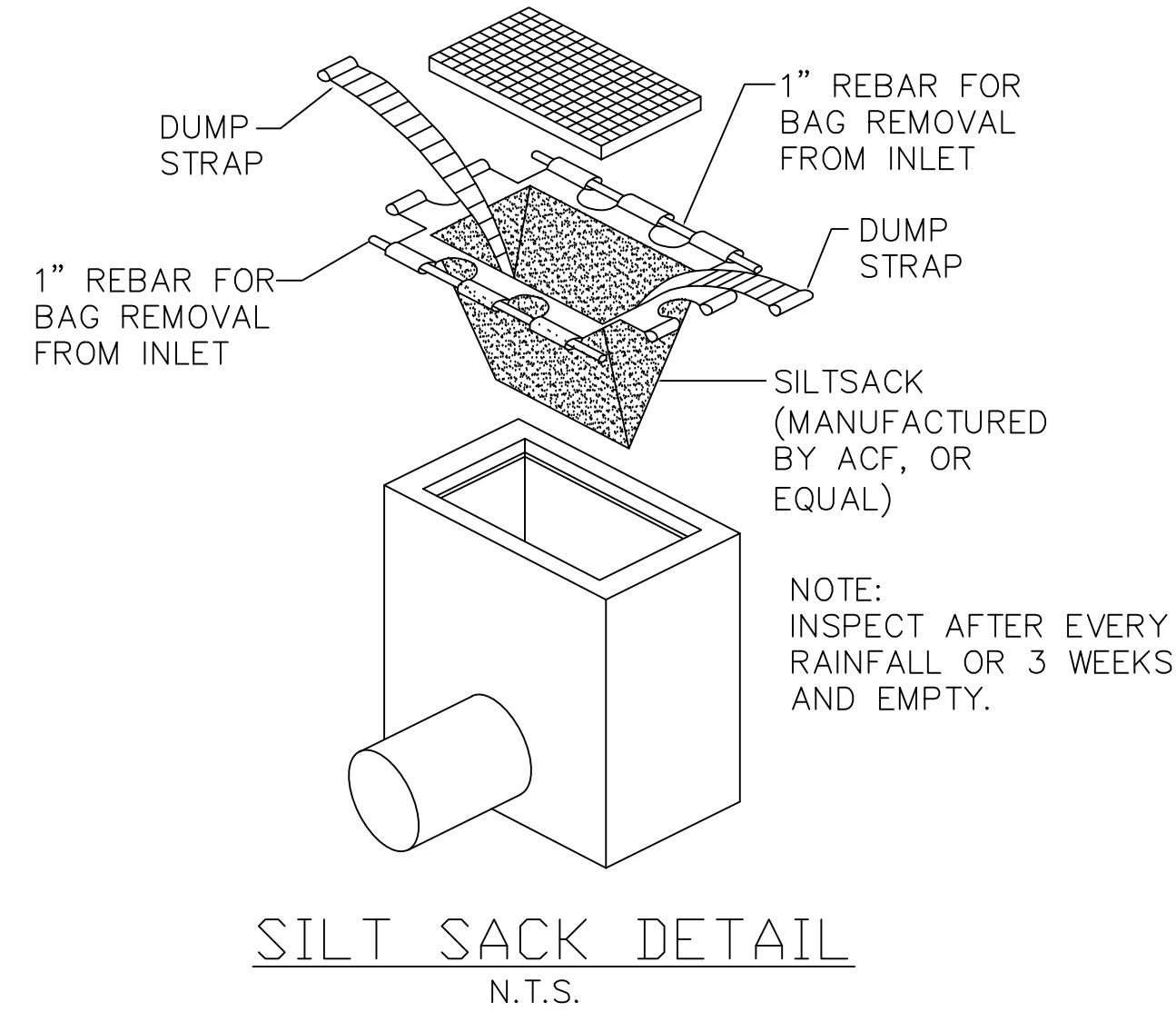
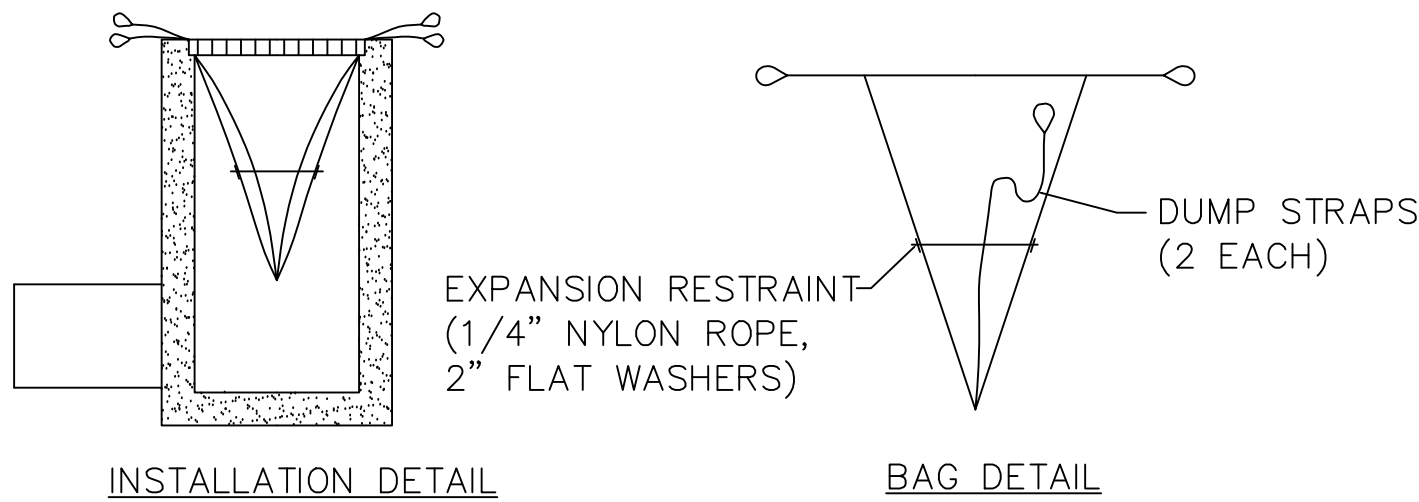




## STABILIZED CONSTRUCTION ENTRANCE DETAIL

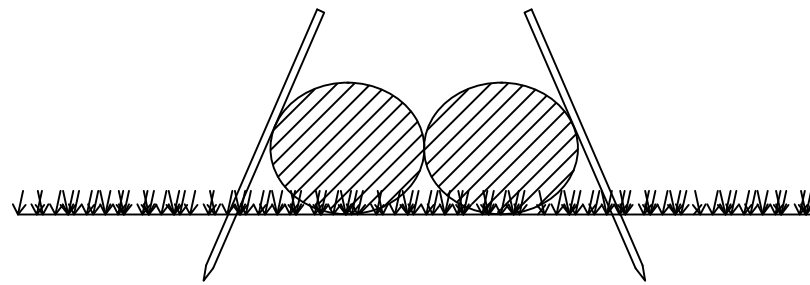
NOT TO SCALE

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



### Overlap Detail - PLAN

- 1) Anchors required at the overlap section are to stay outside the Silt Sock and not pierce through the material. See alternative anchor positons in details above.

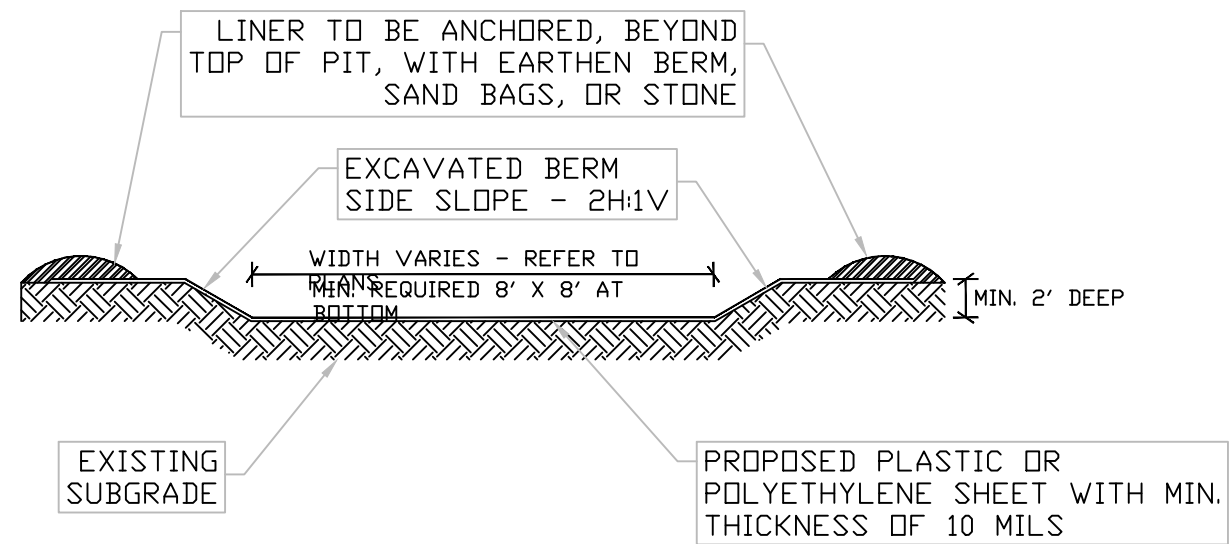


Anchor at Overlaped Ends - SECTION

Size & Class Chart			
	Diameter		
Gradient	8"	12"	18"
0 - 2%	30	55	75
2.1 - 5%	25	40	55
5.1 - 10%	15	30	40
10.1 - 33%	10	15	20
> 33%	5	10	15

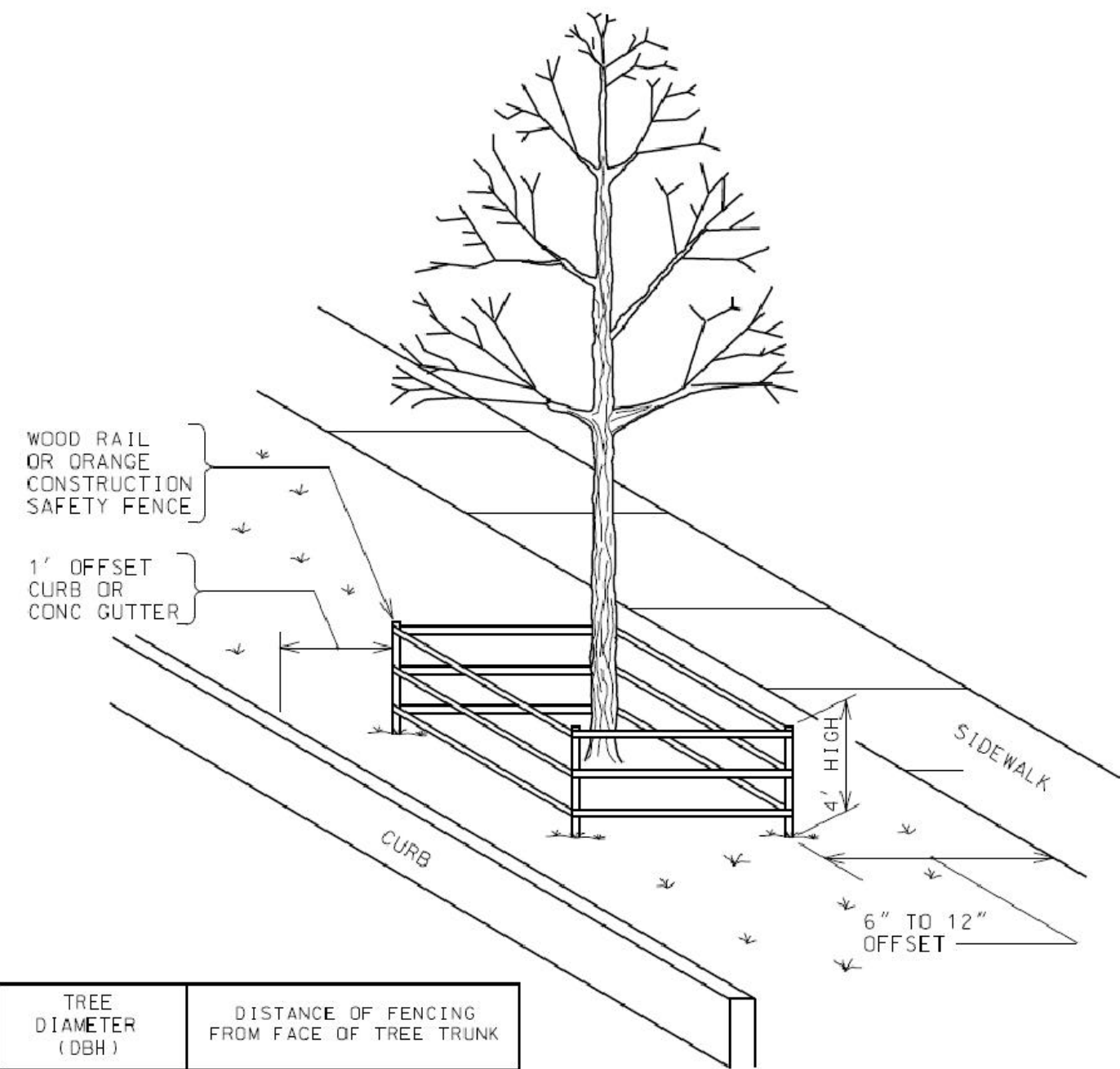
## SD SILT SOCK DETAIL

SD Silt Sock: Standard Duty Fabric



### TYPICAL CONCRETE WASH OUT DETAIL

NOTES:  
1. CONSTRUCT TO 2016 NYSDEC BLUE BOOK DESIGN CRITERIA



TREE DIAMETER (DBH)	DISTANCE OF FENCING FROM FACE OF TREE TRUNK
LESS THAN 10"	6'
10" - 14"	10'
15" - 19"	12'
20" OR MORE	15'

### NOTE:

1. ALL TREES WITHIN THE PROJECT LIMITS THAT ARE TO REMAIN ARE TO RECEIVE THIS TREATMENT.
2. DO NOT LEAVE CONSTRUCTION EQUIPMENT RUNNING (IDLING) UNDER TREE CANOPY.

### Notes:

- 1 - Do not use sock below the normal watermark or perpendicular to flow in river and where the maximum incline is greater than 50%.
- 2 - Contractors should be aware of federal, state and local laws, rules regulations or permit requirements for the use of Silt Socks on site.
- 3 - Sock should be positioned on the outline of the area to be protected, but must be installed between 45° to 90° from directions of flow.
- 4 - Sock may be required to be entrenched a minimum of 2" on disturbed ground to ensure constant ground contact.
- 5 - All gaps and ruts must be backfilled with soil or sock material.
- 6 - Sock overlap should be in the direction of the flow. Overlap amount will be between 12" and 24". Contractor to check with local town for requirements.
- 7 - If sediment collects to 1/2 the height of the sock, then a second sock may be stacked immediately up slope of the original instead of removing the sediment.
- 8 - Sock joint is where two sock sections meet on a level grade, overlap and adjoining ends, tightening the ends together, and anchoring through each end. Where two sections meet on un-level ground, j-hook higher elevated end, anchor, and begin new section just below. Back fill any gaps.
- 9 - Sock should be inspected and repaired as needed.
- 10 - If ruts begin under the sock they should be backfilled with soil and compacted so that the ground and sock have continuous contact.
- 11 - If sock rolls out of place, the sock should be repositioned and secured with additional anchors.
- 12 - Tears in the Sock fabric may be repaired by wrapping a new piece of fabric over the sock and securing, or by place a second sock immediately up slope with the required overlap beyond deformation.
- 13 - A section of sock should be replaced whenever it has weakened to such an extent that the efficiency is reduced or diminished. Weakening can occur because the natural mesh fabric breaks down over time of from being moved/dragged on site.
- 14 - Sock should be replaced when sediment has built up and has been removed three times.
- 15 - All sediment in disturbed area next to sock must be removed and correctly disposed of before the sock can be removed.
- 16 - When removing, cut sock open and spread the filler material around. The netting should be removed from site.
- 17 - Sock should be installed before works commence on site.

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

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### CONSTRUCTION SET



PROPERTY NUMBER:  
#5202

AREA:  
-

Main St - Snyder  
4548-4564 Main St.  
Amherst, NY 14226

PROPOSED RETAIL

### CONSULTANT

JAMES ALLEN RUMSEY  
ARCHITECT  
PREPARED FOR  
**BENDERSON DEVELOPMENT**  
570 DELAWARE AVE., BUFFALO, NY 14202  
(716) 886-0211

### SEAL



TITLE:

Demolition  
and Erosion  
Control Details

SCALE:

NTS

DRAWN BY:

DMZ

CHECKED BY:

MAO

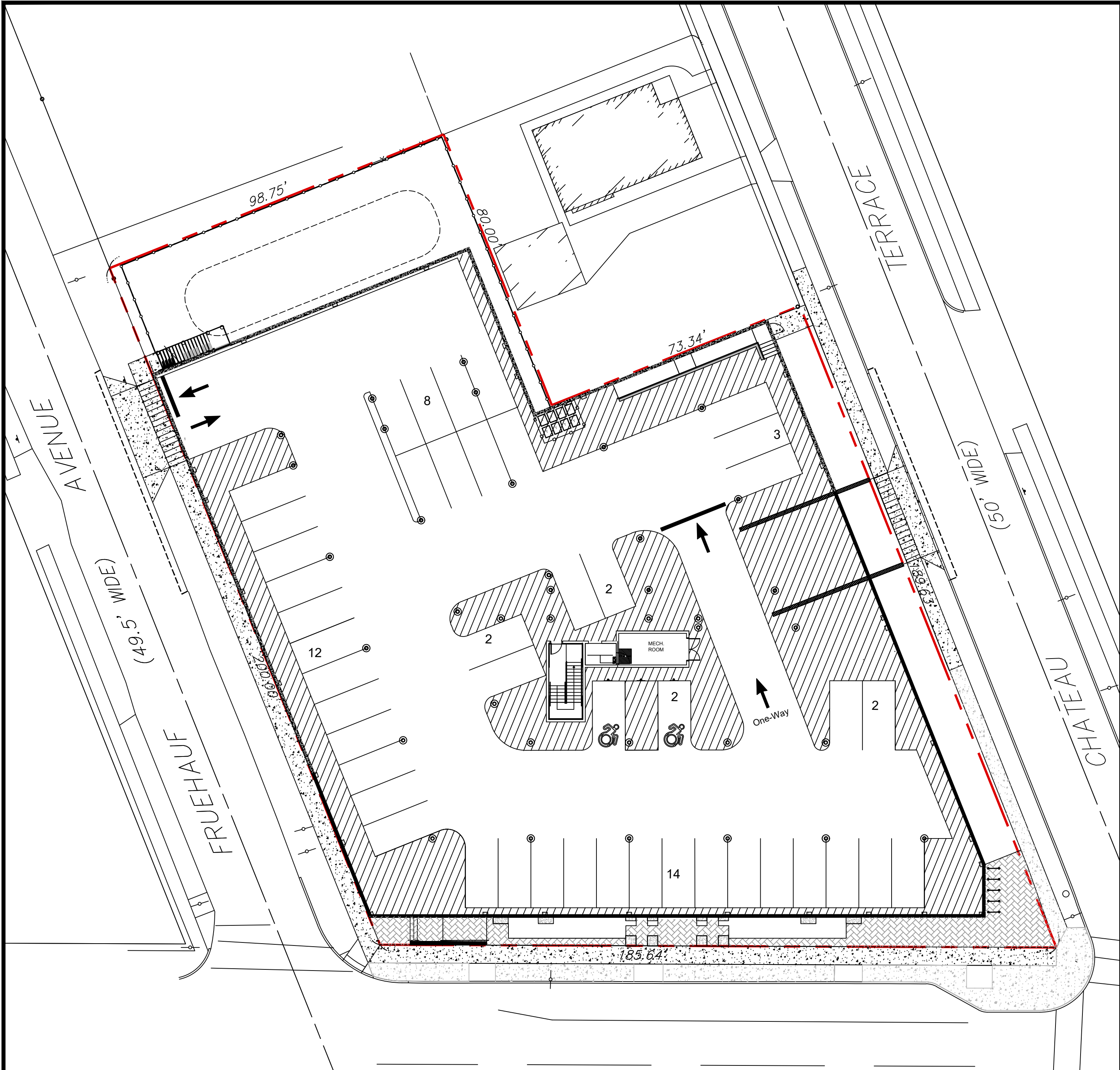
DATE:

04.16.2025

DRAWING NO.

C3.1



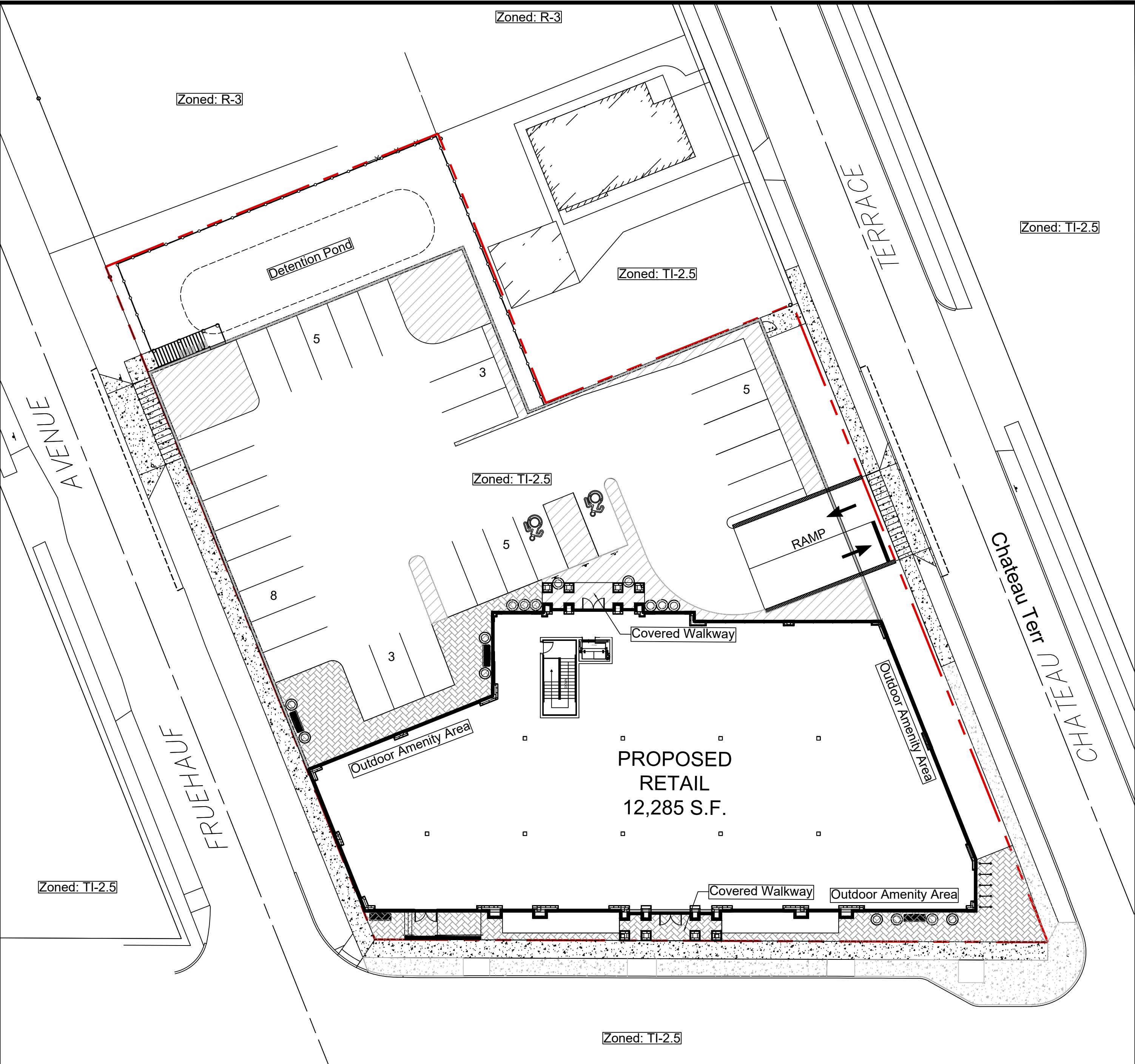


Basement Level

TOWN OF AMHERST, NY ZONING ANALYSIS		
	REQUIRED	PROVIDED
ZONED	TI-2.5 (Village Frontage)	TI-2.5 (Village Frontage)
5A-1-3: TI-2.5 Traditional Infill 2.5 Section		
LOT		
Area	0 S.F. min.	34,542 S.F.
Width	0' min.	170.7'
Outdoor Amenity Space w/ Green Space	10% min. = 3,454 S.F. 25% Min	3,590 S.F. = 10.4% 44.3%
BUILDING SETBACKS		
Building-to-zone	Refer to Section 5A-2 Infill Frontages	
Lot Frontage	Refer to Section 5A-2 Infill Frontages	
Common lot line	0' min.	0.2' (North Side)
Alley	5' min.	N/A
PARKING SETBACKS		
Primary and Side Street	Refer to Section 5A-2 Infill Frontages (below)	
Common lot line	0' min.	3.8' (North Side)
Alley	5' min.	N/A
BUILDING HEIGHT		
Top Plate Height	2 Stories / 24' max.	N/A
Building Height	2.5 Stories / 35' max.	35'-0"
Roof Pitch	18:12 max.	18:12
BUILDING LENGTH	Refer to Section 5A-2 Infill Frontages (below)	168.5'
STORY HEIGHT	Refer to Section 5A-2 Infill Frontages (below)	16.5'

5A-2-4: Village Frontage		
BUILDING SETBACKS		
Build-to zone	0' min./10' max.	0.0'
Street Frontage:		
Front: Main Street	90% min.	90.9% (169.1)
Side: Fruehauf Ave		80.3% (160.6 / 200)
Side: Chateau Terr.		92.0% (174.4/169.6)
PARKING SETBACKS		
Street	20' min.	52.8' (Main Street)
BUILDING MASS		
Street facing building length:		
Front: Main Street	200' max.	168.5'
STORY HEIGHT		
Ground floor elevation	0' min. / 2' max.	0.0'
Ground story height	13' min.	16.5'
Upper story height	9' min.	12.5'
TRANSPARENCY		
Ground story	70% min.	70.1%
Upper story	20% min.	41.0%
Blank wall length	15' max.	4.0'
PEDESTRIAN ACCESS		
Street facing entrance	Required	Complies
Entrance spacing	50' max.	Complies
STREETSCAPE		
Clear pedestrian zone	10' min.	10.3' Total - Existing Condition
Curb zone	6' min.	
Tree planting type	Grates	Complies
Tree spacing	35' on-center avg.	Existing: 33.3' c-c Average

 Proposed Outdoor Amenity Space



Ground Level

PROPOSED PARKING ANALYSIS TI-2.5			
USE	CODE	REQUIRED	PROVIDED
RETAIL	2.5/1000 SF	12,285 sqft / 1000 x 2.5 = 31 SPACES	74 SPACES
Bike Rack	1/3000 SF	12,285 sqft / 3000 = 5 SPACES	5 SPACES
STALL SIZE		9'x19'	9'x19'

OFFICIAL TOWN USE ONLY

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No.	DATE	BY	REMARKS
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CONSTRUCTION SET



PROPERTY NUMBER: #5202  
AREA: -

**Main St - Snyder**  
**4548-4564 Main St.**  
**Amherst, NY 14226**

**PROPOSED RETAIL**

CONSULTANT

JAMES ALLEN RUMSEY  
ARCHITECT  
PREPARED FOR

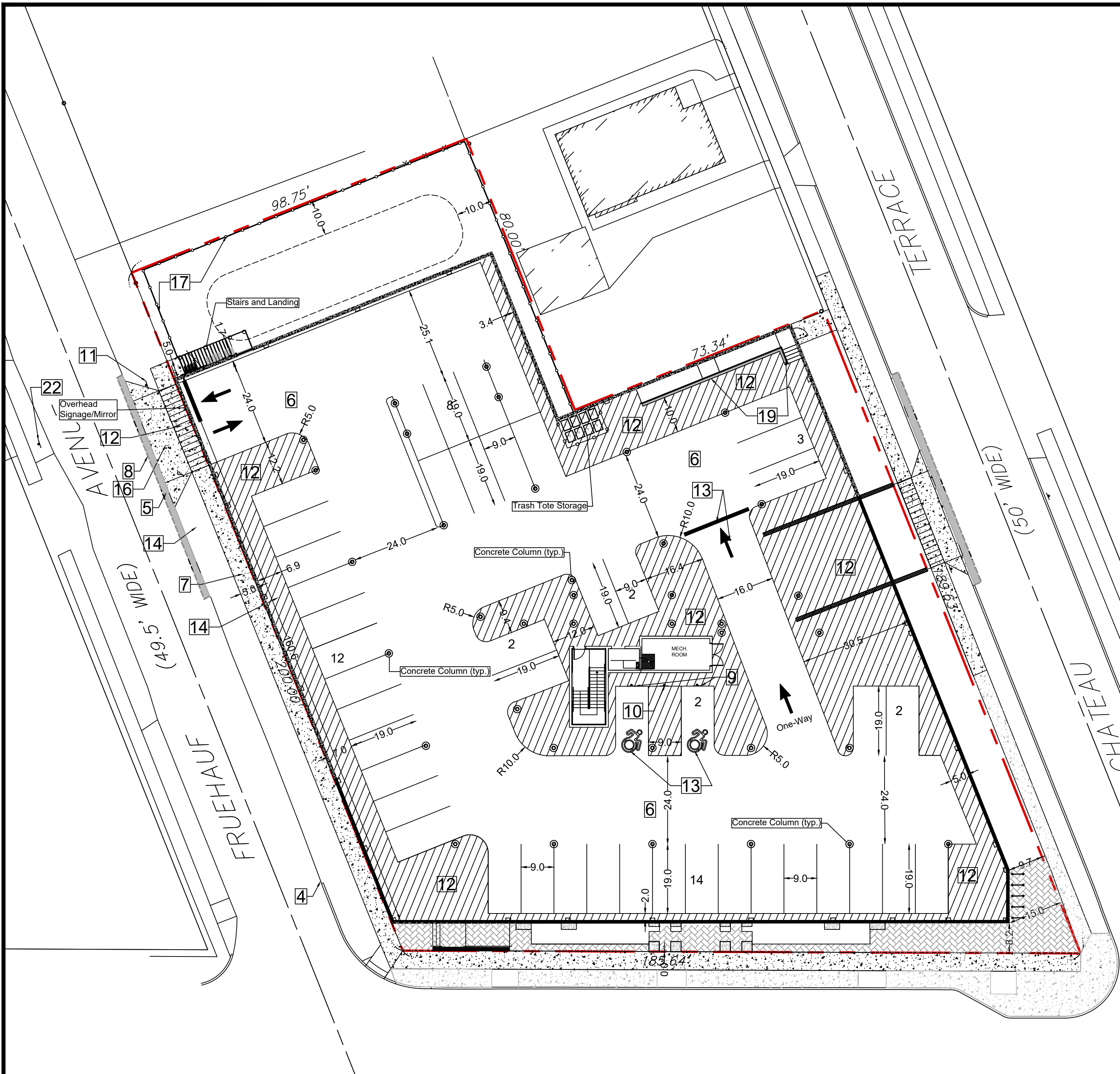
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SEAL

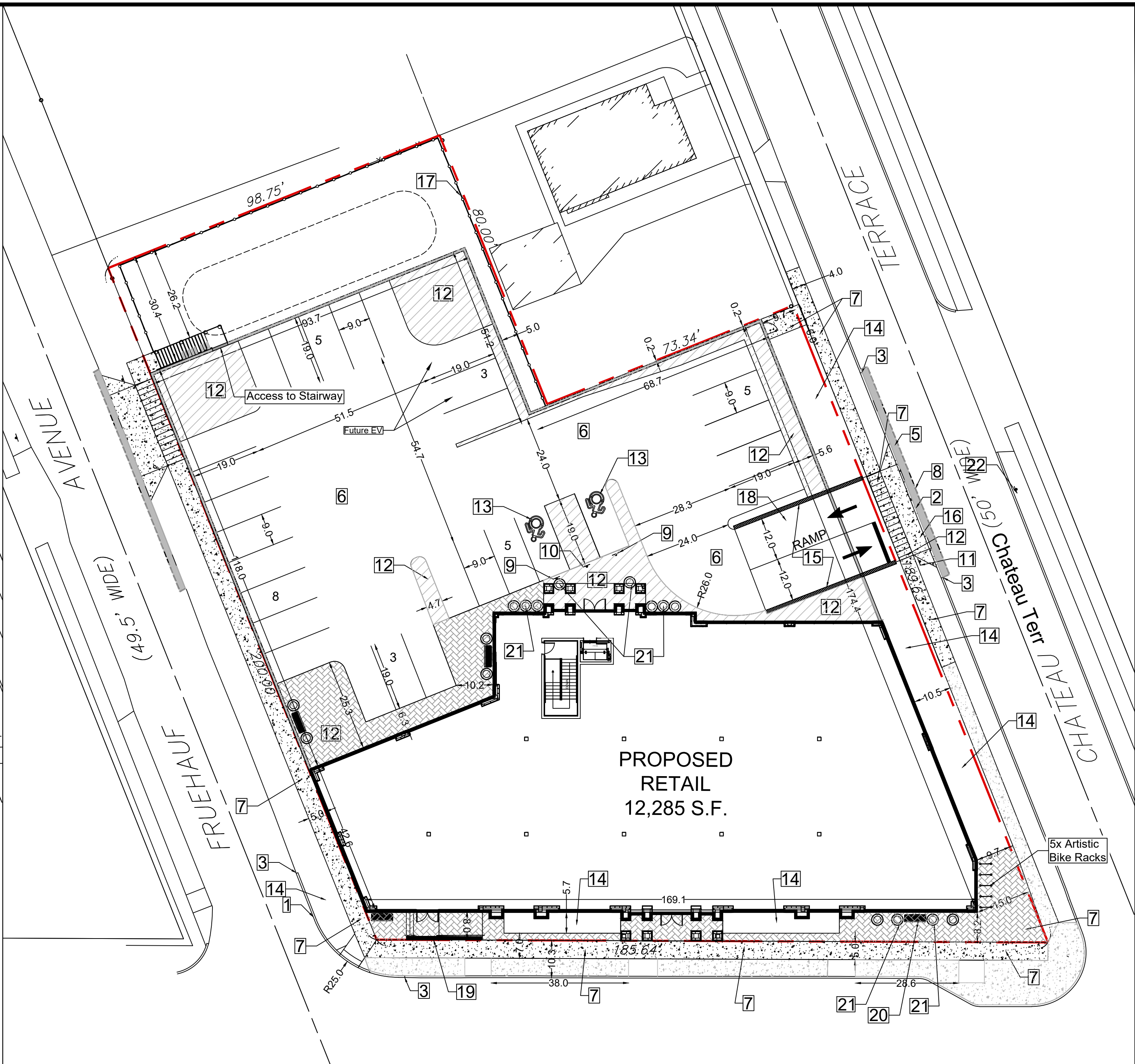


TITLE: Overall Site Plan  
SCALE: 1" = 20'  
DRAWN BY: DMZ  
CHECKED BY: MAO  
DATE: 04.16.2025  
DRAWING NO. C4.0





Basement Level



Ground Level

GENERAL NOTES:

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10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
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12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.
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**SITE LEGEND:**

- Property line
- 6" Curb (typ.)
- Proposed sign & pole
- Proposed Concrete Sidewalk
- Existing Concrete Sidewalk
- \*All Parking Surfaces within building footprint shall be concrete. Refer to Structural Drawings
- Proposed Asphalt Pavement
- Proposed Outdoor Amenity Space (Paver Surface)

\* Refer to General Notes, Construction Details and Architectural Plans for Concrete Sealer information.

- SITE NOTES:**
1. Proposed 6" concrete Curb.
  2. Proposed Flush Concrete Curb.
  3. Match into Existing Curb or runoff over 2'.
  4. Proposed Edge of Pavement.
  5. Proposed Standard Duty Pavement.
  6. Proposed Concrete Deck / Pavement. Refer to Structural Drawings
  7. Proposed Concrete/Paver Sidewalk.
  8. Match into Existing Pavement.
  9. Proposed "Handicapped Parking Only" sign.
  10. Proposed "No Parking" sign.
  11. Proposed STOP Sign.
  12. 4" Yellow Pavement Stripe (at 2' c-c in no parking zones).
  13. Proposed White Pavement symbol (stop bar, directional arrows, accessibility symbol, text)
  14. Proposed Landscape Area.
  15. Proposed Ramp Retaining Wall (Refer to Structural Plans)
  16. Proposed Concrete Driveway.
  17. Proposed Solid Composite Fence
  18. Proposed Heated Concrete Ramp
  19. Proposed Ramp/Stairs with retaining wall.
  20. Proposed Pedestrian Bench
  21. Proposed Circular Landscape Planter
  22. Traffic Signage (Restricted No Turn)

OFFICIAL TOWN USE ONLY

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**Amherst, NY 14226**

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CONSULTANT

JAMES ALLEN RUMSEY  
ARCHITECT  
PREPARED FOR

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570 DELAWARE AVE., BUFFALO, NY 14202  
(716) 886-0211

SEAL



TITLE: **Detailed Site Plan**

SCALE: 1" = 20'

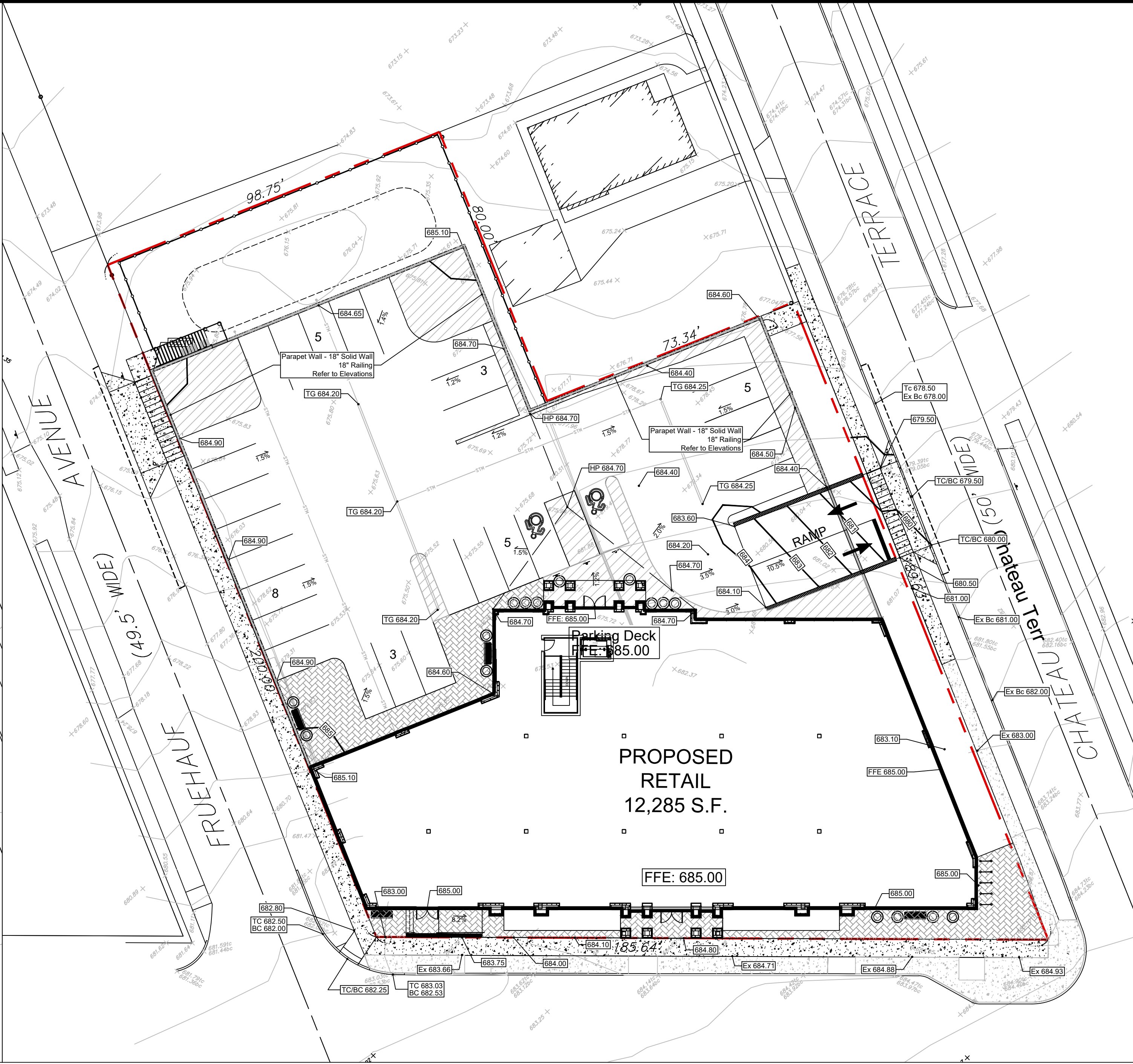
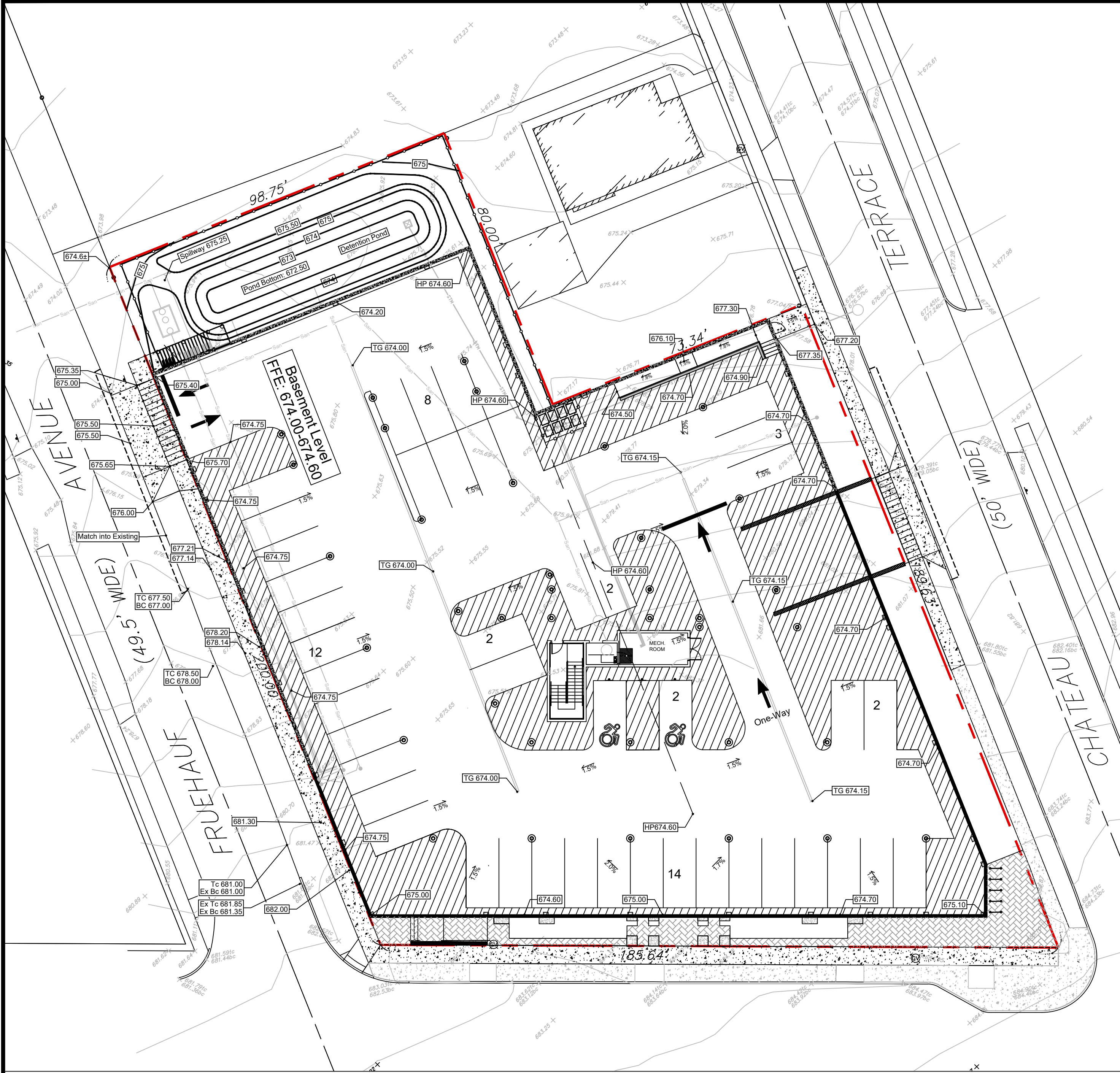
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DRAWING NO. **C4.1**







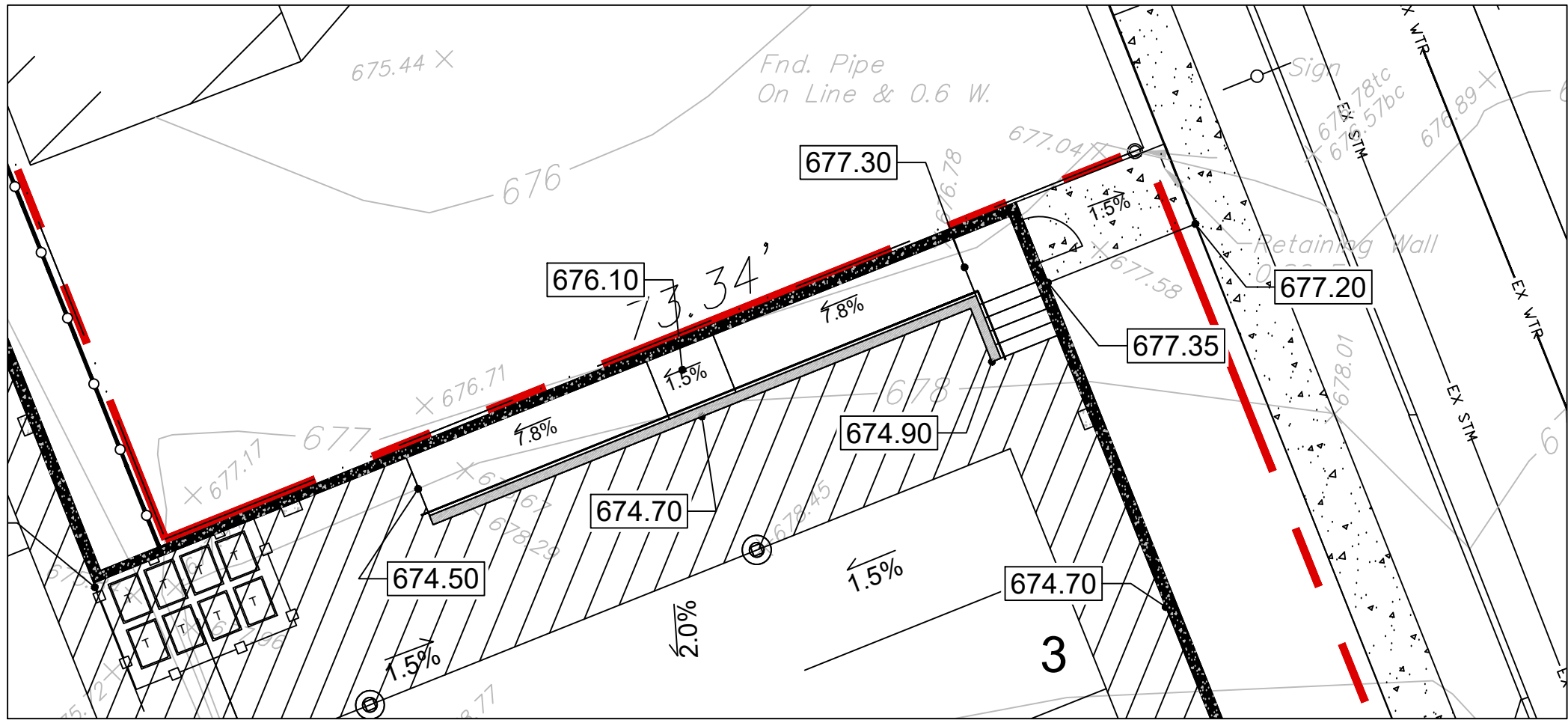


Basement Level

Ground Level

Events for Pond 1P: Proposed Stormwater Storage & Outlet						
Event	Inflow (cfs)	Outflow (cfs)	Primary (cfs)	Secondary (cfs)	Elevation (feet)	Storage (cubic-feet)
1-Year	1.71	0.87	0.87	0.00	673.58	468
2-Year	2.12	0.94	0.94	0.00	673.92	722
5-Year	2.64	1.01	1.01	0.00	674.32	1,075
10-Year	3.12	1.07	1.07	0.00	674.64	1,419
25-Year	3.85	1.14	1.14	0.00	675.08	1,977
50-Year	4.51	2.16	1.18	0.98	675.35	2,366
100-Year	5.29	3.95	1.20	2.76	675.46	2,525

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Basement Pedestrian Ramp  
Scale 1" = 10'

GRADING LEGEND:

- Property Line
- 6" Curb (typ.)
- Catch Basin - Top of Grade
- Proposed Contour Line
- Slope Direction

HOLD CRITICAL SLOPE - FINISHED FLOOR ELEVATION MUST BE VERIFIED AT EACH ENTRY DOOR PRIOR TO SETTING OF CONCRETE CURB FORMS TO VERIFY THAT SIDEWALK SLOPE DOES NOT EXCEED 1.5%.

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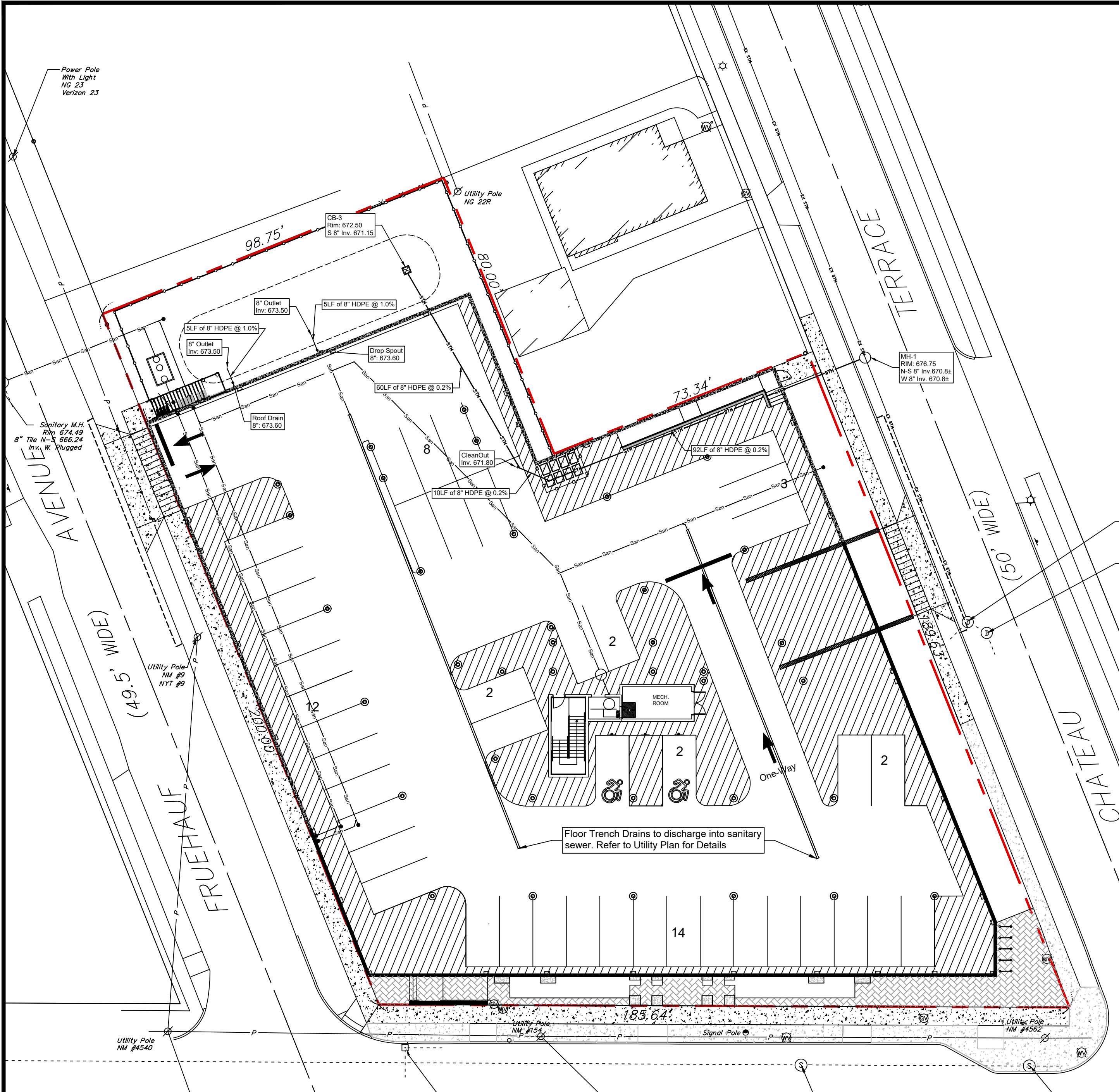
Grading Plan

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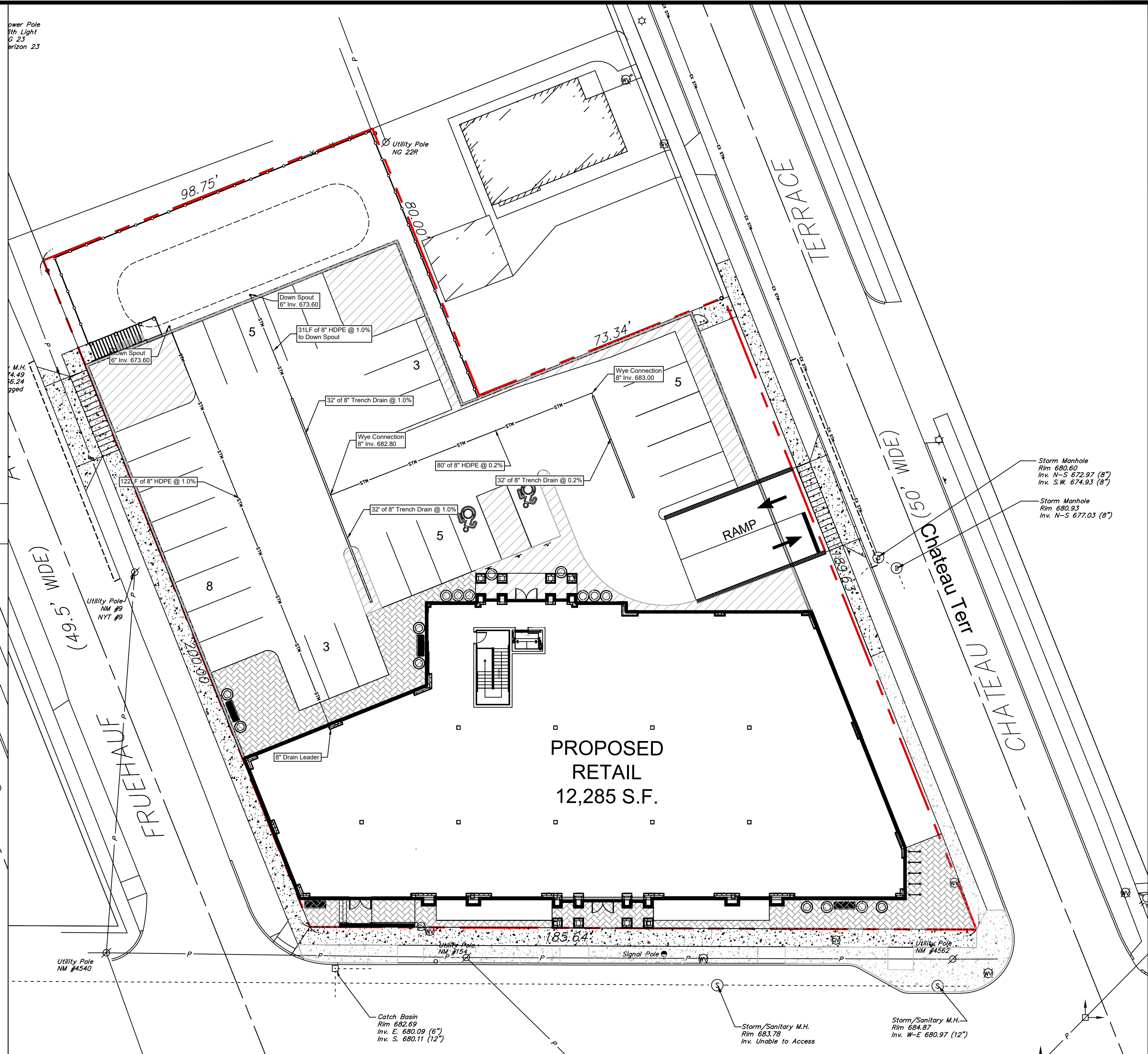
DRAWING NO.

C5.0





Basement Level



Ground Level

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1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
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  3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
  4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
  5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
  6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
  7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
  8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
  9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
  10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
  11. CONCRETE SIDEWALK SEALERS; (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES).
  - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
  - 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (x1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APPX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (x1) COAT OF CHEMMASTERS - POLYSEAL EZ.
  12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
  13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.
  14. CONTRACTOR TO PROVIDE NEW PAVEMENT THAT CONFORMS TO THE GRADING PLAN WHILE MAINTAINING, AS A MINIMUM, THE EXISTING STONE BASE. THE MEANS AND METHODS OF OBTAINING NEW GRADES IS LEFT UP TO THE CONTRACTOR AND CAN BE OBTAINED VIA SHIMMING THE PAVEMENT AND THEN A NEW TOP COAT, REMOVING EXISTING ASPHALT PAVEMENT AND REGRADING EXISTING STONE BASE, A COMBINATION OF THESE TWO OR ANOTHER METHOD OF THE CONTRACTORS CHOOSING. FINAL PAVEMENT WORK PLAN SHALL BE PROVIDED TO OWNER AND ENGINEER FOR REVIEW AND APPROVAL.

- DRAINAGE LEGEND:
- PROPERTY LINE
  - PROPOSED STORMWATER
  - 6" CURB TYP.
  - CO / WC PROPOSED STORM CLEAN OUT / WYE CONNECTION
  - CB - # PROPOSED CATCH BASIN

DRAWING REVISIONS:				
No.	DATE	BY	REMARKS	
1	04.29.2025	DZ	Arch Updates	
2	05.27.2025	DZ	Coordination Notes	
			and Town Comments	
3	06.04.2025	DZ	Town Meeting Update	
4	07.14.2025	DZ	Site Updates	

SPECIAL INFORMATION:

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SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE

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CONSTRUCTION SET

 **811**  
Know what's below.  
Call before you dig!

PROPERTY NUMBER: #5202

AREA:

**Main St - Snyder**  
**4548-4564 Main St.**  
**Amherst, NY 14226**

**PROPOSED RETAIL**

CONSULTANT

JAMES ALLEN RUMSEY  
ARCHITECT  
PREPARED FOR

**BENDERSON DEVELOPMENT**  
570 DELAWARE AVE., BUFFALO, NY 14202  
(716) 886-0211

SEAL



TITLE: **Drainage Plan**

SCALE: 1" = 20'

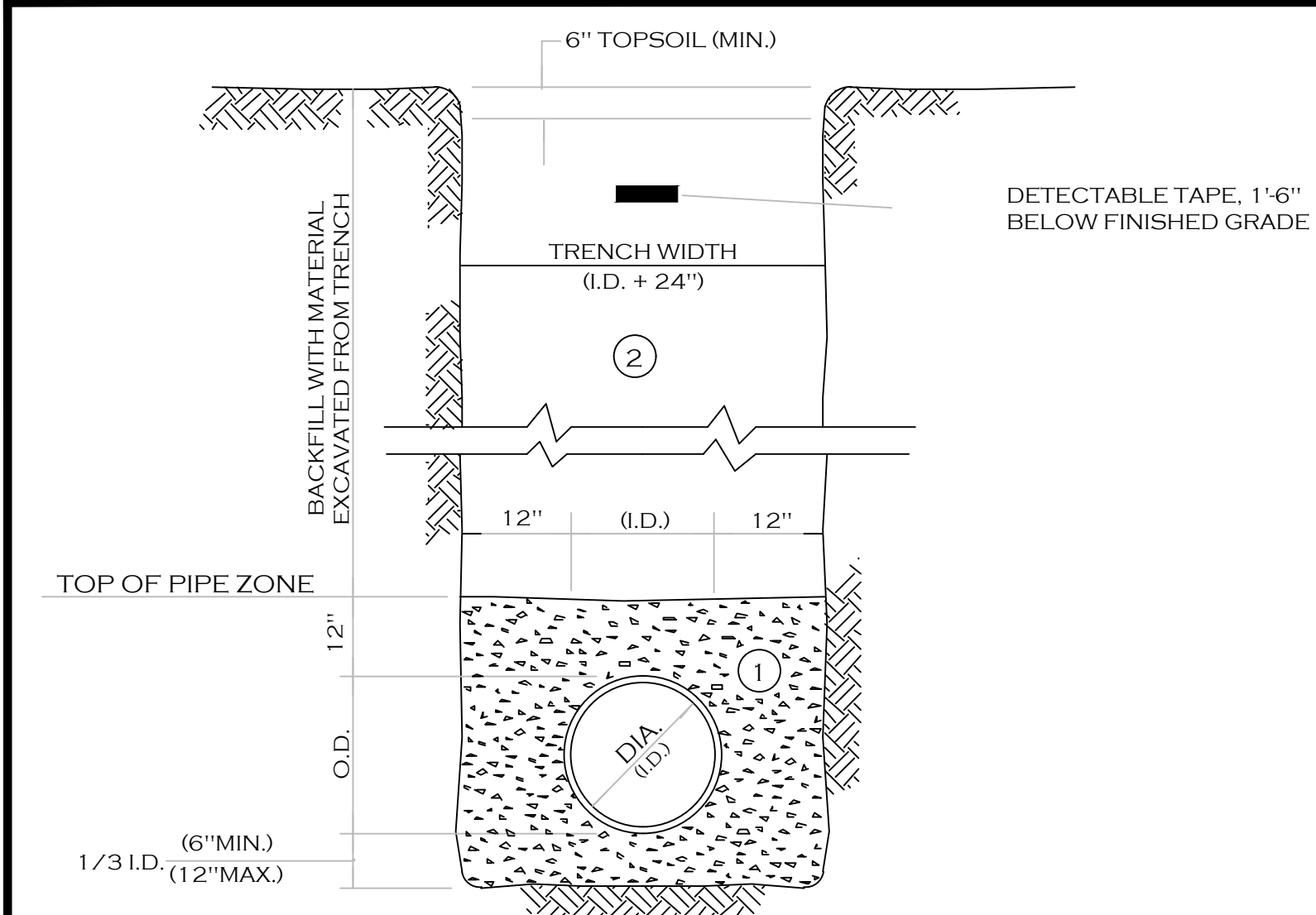
DRAWN BY: DMZ

CHECKED BY: MAO

DATE: 04.16.2025

DRAWING NO. **C5.1**



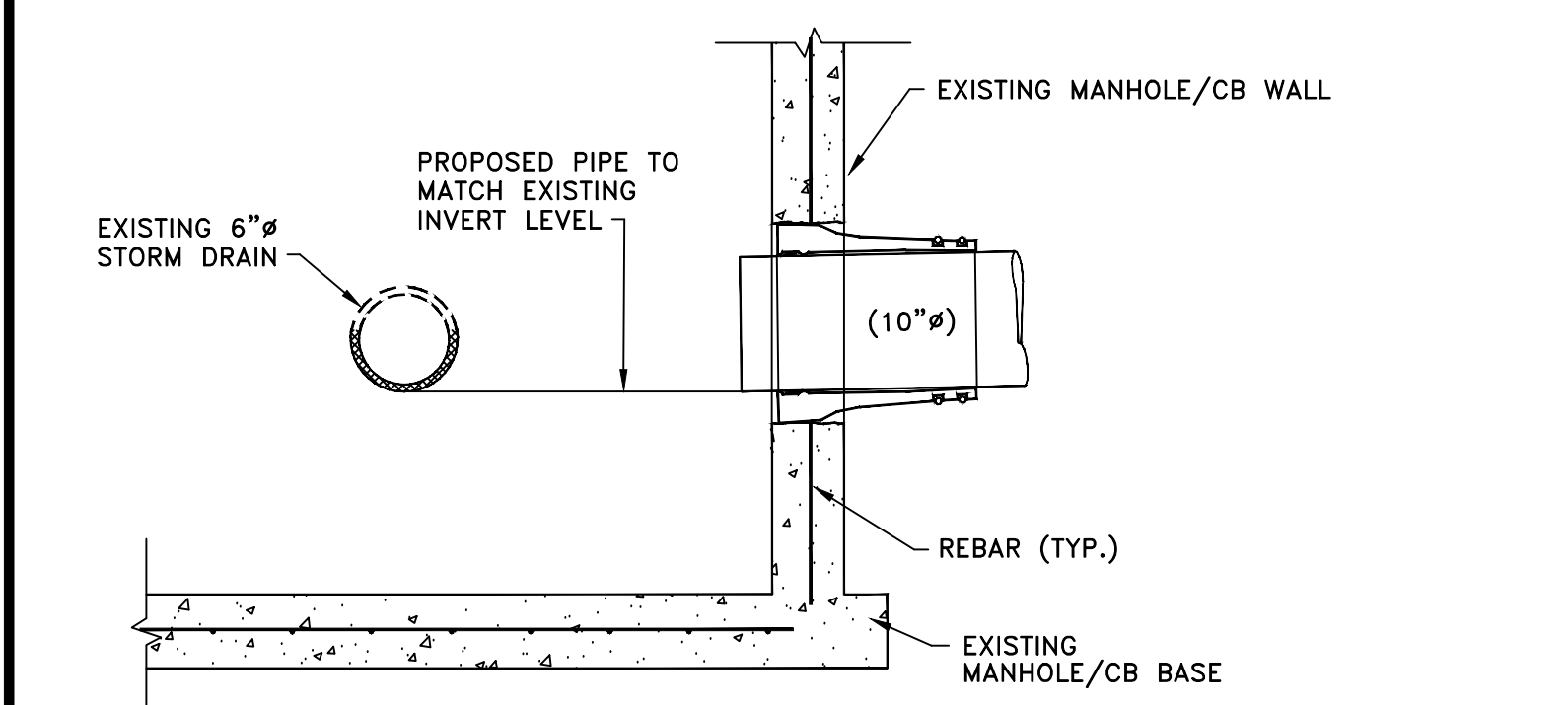


- NOTES:
- A. PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
  - B. TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
  - C. TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
  - D. AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS.

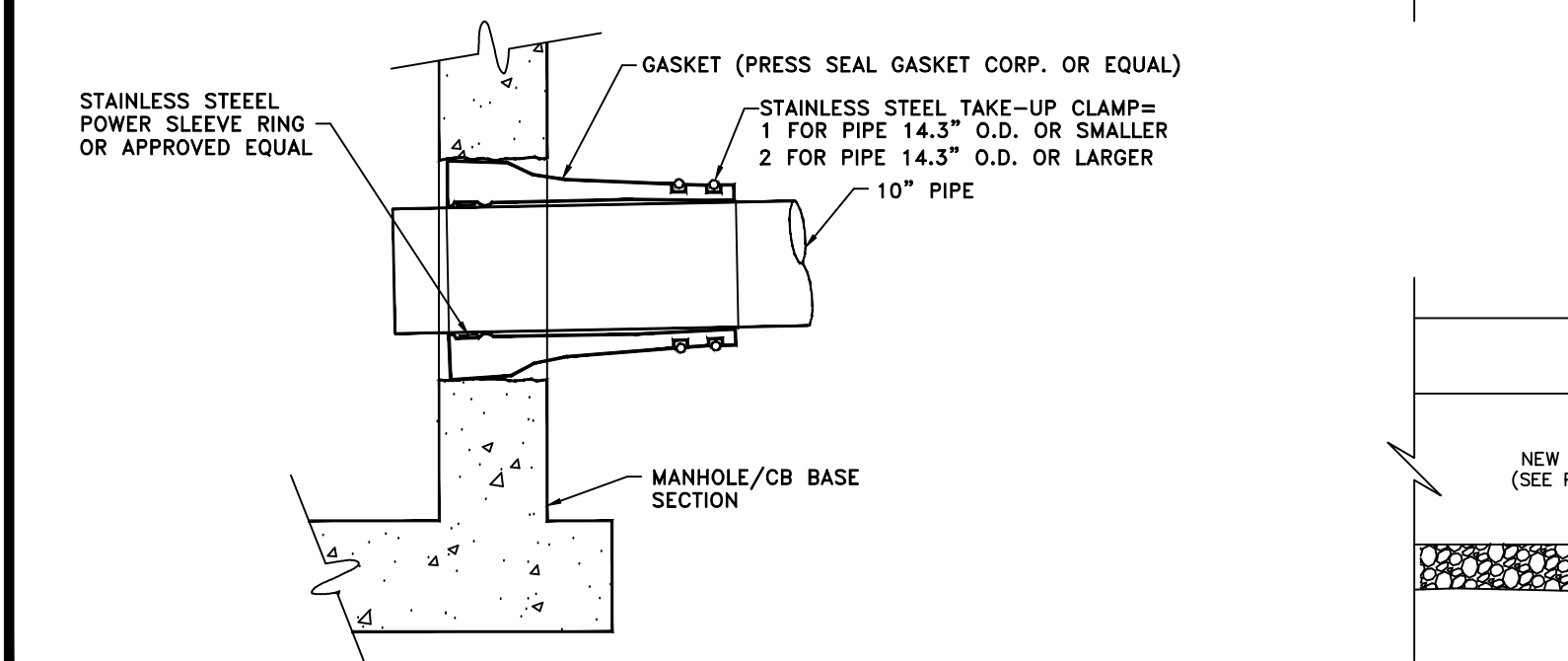
MATERIALS

- PIPE BEDDING MATERIAL (NYS DOT 1985 EDITION)
- 1 NO. 1 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYSDOT SECTION 703.02. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
  - NO SLAG SHALL BE ALLOWED FOR MATERIAL 1
  - 2 BACKFILL MATERIAL SHALL BE NATIVE SOIL CONTAINING NO UNSUITABLE MATERIAL COMPACTED IN 6" LIFTS.

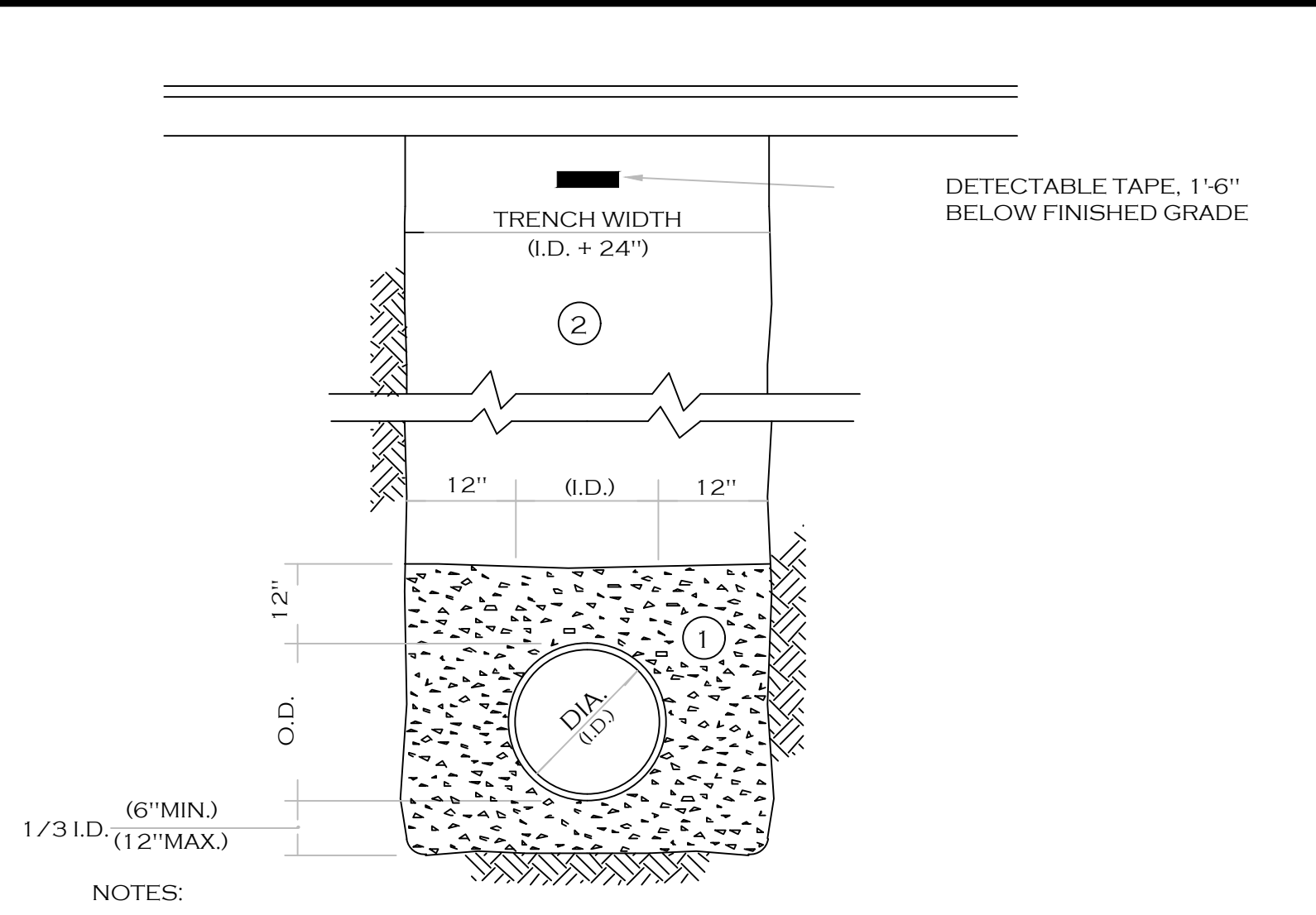
TRENCH SECTION IN UNPAVED AREAS



- NOTES:
- 1. CORE DRILL ENTRANCE HOLE IN PRECAST MANHOLE BARREL, BASE AND/OR BENCH FOR REQUIRED PIPE CLEARANCE. PER MANUFACTURERS RECOMMENDATIONS.
  - 2. DOES NOT APPLY TO HOUSE LATERALS.
  - 3. WATERTIGHT PIPE TO MANHOLE ROOT SEAL REQUIRED FOR ALL CORE DRILLED ENTRANCE HOLES IN MANHOLE BARREL AS SHOWN BELOW.



CONNECTION TO EXISTING MANHOLE/CB

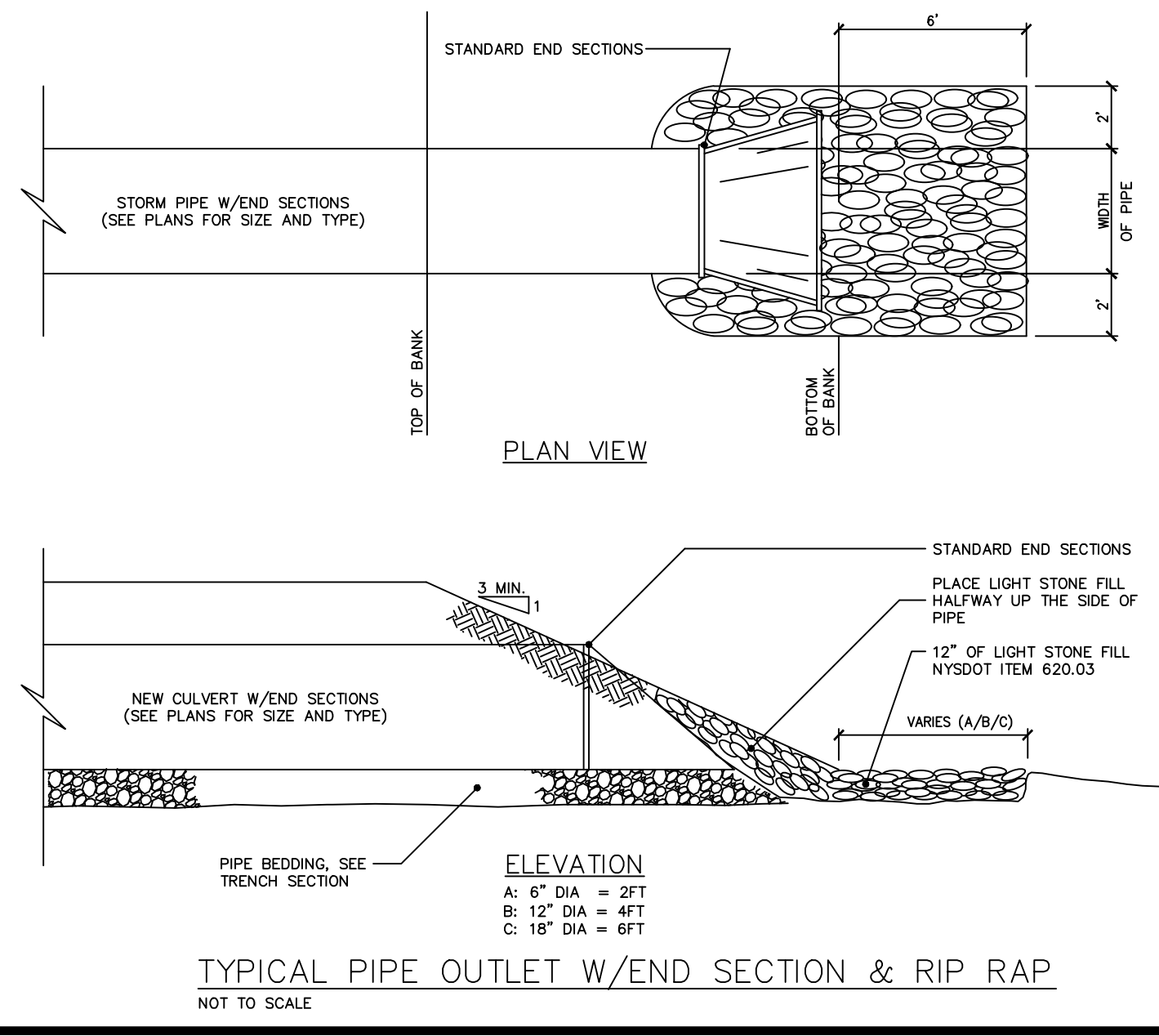


- NOTES:
- A. PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
  - B. TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
  - C. TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
  - D. AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS.

MATERIALS

- PIPE BEDDING MATERIAL (NYS DOT 1985 EDITION)
- 1 NO. 1 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYSDOT SECTION 703.02. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
  - NO SLAG SHALL BE ALLOWED FOR MATERIAL 1
  - 2 TYPE 2 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYSDOT SECTION 304.2.02 TYPE 2. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN TWO INCHES AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
  - NO SLAG SHALL BE ALLOWED FOR MATERIAL 2

TRENCH SECTION IN PAVED AREAS



Swift Drain Catalog

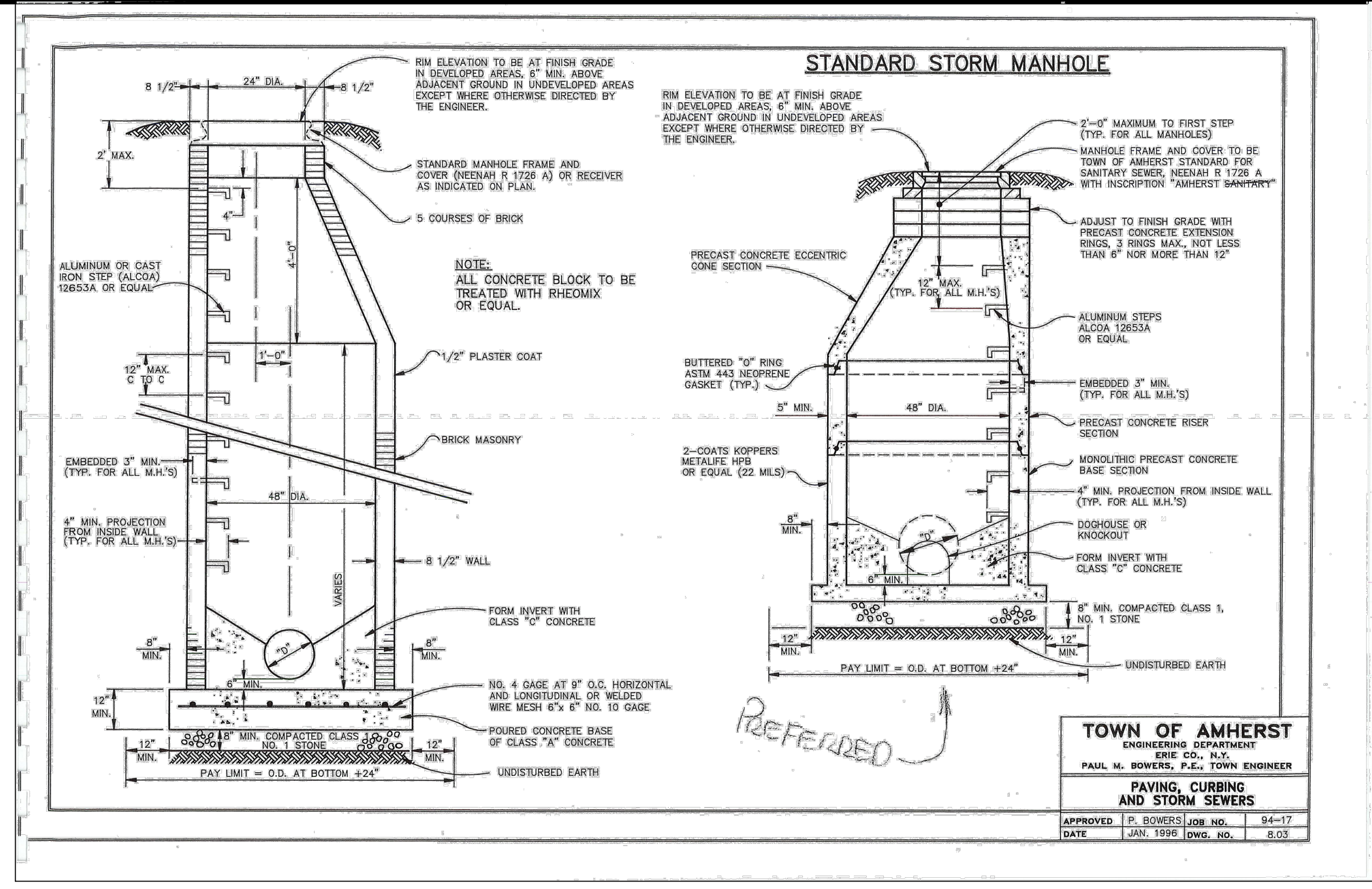
Material: Reinforced Concrete  
Load Class: C, D, E, F  
Width: 14.3"  
Length: 39.4"  
H-20 Rated: Yes

ALL DIMENSIONS ARE IN INCHES

Swift Drain  
240 Main Street  
Northport  
New York 11768  
Engineering: Tel: 1-800-690-3940  
Sales: Tel: 443-227-0919  
Email: design@swift drain.com  
www.swift drain.com

PROJECT: Swift Drain Catalog  
PART NUMBER: A200-P005  
REV: 200 HD-Channel

SCALE: 1/6  
DWG NO: 1  
REVISION: A



DRAWING REVISIONS:

No.	DATE	BY	REMARKS

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PROPERTY NUMBER: #5202 AREA: -

Main St - Snyder  
4548-4564 Main St.  
Amherst, NY 14226

PROPOSED RETAIL

CONSULTANT

JAMES ALLEN RUMSEY ARCHITECT  
PREPARED FOR  
**BENDERSON DEVELOPMENT**  
570 DELAWARE AVE., BUFFALO, NY 14202  
(716) 886-0211

SEAL

REGISTERED ARCHITECT  
JAMES ALLEN RUMSEY  
STATE OF NEW YORK

TITLE: Drainage Details

SCALE: NTS

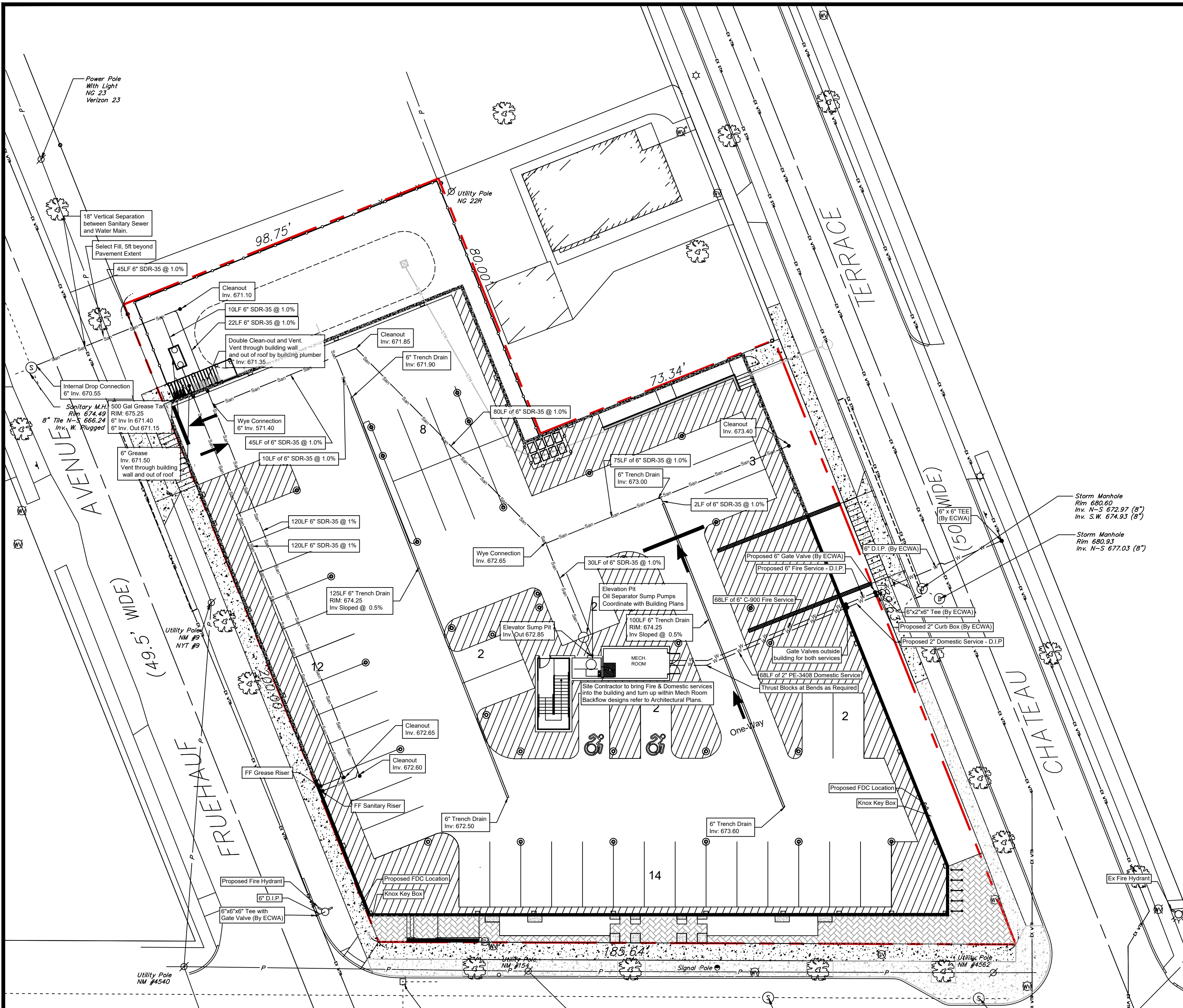
DRAWN BY: DMZ

CHECKED BY: MAO

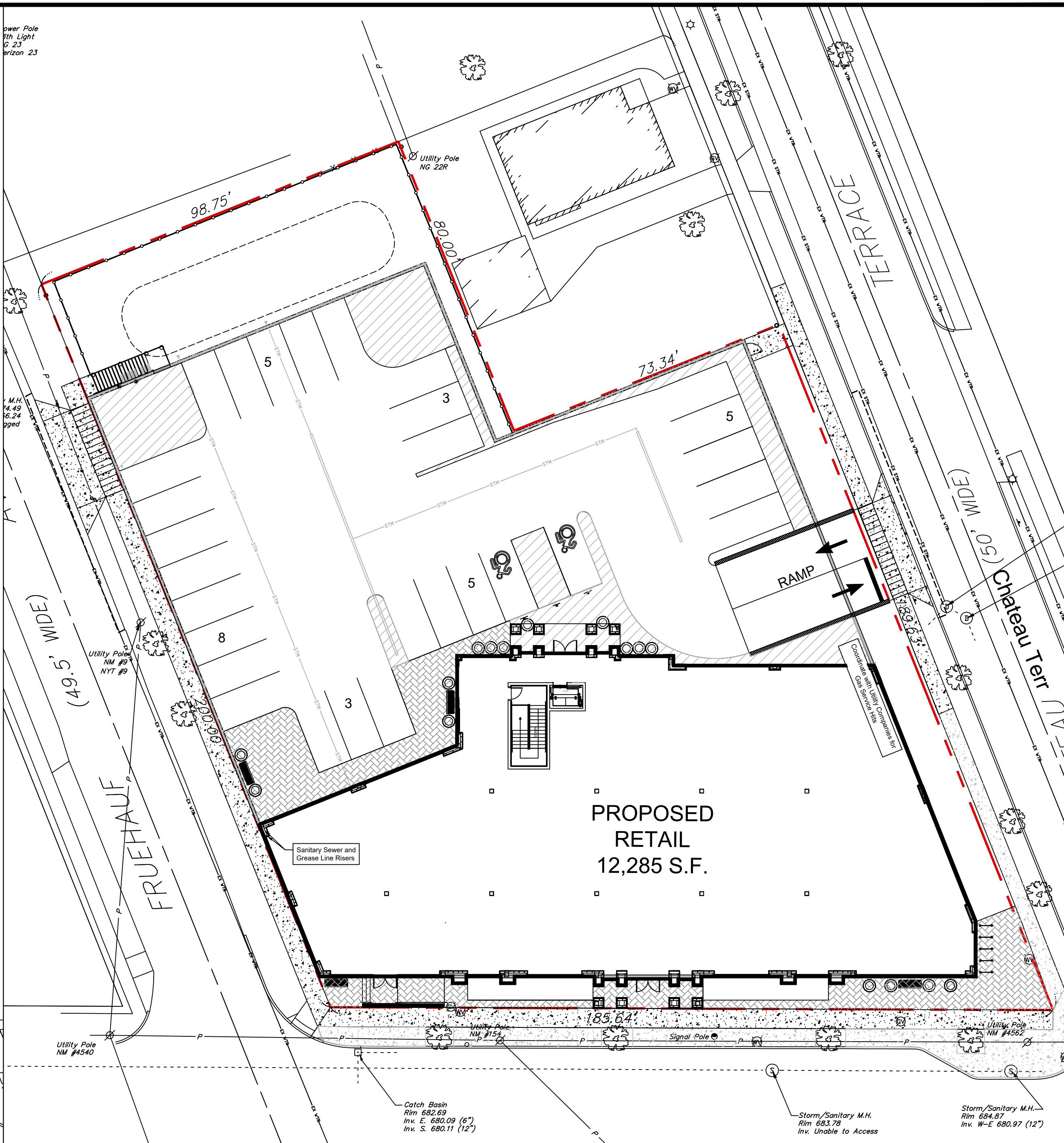
DATE: 04.16.2025

DRAWING NO. C5.2





Basement Level



Ground Level

- GENERAL NOTES:
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  10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
  11. CONCRETE SIDEWALK SEALERS; (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES).
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Sanitary Grease Trap Calculations  
2,000 Gal Grease Trap Utilized

Town Grease Sizing Requirement  
Peak Water Flows: 8.86 GPM  
8.86 GPM \* 30 MIN RETENTION  
= 266 Gals, 500 Gallons Min. required

Max Capacity Tank with 4" Ø Discharge = 2,000 Gals

DRAINAGE LEGEND:

- PROPERTY LINE
- STW --- PROPOSED STORMWATER
- 6" CURB TYP.
- CO / WC PROPOSED STORM CLEAN OUT / WYE CONNECTION
- CB - # PROPOSED CATCH BASIN

UTILITY LEGEND:

- PROPERTY LINE
- G --- PROPOSED GAS
- W --- PROPOSED WATER
- E --- PROPOSED ELECTRIC
- San --- PROPOSED SANITARY
- EX ELEC --- EXISTING ELECTRIC
- EX GAS --- EXISTING GAS
- EX WTR --- EXISTING WATER
- EX OH --- EXISTING OVERHEAD UTILITY
- EX SAN --- EXISTING SANITARY
- EX STW --- EXISTING STORM
- EX TC --- EXISTING TELECOMS

OFFICIAL TOWN USE ONLY

DRAWING REVISIONS:				
No.	DATE	BY	REMARKS	
1	04.25.2025	DZ	Arch Updates	
2	05.27.2025	DZ	Coordination Notes	
			and Town Comments	
4	07.14.2025	DZ	Site Updates	

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CONSTRUCTION SET



PROPERTY NUMBER: #5202  
AREA: -

Main St - Snyder  
4548-4564 Main St.  
Amherst, NY 14226

PROPOSED RETAIL

CONSULTANT

JAMES ALLEN RUMSEY  
ARCHITECT  
PREPARED FOR  
**BENDERSON DEVELOPMENT**  
570 DELAWARE AVE., BUFFALO, NY 14202  
(716) 886-0211

SEAL



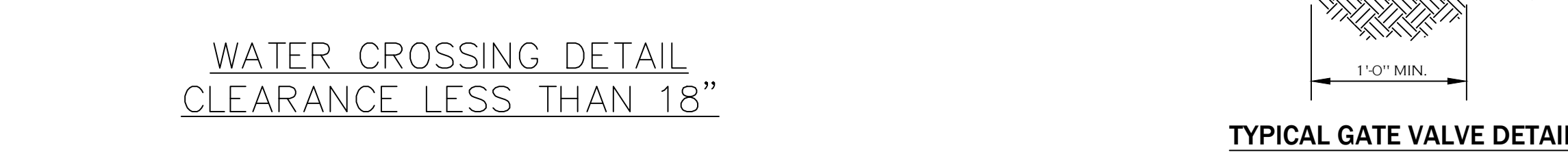
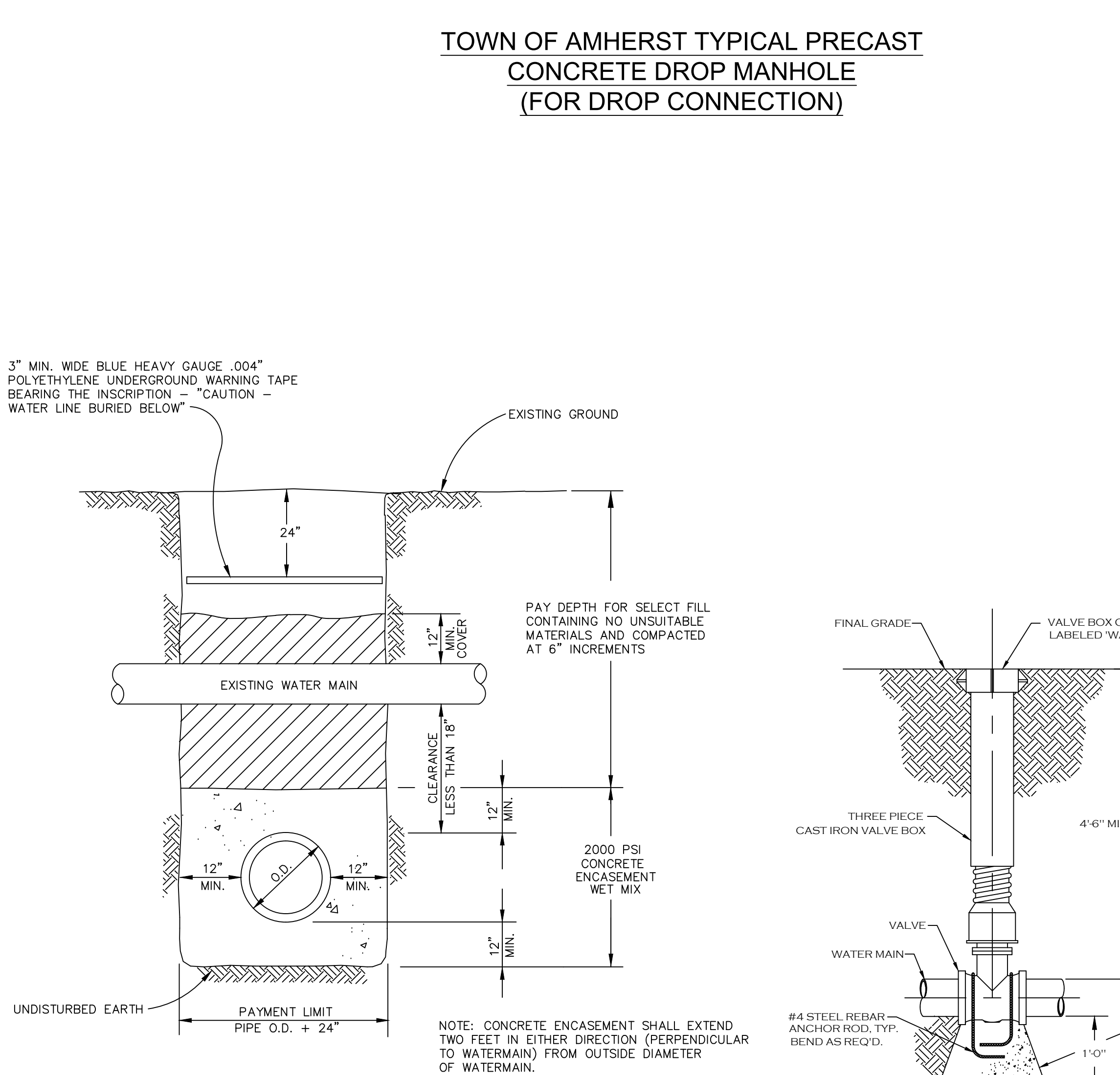
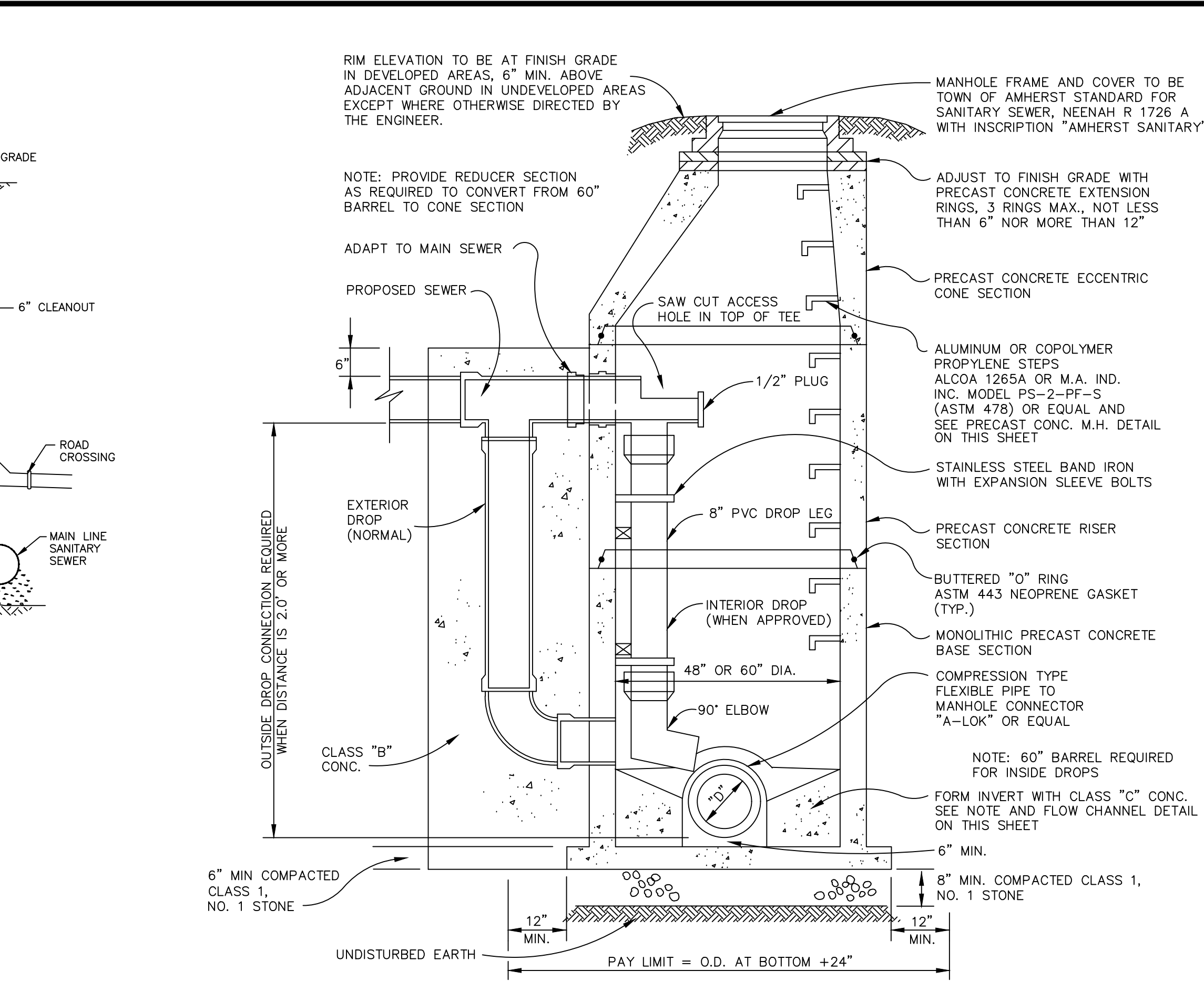
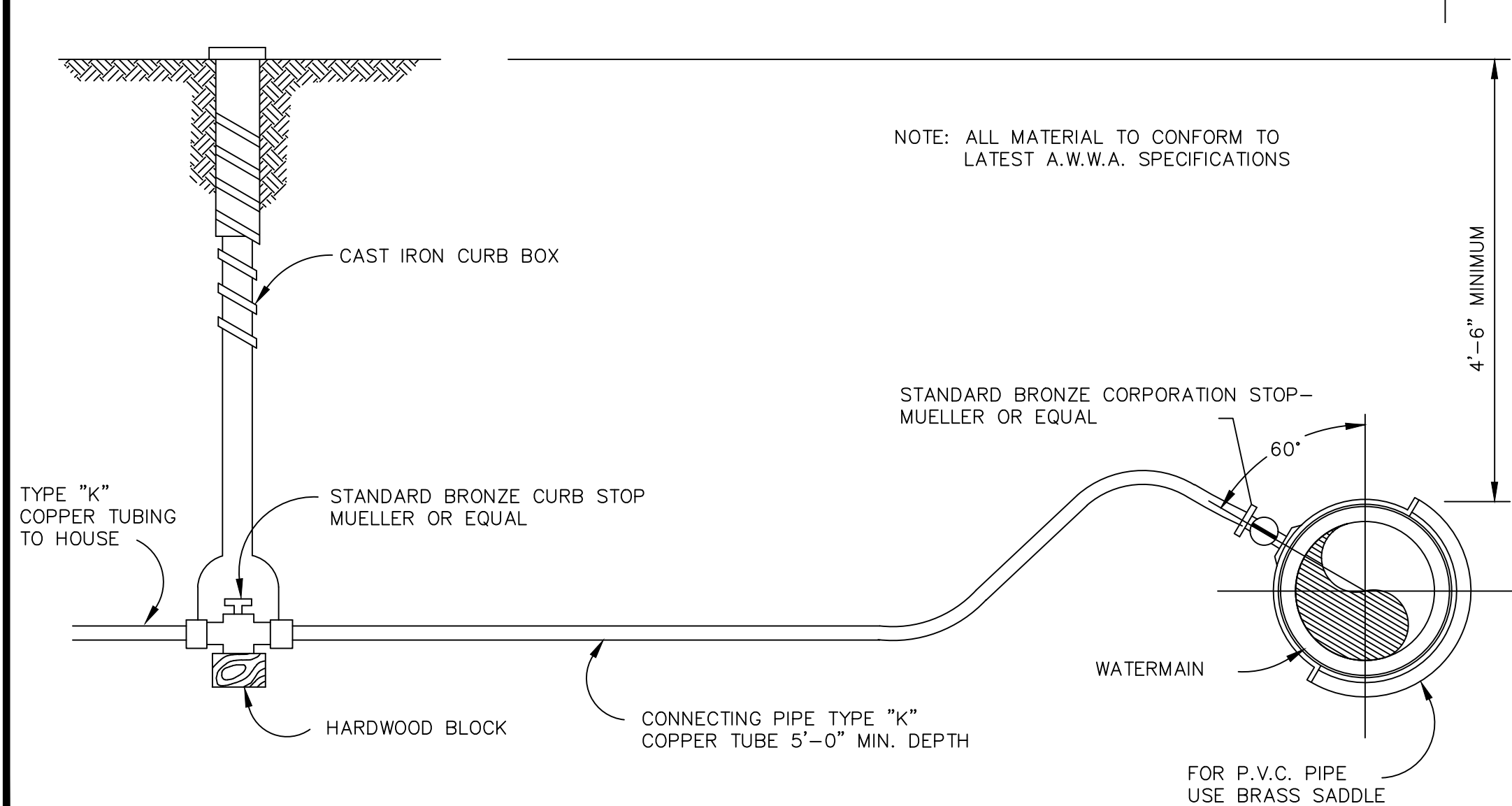
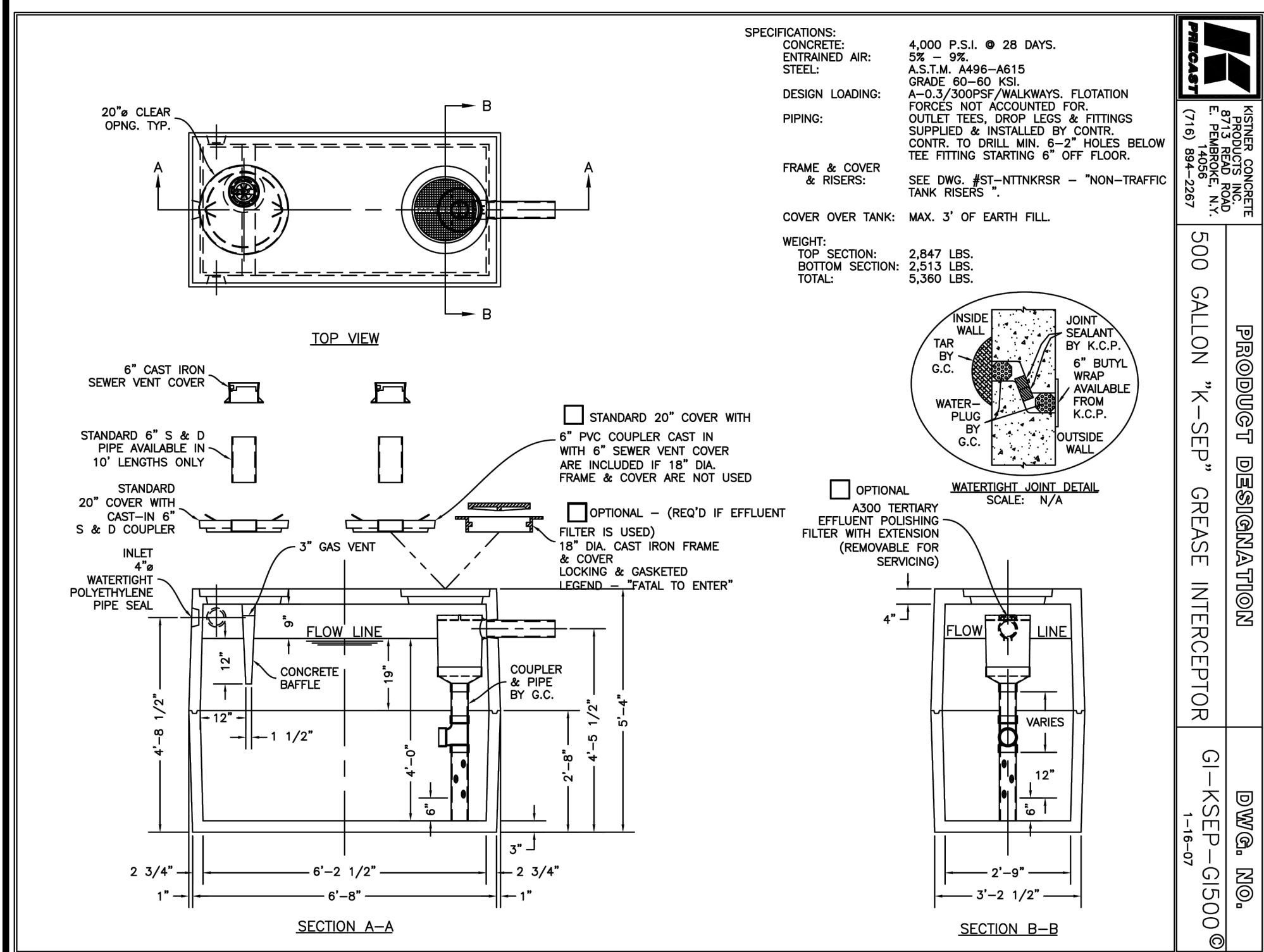
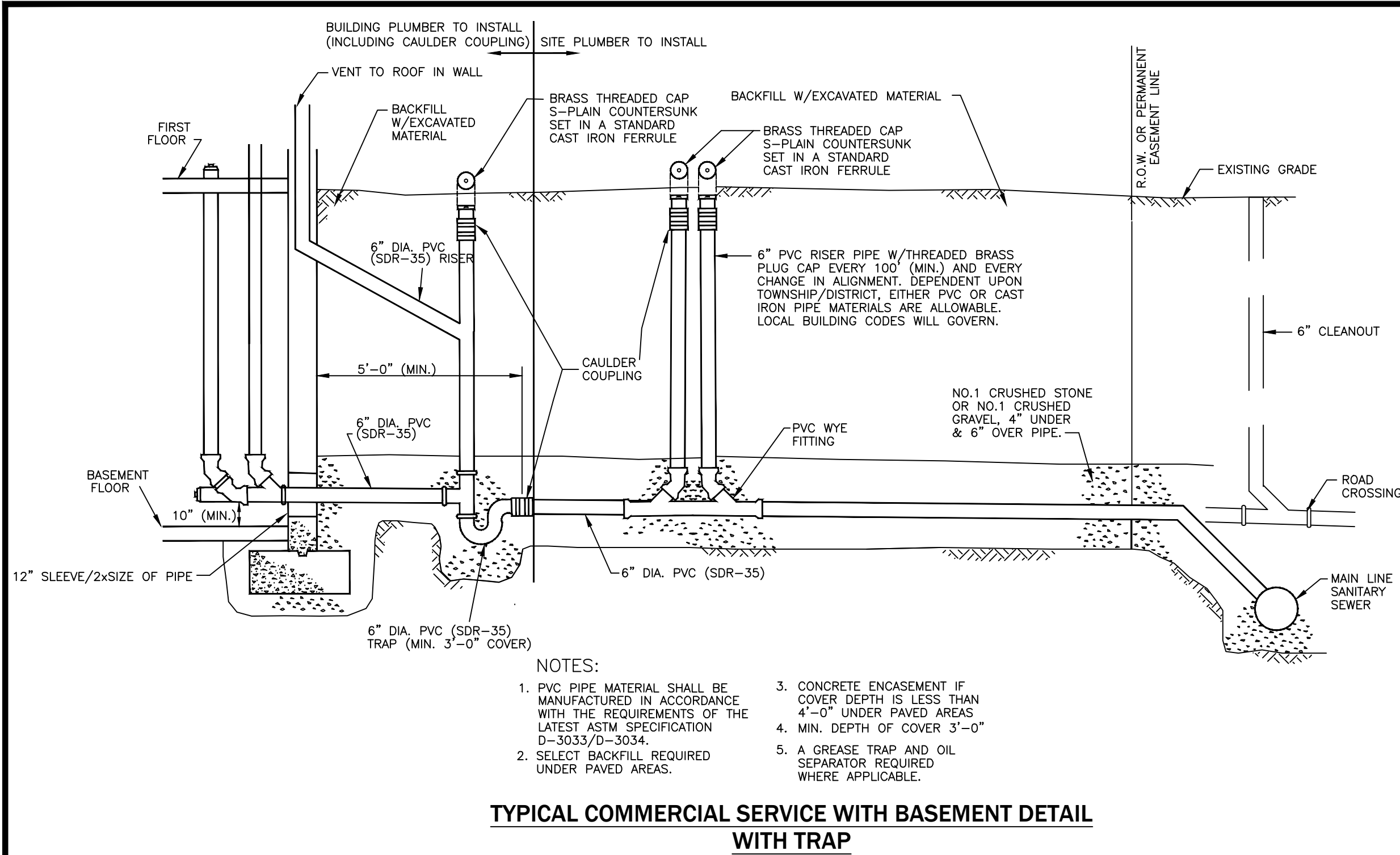
TITLE:  
Utility Plan

SCALE:  
1" = 20'  
DRAWN BY:  
DMZ  
CHECKED BY:  
MAO  
DATE:  
04.16.2025

DRAWING NO.

C6.0





**DIMENSION SCHEDULE**

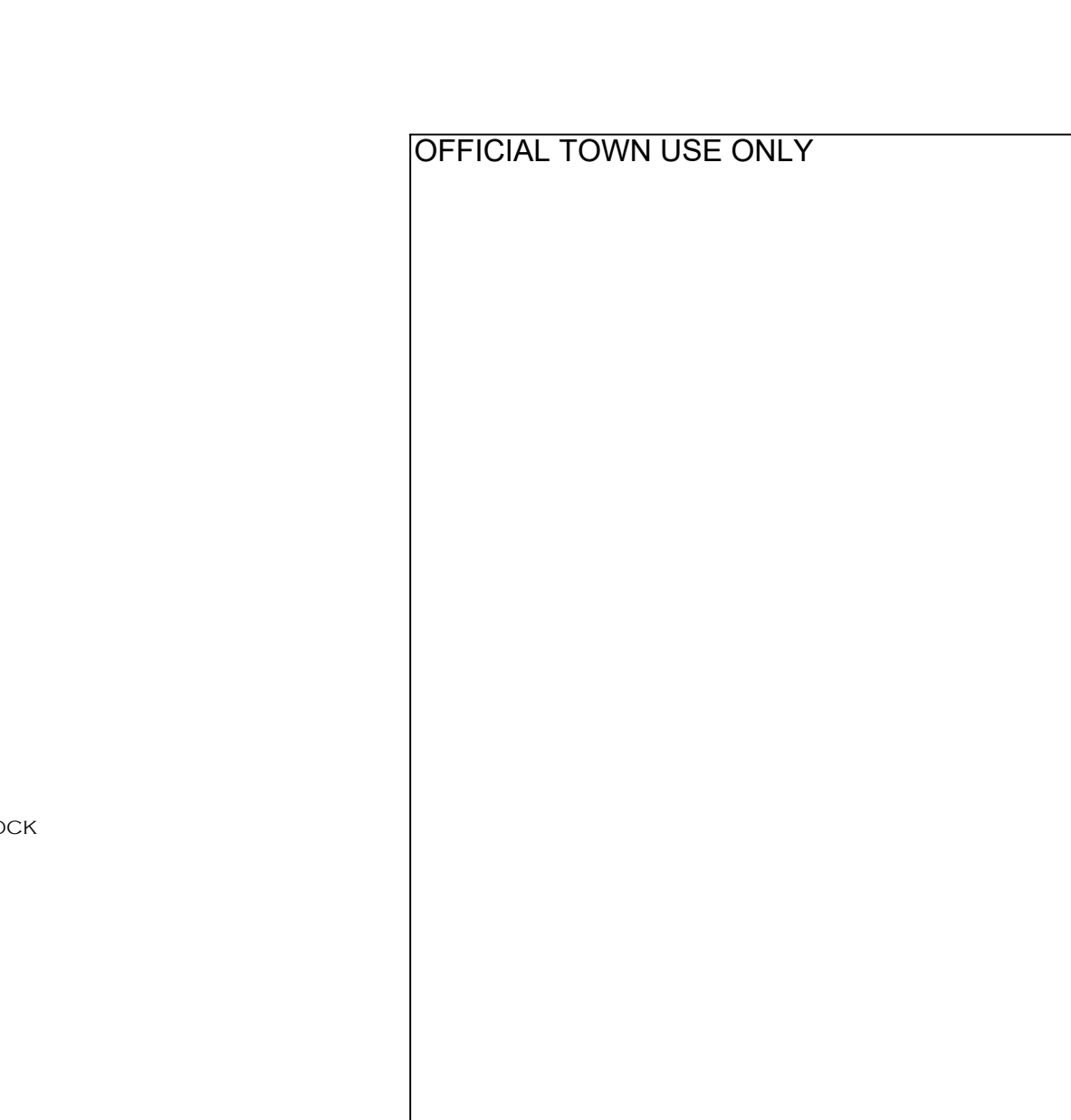
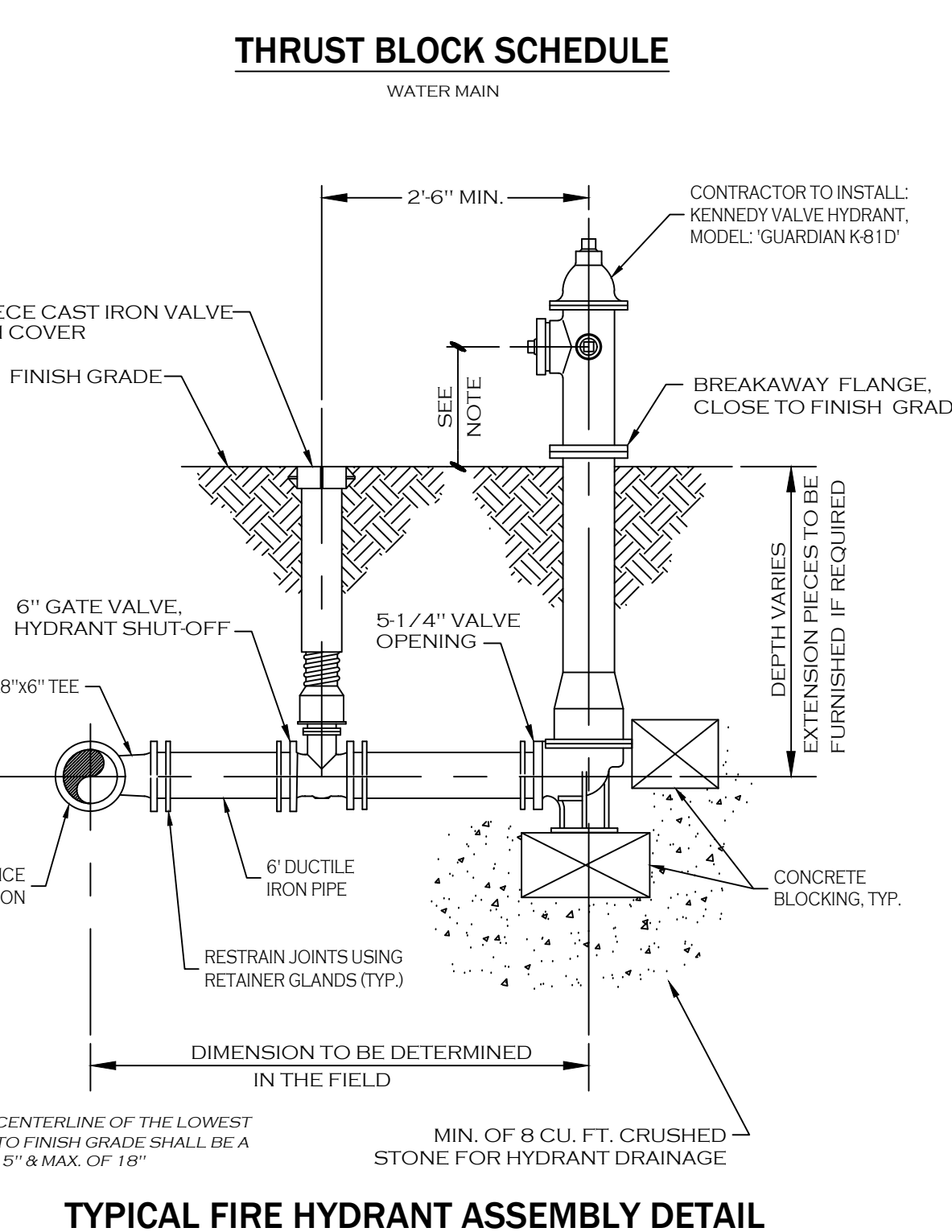
PIPE SIZE	90° ELBOW		45° ELBOW		22.5° ELBOW		11.25° ELBOW	
	H'	L'	H'	L'	H'	L'	H'	L'
4"	1.5'	2.0'	1.0'	2.0'	1.0'	1.0'	1.0'	1.0'
6"	2.0'	2.5'	1.5'	2.0'	1.0'	1.5'	1.0'	1.5'
8"	2.5'	3.5'	2.0'	2.5'	1.5'	1.5'	1.0'	2.0'
10"	3.0'	4.5'	2.5'	3.0'	1.5'	3.0'	1.0'	2.5'
12"	3.5'	5.0'	3.0'	3.5'	2.5'	2.5'	1.5'	2.5'

**DIMENSION SCHEDULE**

PIPE SIZE	TEE OR TAP SLEEVE	
	H'	L'
4"	1.5'	1.0'
6"	1.5'	2.5'
8"	1.5'	3.5'
10"	2.5'	3.5'
12"	3.5'	3.5'

**THRUST BLOCK SCHEDULE**

PIPE SIZE	TEE OR TAP SLEEVE	
	H'	L'
4"	1.5'	1.0'
6"	1.5'	2.5'
8"	1.5'	3.5'
10"	2.5'	3.5'
12"	3.5'	3.5'



**DRAWING REVISIONS:**

No.	DATE	BY	REMARKS

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**4548-4564 Main St.**

**Amherst, NY 14226**

**PROPOSED RETAIL**

**CONSULTANT**

**JAMES ALLEN RUMSEY**

ARCHITECT

PREPARED FOR

**BENDERSON DEVELOPMENT**

570 DELAWARE AVE., BUFFALO, NY 14202

(716) 886-0211

**SEAL**

REGISTERED ARCHITECT

JAMES ALLEN RUMSEY

STATE OF NEW YORK

TITLE:

**Utility Details**

SCALE: NTS

DRAWN BY: DMZ

CHECKED BY: MAO

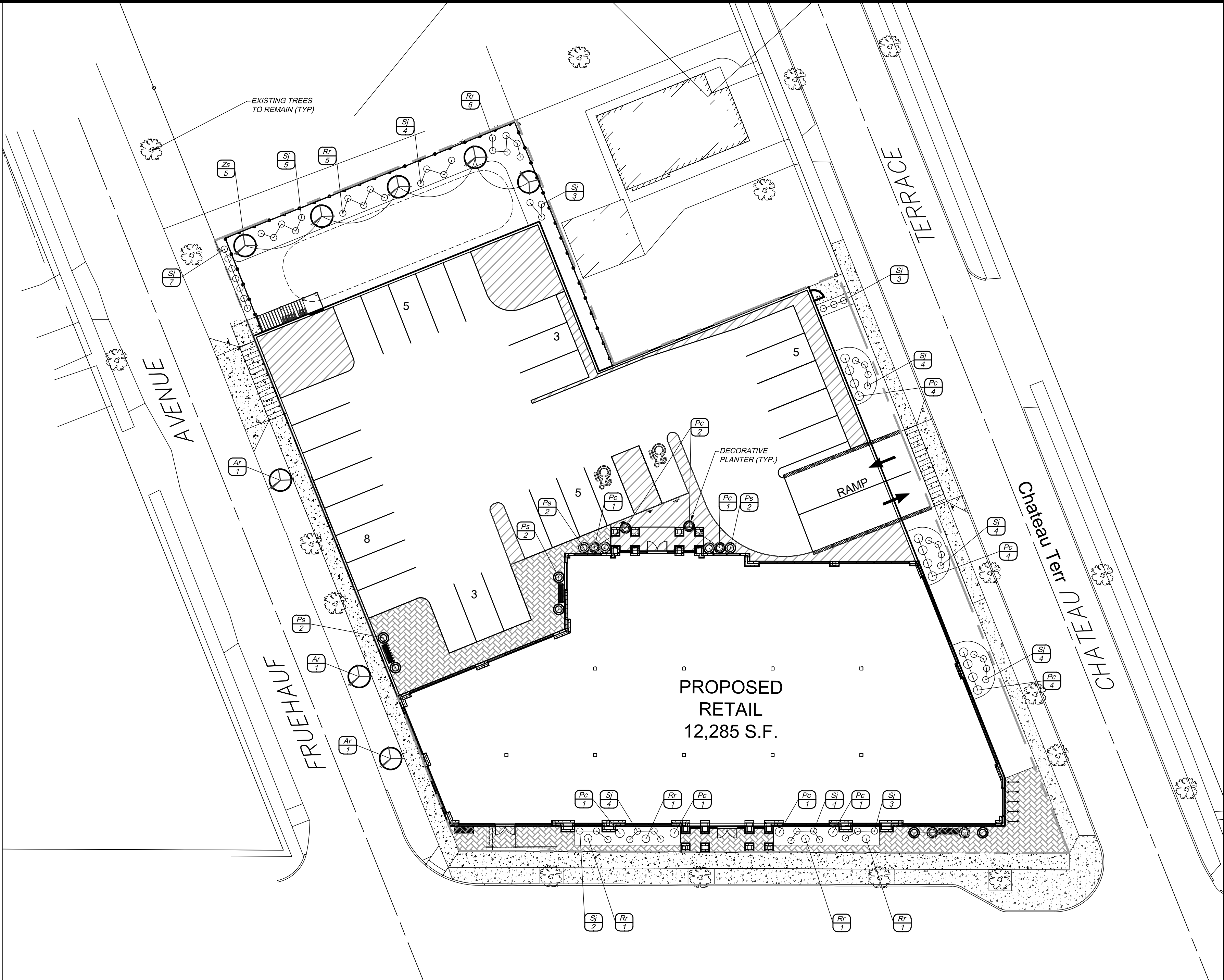
DATE: 04.16.2025

DRAWING NO. **C6.1**



LANDSCAPE NOTES

1. LANDSCAPE CONTRACTOR SHALL SECURE CURRENT PLANS AND SPECIFICATIONS FOR PROPER CONSTRUCTION METHODS AND MATERIAL OF ALL LANDSCAPING PRIOR TO COMMENCING WORK.
2. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z60.1 (LATEST EDITION).
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF.
4. THE CONTRACTOR SHALL PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANT MATERIAL AND SHRUB-BEDS. CONTACT OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL. LOCATIONS SHOWN ON THE PLANS CONVEY DESIGN INTENT ONLY. ACTUAL LOCATIONS WILL BE AS DIRECTED BY THE LANDSCAPE ARCHITECT AT THE TIME OF INSTALLATION.
5. THE CONTRACTOR IS HEREBY NOTIFIED THAT UNDERGROUND UTILITIES EXIST. SHOULD LOCATION OF TREES BE WITHIN 5' OF UNDERGROUND UTILITIES, RELOCATE SAID TREES TO A MINIMUM OF 5' FROM BALL TO UTILITIES.
6. SHOULD LOCATION OF TREES BE WITHIN 20' OF OVERHEAD WIRES, RELOCATE SAID TREES TO A MINIMUM OF 20' FROM WIRES.
7. ALL TREES AND SHRUBS SHALL RECEIVE A 3" LAYER OF BLACK SHREDDED HARDWOOD BARK MULCH.
8. ALL PLANTS MUST BE HARDY UNDER CLIMATE CONDITIONS THAT EXIST AT THE PROJECT SITE AND GROWN AT A NURSERY AT THE SAME HARDINESS ZONE AS THE PROJECT LOCATION.
9. NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER OR OWNER'S PROJECT LANDSCAPE ARCHITECT.
10. ANY PLANT WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
11. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANT MATERIALS (INCLUDING, BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING, AND REMOVAL OF STAKES AND GUYS) AND NEWLY ESTABLISHED LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
12. ALL AREAS DISTURBED BY UTILITY INSTALLATION AND SITE GRADING ACTIVITY SHALL RECEIVE 6" APPROVED TOPSOIL TO A COMPACTED DEPTH OF 6". UNLESS OTHERWISE SPECIFIED BY THE GOVERNING MUNICIPALITY BE FINE GRADES, SEEDED, MULCHED, AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
13. ANY IRRIGATION COMPONENT DAMAGED DURING SITE OR LANDSCAPE RENOVATIONS MUST BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER.
14. A ONE YEAR GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM THE DATE OF PROVISIONAL ACCEPTANCE.
15. PLANTING BACKFILL MIXTURE SHALL CONSIST OF 3 PARTS TOPSOIL AND 1 PART COMPOST THOROUGHLY MIXED. PLANTING SOIL DEPTH SHALL BE 3" MINIMUM, AND BE FREE FROM CONSTRUCTION DEBRIS AND FOREIGN MATERIALS.
16. STAKE TREES IMMEDIATELY AFTER PLANTING.
17. LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE WORK AREA. IF ANY TREE IS LOCATED CLOSER THAN 5' TO AN UNDERGROUND UTILITY, IT SHALL BE RELOCATED TO A LOCATION THAT IS A MINIMUM OF 5' AWAY AS MEASURED FROM THE ROOTBALL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, AND SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.



MEDIUM IMPACT LANDSCAPE SCREEN OPTION 1

PLANT TYPE	SPACING	DISTANCE	DISTANCE/SPACING	PLANT QUANTITY
LARGE DECIDUOUS TREES (Zs)	1/25 L.F.	112 Ft	112/25 = 4.48 (ROUND TO 5)	5
EVERGREEN & DECIDUOUS SHRUBS Sj	1/5 L.F.	112 Ft	112/5 = 22.4 (ROUND TO 23)	23

PLANT SCHEDULE

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE SIZE
ORNAMENTAL / DECIDUOUS TREES						
3	Ar	ACER X FREEMANII	ARMSTRONG MAPLE	2.5" CAL.	BB	HT. 40-55', SP. 30-40'
5	Zs	ZELKOVA SERRATA 'MUSASHINO'	Musashino Zelkova	2.5" Cal	BB	HT. 40-45', SP. 10-15'
SHRUBS						
67	Sj	SPIREA JAPONICA 'GOLD MOUND'	GOLD MOUND SPIREA	3 GAL. (24" MIN.)	CONT.	HT. 2'-3', SP. 4'
11	Pc	PRUNUS X CISTENA	PURPLELEAF SAND CHERRY	3 GAL. (24" MIN.)	CONT.	HT. 3'-4', SP. 4'
8	Rt	ROSA 'RADRAZZ'	KNOCK OUT ROSES	3 GAL. (24 MIN")	CONT.	HT. 3'-4', SP. 3'-4'
PERENNIALS & GRASSES						
8	PS	PENNISETUM SETACEUM	FOUNTAIN GRASS	3 GAL. (24" MIN)	CONT.	HT. 3'-5', SP. 2'-4'



Existing Tree to Remain

OFFICIAL TOWN USE ONLY

DRAWING REVISIONS:

No.	DATE	BY	REMARKS
1	7-16-2025	EG	

SPECIAL INFORMATION:

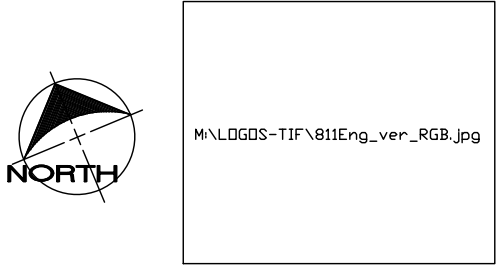
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE

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CONSTRUCTION SET



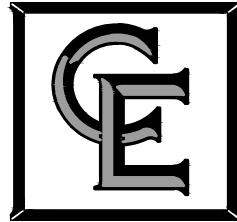
PROPERTY NUMBER:  
#5202

AREA:  
-

Main St - Snyder  
4548-4564 Main St.  
Amherst, NY14226

PROPOSED RETAIL

CONSULTANT



COSTICH  
ENGINEERING

- CIVIL  
ENGINEERING
- LAND  
SURVEYING
- LANDSCAPE  
ARCHITECTURE

217 LAKE AVENUE  
ROCHESTER, NY 14608  
(585) 459-3020

JAMES ALLEN RUMSEY  
ARCHITECT  
PREPARED FOR

**BENDERSON  
DEVELOPMENT**  
570 DELAWARE AVE., BUFFALO, NY 14202  
(716) 886-0211

SEAL



TITLE:

Overall  
Landscaping Plan

SCALE:

NTS.

DRAWN BY:

DRAWING NO.

TDM

CHECKED BY:

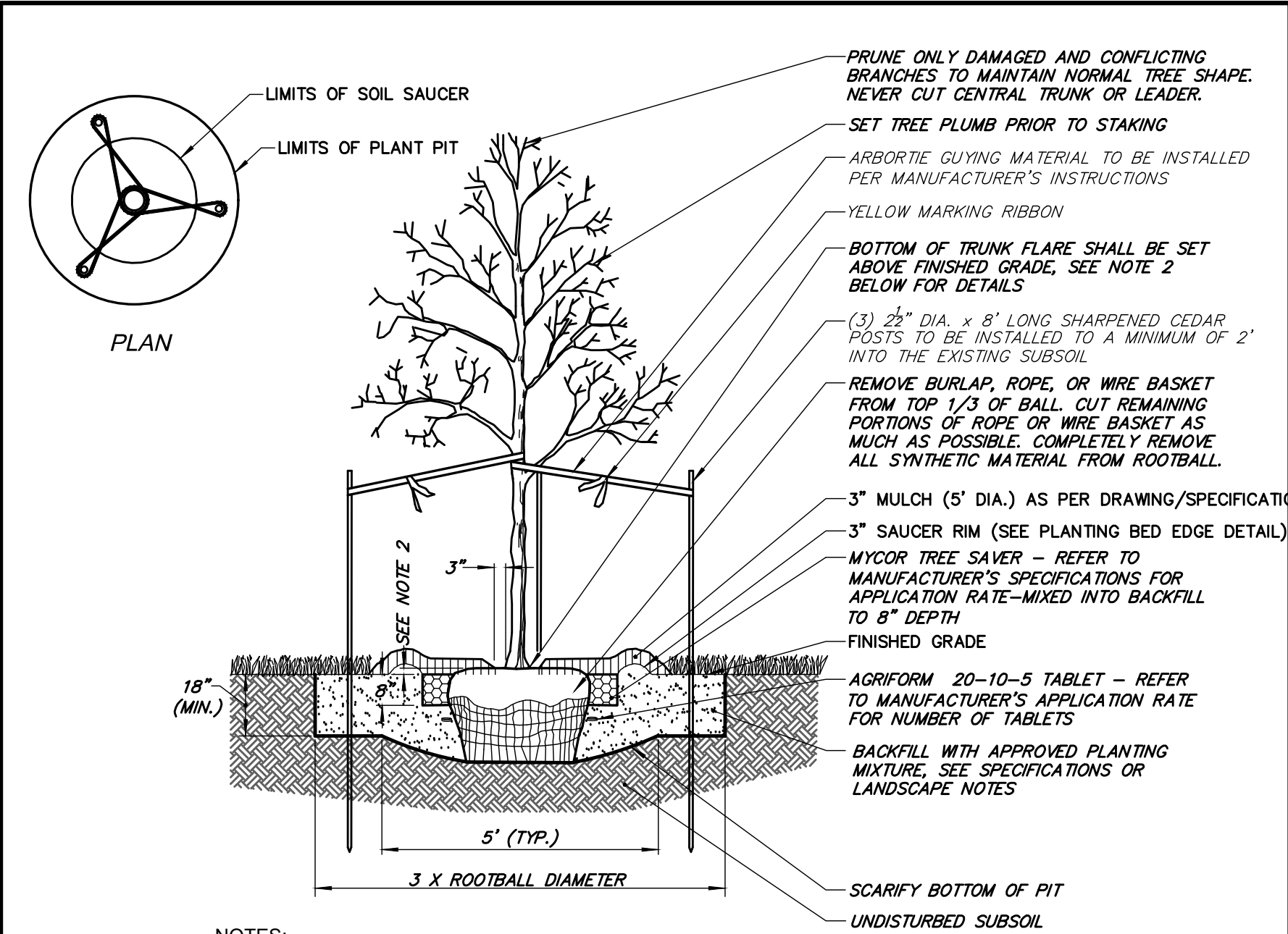
ERG

DATE:

5/29/2025

C7.0

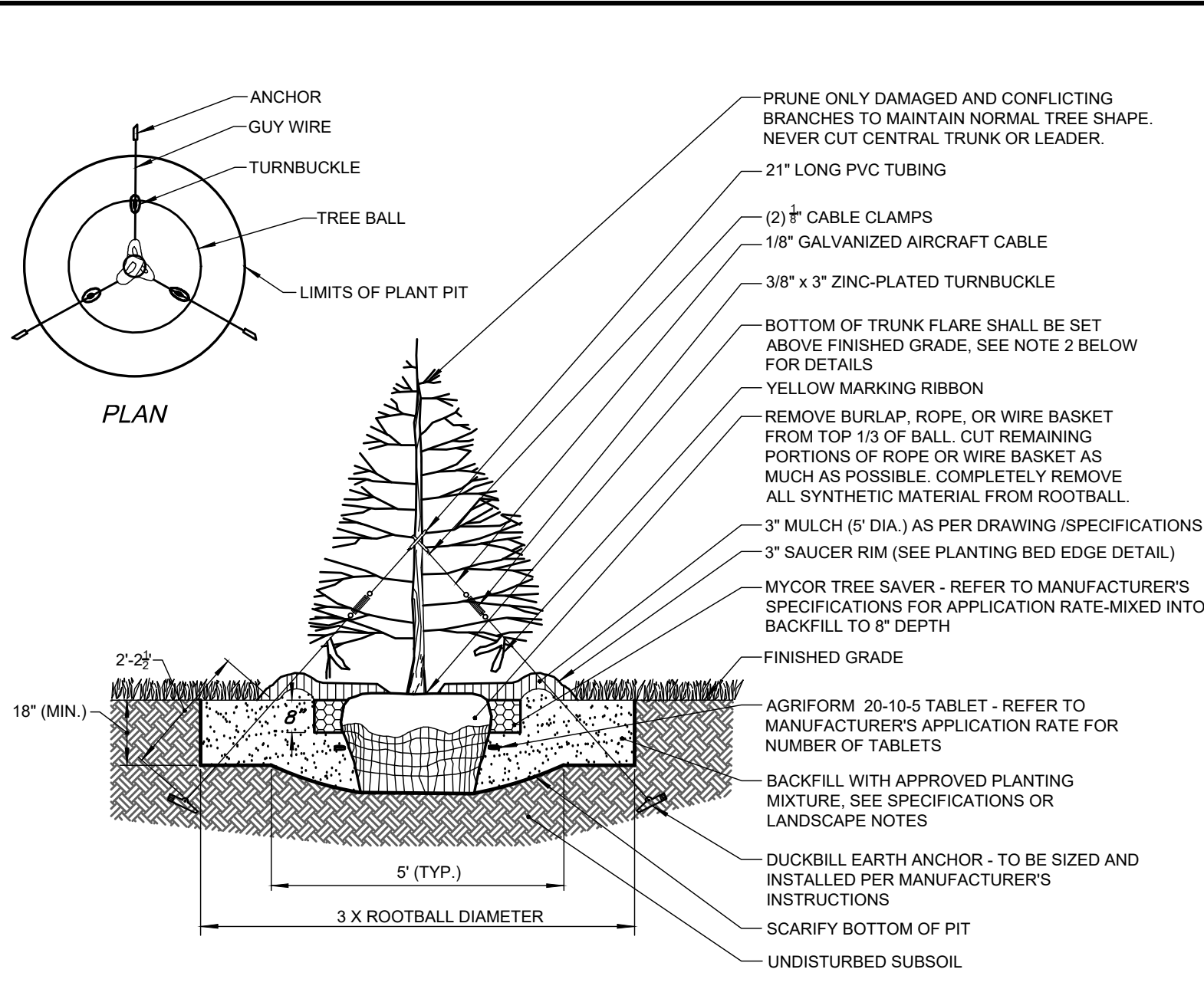




NOTES:

1. MAINTAIN A 3" MINIMUM RADIUS CLEAR OF MULCH AROUND THE TRUNK.
2. THE DISTANCE BETWEEN THE BOTTOM OF THE TRUNK FLARE AND THE FINISHED GRADE SHALL BE AS FOLLOWS:  
FOR SANDY OR LOAMY SOILS: 1"  
FOR CLAY OR POORLY DRAINED SOILS: 3"  
THE CONTRACTOR SHALL REVIEW THE APPROPRIATE PLANTING DEPTH WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
3. WHEN TAGGING TREES AT THE NURSERY, MARK THE NORTH SIDE OF THE TREE IN THE FIELD AND WHEN INSTALLING, ROTATE TREE TO FACE NORTH WHENEVER POSSIBLE
4. IF BARE ROOT PLANT MATERIAL IS SPECIFIED IN THE PLANT SCHEDULE, SEE LANDSCAPE NOTES ON SHEET LA100 FOR ADDITIONAL INFORMATION.

DECIDUOUS TREE PLANTING LESS THAN 4" CAL. DETAIL  
NOT TO SCALE



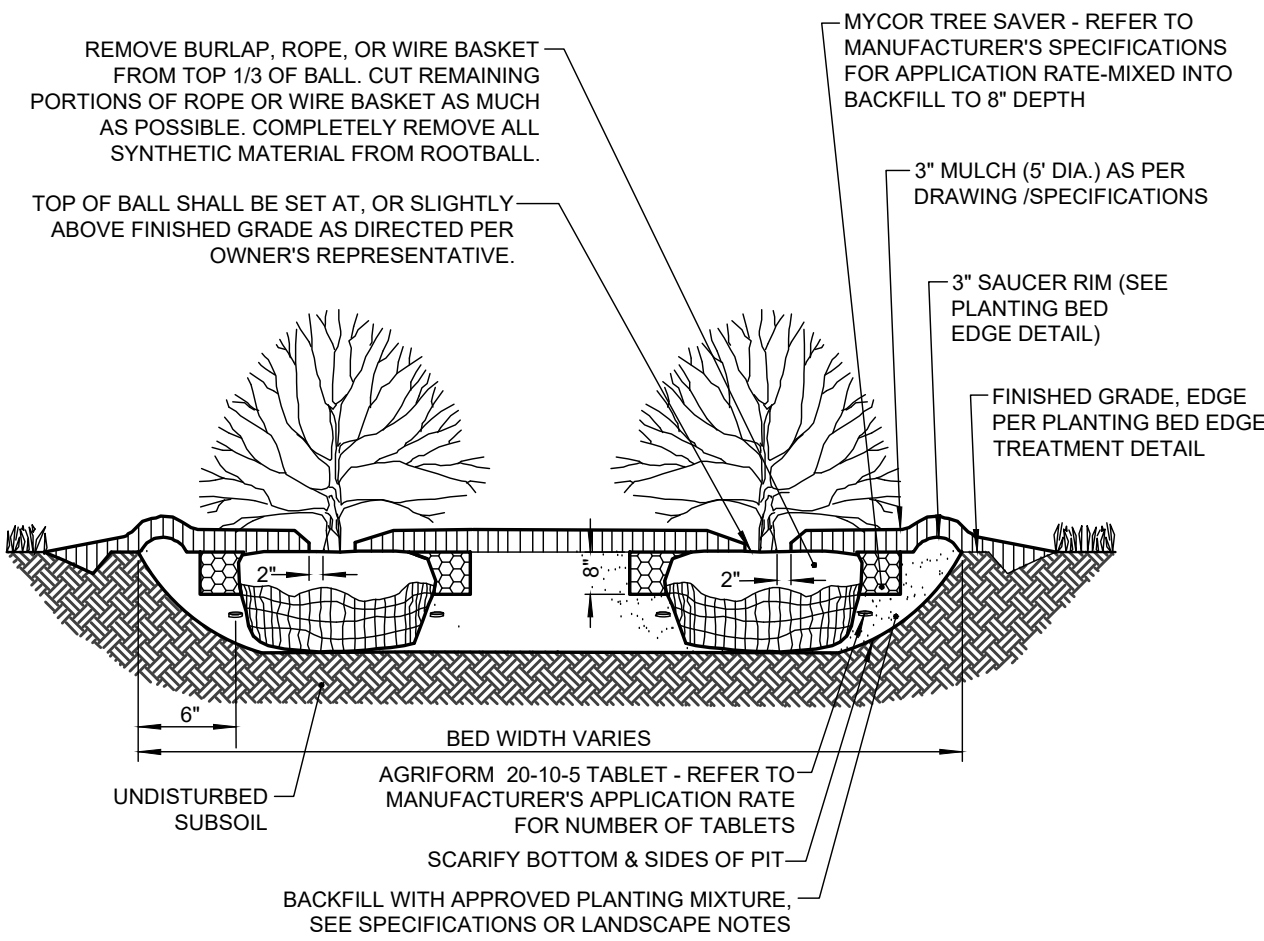
NOTES:

1. MAINTAIN A 2" MINIMUM RADIUS CLEAR OF MULCH AROUND THE TRUNK.
2. THE DISTANCE BETWEEN THE BOTTOM OF THE TRUNK FLARE AND THE FINISHED GRADE SHALL BE AS FOLLOWS:  
FOR SANDY OR LOAMY SOILS: 1"  
FOR CLAY OR POORLY DRAINED SOILS: 3"  
THE CONTRACTOR SHALL REVIEW THE APPROPRIATE PLANTING DEPTH WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
3. WHEN TAGGING TREES AT THE NURSERY, MARK THE NORTH SIDE OF THE TREE IN THE FIELD AND WHEN INSTALLING, ROTATE TREE TO FACE NORTH WHENEVER POSSIBLE
4. IF BARE ROOT PLANT MATERIAL IS SPECIFIED IN THE PLANT SCHEDULE, SEE LANDSCAPE NOTES ON SHEET LA100 FOR ADDITIONAL INFORMATION.

EVERGREEN TREE PLANTING DETAIL  
NOT TO SCALE

NOTES:

1. MAINTAIN A 2" MINIMUM RADIUS CLEAR OF MULCH AROUND THE TRUNK.
2. PLANTING BED DEPTH IN LAWN AREAS SHALL BE A MINIMUM OF 18" DEEP AND/OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
3. ALL PLANTING BEDS SHALL BE FREE OF CONSTRUCTION DEBRIS.
4. IF BARE ROOT PLANT MATERIAL IS SPECIFIED IN THE PLANT SCHEDULE, SEE LANDSCAPE NOTES ON SHEET LA100 FOR ADDITIONAL INFORMATION.

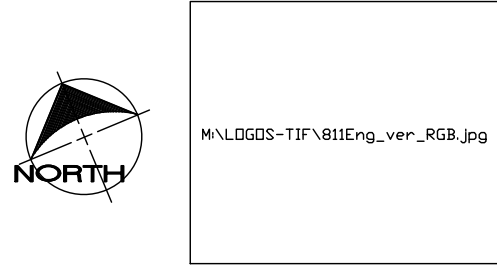


SHRUB PLANTING DETAIL  
NOT TO SCALE

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS
1	04.25.2025	DZ	Arch Updates
2	05.27.2025	DZ	Coordination Notes
			and Town Comments

SPECIAL INFORMATION:  
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CONSTRUCTION SET



PROPERTY NUMBER: #5202  
AREA: -

Main St - Snyder  
4548-4564 Main St.  
Amherst, NY 14226

PROPOSED RETAIL

CONSULTANT



JAMES ALLEN RUMSEY  
ARCHITECT  
PREPARED FOR

**BENDERSON DEVELOPMENT**  
570 DELAWARE AVE., BUFFALO, NY 14202  
(716) 886-0211

SEAL



TITLE:  
Landscaping  
Details

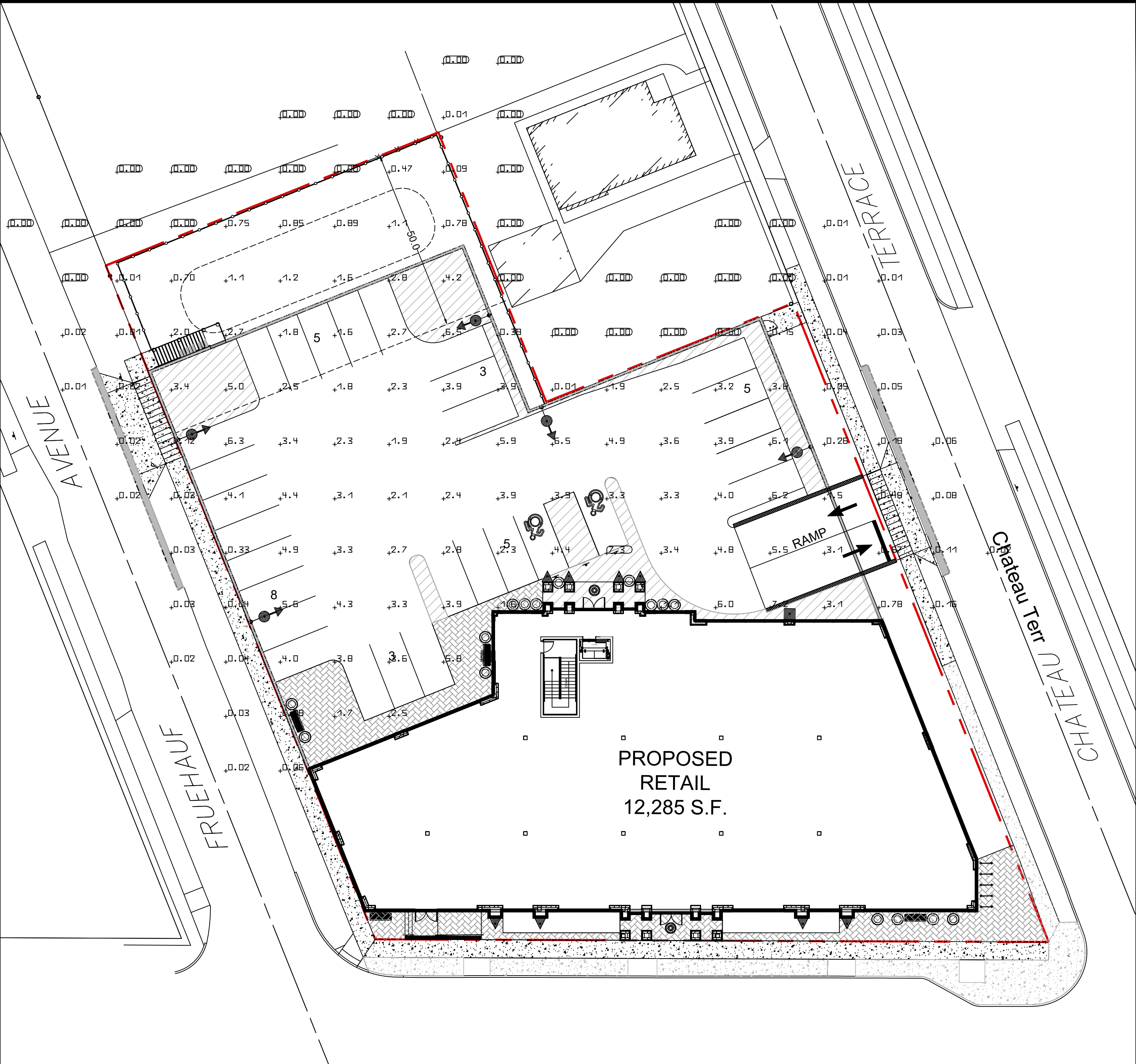
SCALE:  
NTS  
DRAWN BY:  
TDM  
CHECKED BY:  
ERG  
DATE:  
05/29/2025

C7.1





Basement Level



Ground Level

Luminaire Schedule							
Index	Manufacturer	Luminaire type	Item number	Luminous flux	Mounting Height	Connected load	Quantity
	Lithonia Lighting	Lithonia D-Series DSX1 LED Area Luminaire, P4 Power, Type IV Backlight Control, 4000K	DSX1LED-P4-40K-70CRI-BLC4	12044 Lm	15 Ft	124W	5
	Lithonia Lighting	Lithonia VCPG Ultimate LED Parking Garage, V8-P3 Power, Type V Medium, 4000K	VCPGXLED-V8-P3-40K-70CRI-T5M	6334 Lm	10 Ft	42W	34
	Lithonia Lighting	Lithonia WDGE3 LED Wall Sconce, P2 Power, Type4, 4000K	WDGE3LED-P2-40K-70CRI-R4	8779 Lm	15 Ft	59W	2
	Lithonia Lighting	Lithonia RCNY LED Canopy Luminaire, ALO1, Symmetric Clear Lens, 4000K	RCNYLED-ALO1-40K-70CRI-SYMC	8355 Lm	10 Ft	48W	2

Building Sconces- Refer to Architectural Plans

FOOTCANDLE LEVELS AT GRADE					
#	Name	Parameter	Min	Max	Average
1	Non-Residential Parking Area	Ground Level Parking and Site	0.44 fc Code: 0.2 fc	7.26 fc Code: 10.0 fc	1.45 fc Code: 1.5 fc
2	Canopy Area	Basement Parking Area	2.10 fc Code: 2.0 fc	7.26 fc Code: 15.0 fc	4.75 fc Code: 10.0 fc

DRAWING REVISIONS:				
No.	DATE	BY	REMARKS	
1	04.25.2025	DZ	Arch Updates	
2	05.27.2025	DZ	Coordination Notes and Town Comments	
3	06.04.2025	DZ	Town Meeting Update	
4	07.14.2025	DZ	Site Updates	

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PROPOSED RETAIL

CONSULTANT

JAMES ALLEN RUMSEY  
ARCHITECT  
PREPARED FOR  
**BENDERSON DEVELOPMENT**  
570 DELAWARE AVE., BUFFALO, NY 14202  
(716) 886-0211

SEAL



TITLE:  
Lighting Plan

SCALE:  
1" = 20'  
DRAWN BY:  
DMZ  
CHECKED BY:  
MAO  
DATE:  
04.16.2025  
DRAWING NO.  
**C8.0**

OFFICIAL TOWN USE ONLY



