

PROPOSED RETAIL

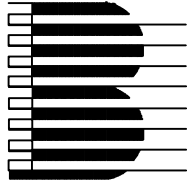
Main St. - Snyder
4548-4564 Main Street
Town of Amherst, NY 14226
BDC Property # 5202

INDEX OF DRAWINGS

DWG. #	DRAWING NAME	REVISION	DATE
C1.0	COVER SHEET	5	08.20.2025
C2.0	EXISTING SURVEY		
C3.0	DEMOLITION AND EROSION CONTROL PLAN	2	05.27.2025
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C8.0	LIGHTING PLAN	5	08.20.2025
C8.1	LIGHTING DETAILS	5	08.20.2025

OWNER/DEVELOPER:

NAME: BENDERSON DEVELOPMENT COMPANY, LLC
ADDRESS: 570 DELAWARE AVENUE, BUFFALO, NY 14202
CONTACT: DAVID ZUPPELLI
PHONE: 716 - 878 - 9683



BENDERSON DEVELOPMENT COMPANY, LLC
570 Delaware Ave.
Buffalo, New York 14202

SURVEYOR

NAME: TRUE NORTH SURVEYING
ADDRESS: 150 AERO DRIVE, BUFFALO NY 14225
CONTACT: CHRISTOPHER BARR
PHONE: 716-631-5140

UTILITIES:

WATER DEPARTMENT
NAME/TITLE: ADAM MASSARO
COMPANY/DEPT: ERIE COUNTY WATER AUTHORITY
ADDRESS: 3030 UNION RD, CHEEKTOWAGA, NY
PHONE: 716 - 685-8207

BUILDING & PLUMBING DEPARTMENT
NAME/TITLE: -
COMPANY/DEPT: TOWN OF AMHERST, NY - BUILDING DPT
ADDRESS: 5583 MAIN STREET, WILLIAMSVILLE, NY 14221
PHONE: 716 - 631 - 7080

NATURAL GAS
NAME/TITLE: WILLIAM SCHNEIDER
COMPANY/DEPT: NATURAL FUEL GAS
ADDRESS: -
PHONE: 716 - 696 - 6460

TELEPHONE COMPANY
NAME/TITLE: JOHN HECKMAN
COMPANY/DEPT: VERIZON
ADDRESS: -
PHONE: 716 - 840 - 8603

ELECTRIC
NAME/TITLE: -
COMPANY/DEPT: NATIONAL GRID
ADDRESS: -
PHONE: -

DIG SAFELY NEW YORK
PHONE: 1 - 800 - 962 - 7962 OR (811)

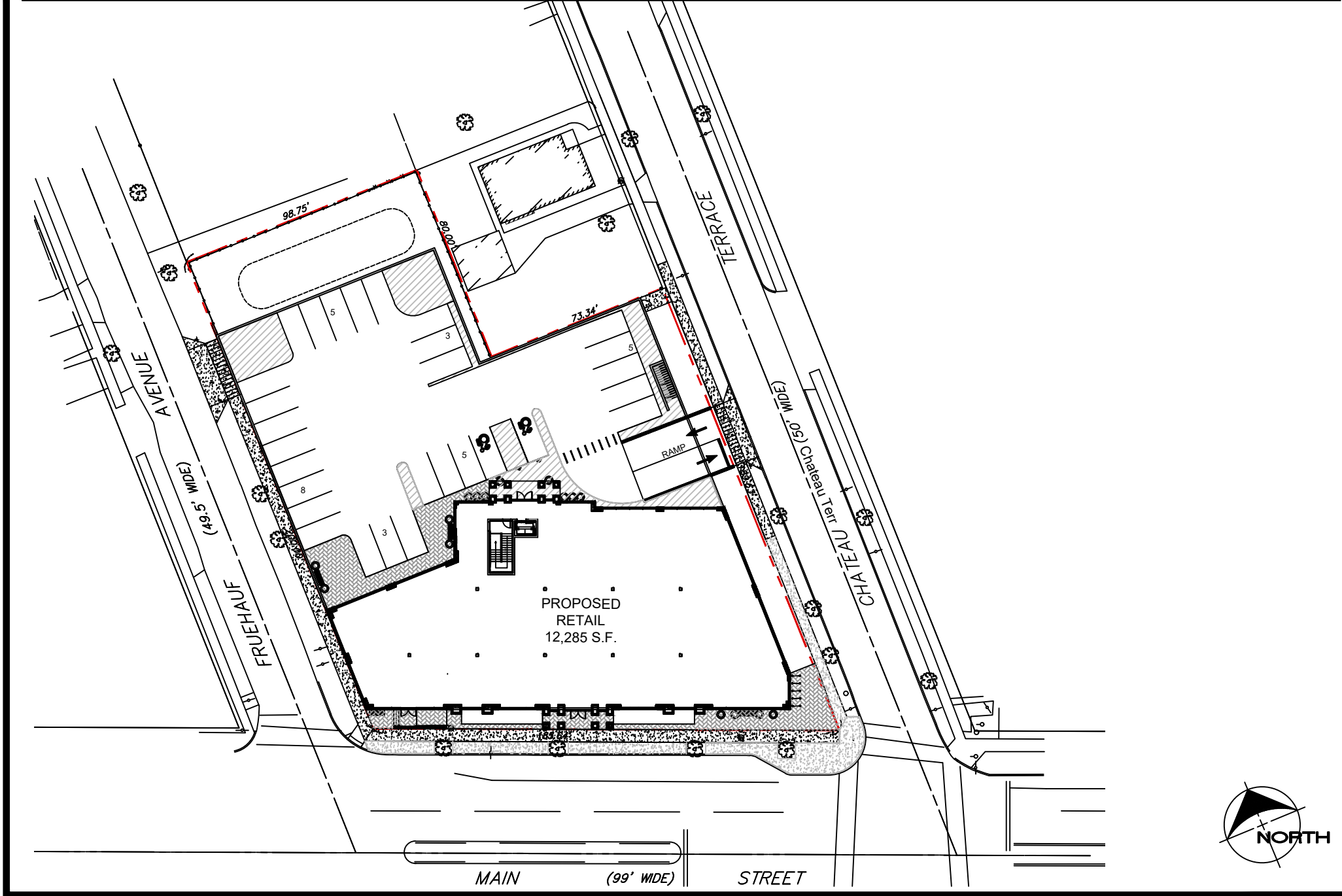
AGENCIES:

ENGINEERING DEPARTMENT
NAME/TITLE: JEFF BURROUGHS
COMPANY/DEPT: TOWN OF AMHERST, NY - ENGINEERING DPT
ADDRESS: 1100 NORTH FOREST RD, WILLIAMSVILLE, NY
PHONE: 716 - 631 - 7154 EX 7418

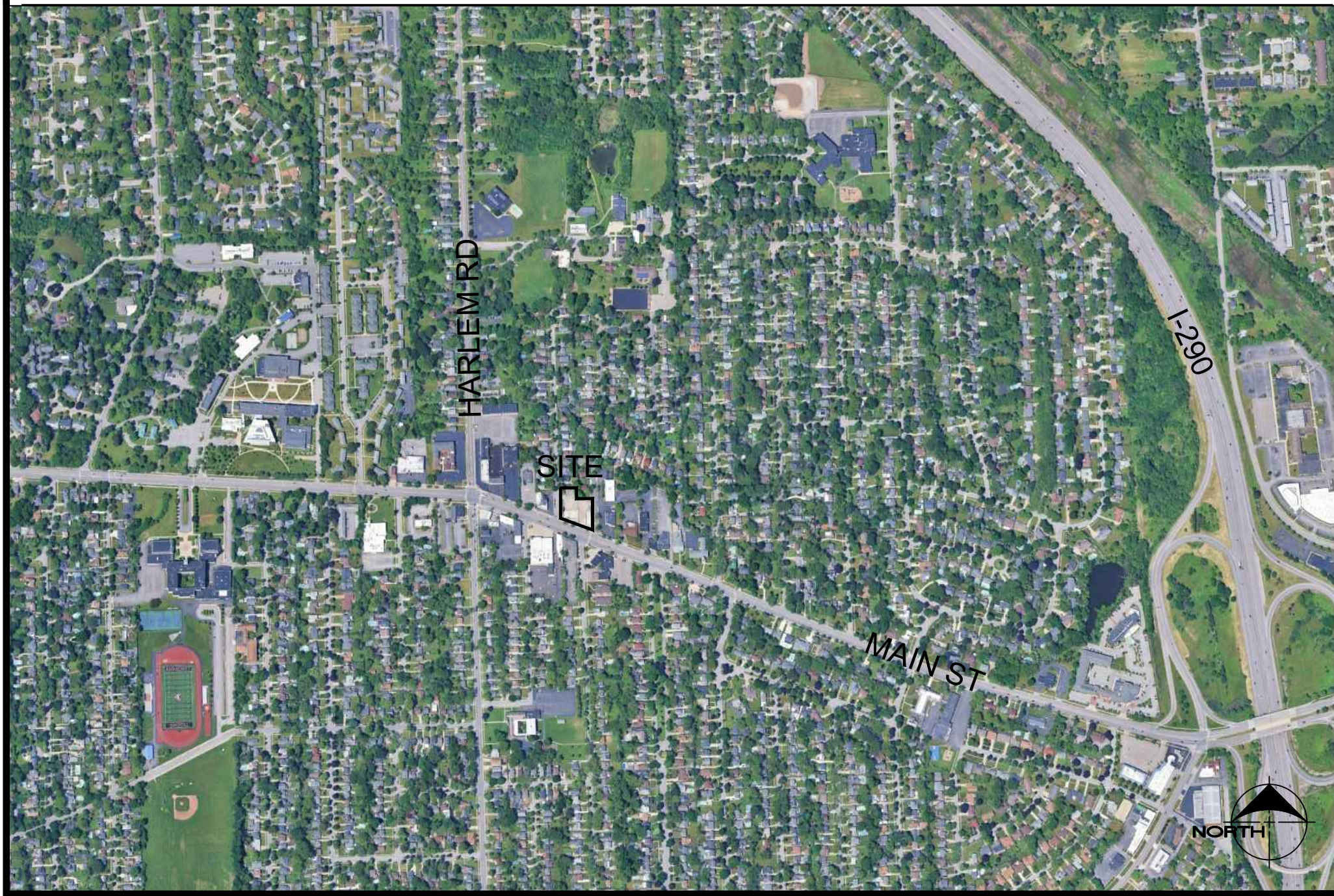
PLANNING DEPARTMENT
NAME/TITLE: DAN HOWARD
COMPANY/DEPT: TOWN OF AMHERST, NY - PLANNING DPT
ADDRESS: 5583 MAIN STREET, WILLIAMSVILLE, NY 14221
PHONE: 716 - 631 - 7051

NYS DOT - HIGHWAY & UTILITY PERMITS
NAME/TITLE: ASMA SHAWKAT
COMPANY/DEPT: NEW YORK STATE DEPARTMENT OF TRANSPORTATION
(NORTH ERIE RESIDENCY)
ADDRESS: 111 INDIAN ROAD. DEPEW, NEW YORK 14043
PHONE: 716 - 683 - 3476

SITE LOCATION MAP 1" = 50'



REGIONAL LOCATION MAP NTS



OFFICIAL TOWN USE ONLY

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS
1	04.29.2025	DZ	Arch Updates
2	05.27.2025	DZ	Coordination Notes and Town Comments
3	06.04.2025	DZ	Town Meeting Update
4	07.14.2025	DZ	Site Updates
5	08.20.2025	DZ	Site Updates

SPECIAL INFORMATION:
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK
FOR A PERIOD OF ONE YEAR FROM THE DATE OF
OWNERS ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY
AND ALL STRUCTURES.

NOTICE
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE
IN VIOLATION OF SECTION #7209 OF THE STATE
EDUCATION LAW.

CONSTRUCTION SET



PROPERTY NUMBER: #5202
AREA: -

Main St - Snyder
4548-4564 Main St.
Amherst, NY 14226

PROPOSED RETAIL

CONSULTANT

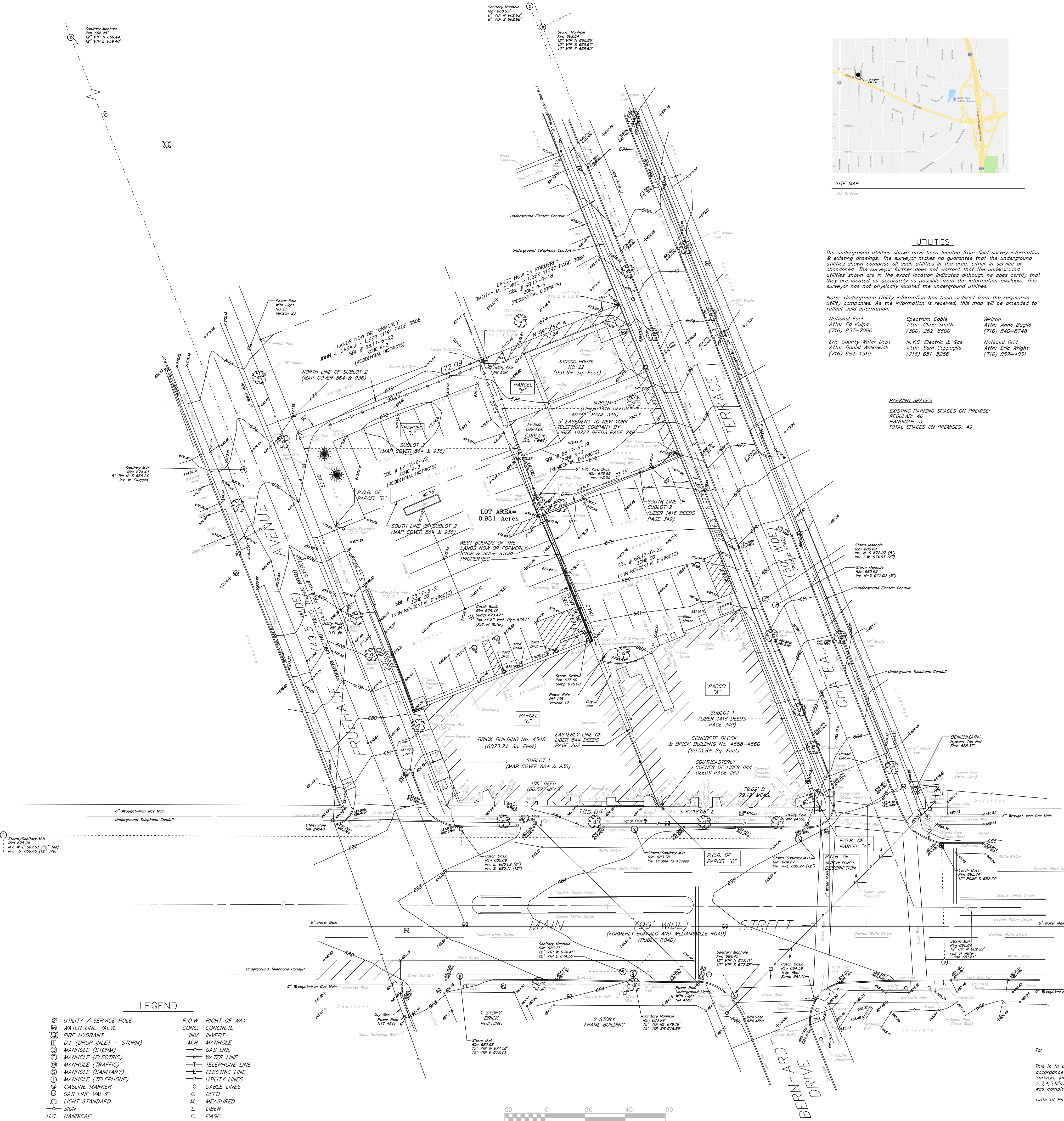
JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
**BENDERSON
DEVELOPMENT**
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:
**COVER
SHEET**

SCALE:
NTS
DRAWN BY: DMZ
CHECKED BY: MAO
DATE: 04.16.2025
DRAWING NO.:
C1.0



EASEMENT:

HOLLAND LAND TITLE & ABSTRACT COMPANY, INC.
SEARCH NO. 5010-54386
DATED: NOVEMBER 17, 2017

23.) EASEMENT TO NEW YORK TELEPHONE COMPANY BY LIBER 10727
DEEDS PAGE 240. (PLOTTED ON DRAWING)

SCHEDULE "A"

HOLLAND LAND TITLE & ABSTRACT COMPANY, INC.
SEARCH NO. 5010-54386
DATED: NOVEMBER 17, 2017

PARCEL A:

ALL THAT TRACT OR PARCEL OF LAND, situate in the Town of Amherst, County of Erie, and State of New York, being part of Farm Lot No. 13, Township 12, Range 7 of the Holland Land Company's Survey, and being Subdivision Lot No. 1 as shown on a certain subdivision map made by Busch & Percival, Engineers, entitled "College Hill Terraces" and recorded in Erie County Clerk's Office in Liber 1416 of Deeds, page 349, and more particularly bounded and described as follows:

BEGINNING at the point of intersection of the northeasterly line of Main Street with the west line of Chateau Terrace; running thence northerly along the westerly line of Chateau Terrace; running thence northerly along the westerly line of Chateau Terrace, 189.63 feet to the southerly line of Subdivision Lot No. 2, as shown on said subdivision map; thence westerly at right angles with the westerly line of Chateau Terrace and along the southerly line of Subdivision Lot No. 2, 73.34 feet to the westerly boundary of the lands of Suer & Suer Store Properties, Inc.; thence southerly and at right angles with the said southerly line of Subdivision Lot No. 2, and along the westerly boundary of the lands of the Suer & Suer Store Properties, Inc., 160 feet to the northeasterly line of Main Street; thence southeasterly along the said line of Main Street, 79.09 feet to the point of beginning.

PARCEL B:

ALL THAT TRACT OR PARCEL OF LAND, situate in the Town of Amherst, County of Erie, and State of New York, being part of Farm Lot No. 13, Township 12, Range 7 of the Holland Land Company's Survey, and being designated as Subdivision Lot No. 1 as shown on subdivision map made for Jacob C. Fruhauf by C.F. Witmer, Surveyor, in 1898 of part of said Lot No. 18 filed in Erie County Clerk's Office under Map Cover 864 and also being designated as Subdivision Lot No. 1 on a map filed in Erie County Clerk's Office under Cover No. 936, and bounded and described as follows:

PARCEL C:

ALL THAT TRACT OR PARCEL OF LAND, situate in the Town of Amherst, County of Erie, and State of New York, being part of Farm Lot No. 13, Township 12, Range 7 of the Holland Land Company's Survey, and being designated as Subdivision Lot No. 1 as shown on subdivision map made for Jacob C. Fruhauf by C.F. Witmer, Surveyor, in 1898 of part of said Lot No. 18 filed in Erie County Clerk's Office under Map Cover 864 and also being designated as Subdivision Lot No. 1 on a map filed in Erie County Clerk's Office under Cover No. 936, and bounded and described as follows:

BEGINNING at the southeasterly corner of premises conveyed to said Jacob C. Fruhauf by Fanny Hall, by Committee, by deed dated February 7, 1898, recorded in Erie County Clerk's Office in Liber 844 of Deeds, page 262, February 7, 1898, being in the northerly line of Main Street (Buffalo and Williamsville Road); running thence northerly along the easterly line of the premises conveyed by said deed, 189.25 feet; thence westerly 98.75 feet to the easterly line of Fruhauf Street (formerly known as Chestnut Street) as shown on said map; thence southerly along the westerly line of Fruhauf Street (formerly known as Chestnut Street) 150 feet to the said northerly line of Main Street (Buffalo and Williamsville Road); and thence easterly along said line of Main Street (Buffalo and Williamsville Road) 106 feet to the place of beginning.

PARCEL D:

ALL THAT TRACT OR PARCEL OF LAND, situate in the Town of Amherst, County of Erie, and State of New York, being part of Farm Lot No. 13, Township 12, Range 7 of the Holland Land Company's Survey, and being further known and distinguished as Subdivision Lot No. 2 as shown and laid down on map and survey made by C.F. Witmer, Surveyor, in 1898, which map is filed in Erie County Clerk's Office under Cover No. 864, said lot being bounded and described as follows:

BEGINNING in the easterly line of Fruhauf Avenue at a point distant 150 feet from the point of intersection of said line of Fruhauf Avenue with the northerly line of Main Street; thence easterly along the southerly line of said Subdivision Lot No. 2, 98.75 feet to the east line of land conveyed to Jacob C. Fruhauf by deed recorded in Erie County Clerk's Office in Liber 844 of Deeds, page 262; thence northerly along the said easterly line of said land so conveyed, 20 feet; thence westerly along the northerly line of said Subdivision Lot No. 2, 98.75 feet; and thence southerly along the easterly line of Fruhauf Avenue 20 feet to the place of beginning.

Parcel containing 0.93 acres of land, more or less.

SURVEYOR'S DESCRIPTION:

ALL THAT TRACT OR PARCEL OF LAND, situate in the Town of Amherst, County of Erie, and State of New York, being part of Farm Lot No. 13, Township 12, Range 7 of the Holland Land Company's Survey, bounded and described as follows:

BEGINNING at the point of intersection of the northerly line of Main Street with the west line of Chateau Terrace; running thence northerly along the westerly line of Chateau Terrace; running thence northerly along the westerly line of Chateau Terrace, 269.63 feet to a point; thence westerly at right angles with the westerly line of Chateau Terrace, 172.09 feet to the easterly line of Fruhauf Avenue; thence southerly along the easterly line of Fruhauf Avenue, 200.00 feet; to the said northerly line of Main Street; and thence easterly along said line of Main Street, 185.94 feet to the place of beginning.

Parcel containing 0.93 acres of land, more or less.

CERTIFICATION

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2.3, 4.5, 6(a), 7(a), 7(b), 11.1, 13, & 21 (Per Email List) of Table A thereof. The field work was completed on 3-26-18.

Date of Plat or Map: 3-28-2018

Francis C. Delles

Registration No. 050477

NOTE: ALL ELEVATIONS ON CURBLINE ARE TAKEN AT TOP OF CURB - 6" CURB IS ASSUMED

ELEVATIONS AND COORDINATES ESTABLISHED FROM TOWN OF AMHERST MONUMENTS No. 8 & No. 9, NAD 83/92 HARN DATUM NEW YORK WEST ZONE

FLOOD ZONE DATA

ENTIRE PREMISES LIES WITHIN ZONE "X" (AREA DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN) PER F.E.M.A. FLOOD INSURANCE RATE MAP 3602226 0012 E, TOWN OF AMHERST MAP DATE: OCTOBER 16, 1992

ZONING

TOWN OF AMHERST ONLINE - ECODE360 ADOPTED BY THE TOWN BOARD OF THE TOWN OF AMHERST 5-1-2006

SBL. NO. 68.17-6-19 AND 22 ARE IN ZONE R-3 (RESIDENTIAL DISTRICTS)

SBL. NO. 68.17-6-20 AND 21 ARE IN ZONE GB (NON RESIDENTIAL DISTRICTS)

B. Dimensional Standards.		
Min. lot area (see dwelling)		
Interior	8,400 sq ft	
Corner	8,500 sq ft	
Interior	45 ft	
Corner	35 ft	
Min. yard		
Front yard	30 ft	
Rear yard	30 ft	
Combined side yards	10 ft	
Each side yard	5 ft	
Corner lot	See S 2.5.4(b)(2)	
Through lot	See S 2.5.4(b)(2)	
Max. height	2 stories (see S 2.5.4)	
Max. building coverage	35%	
Min. floor area (dwelling only)		
Under 2 stories	1,000 sq ft	
3 or more stories	1,500 sq ft	
Note: For explanation of measurements, computations, and exceptions see S 2.5.4(f)		

C. Principal & Accessory Use/Structure Dimensional Standards		
Min. lot area	None	Vehicle Use Area
Min. lot width	None	
Min. front yard		
Height of structure for first 35 ft.	20 ft	10 ft*
Height of structure for any portion of building above 35 ft.	30 ft	10 ft*
Min. rear yard (excluding residential)** (nonresidential)		
Height of structure up to 35 ft.	See S 2.5.4(b)(2) 15 ft	15 ft*/5 ft*
Height of structure 35 ft or more	See S 2.5.4(b)(2) 25 ft	15 ft*/5 ft*
Min. side yard (excluding residential)** (nonresidential)**		
Height of structure up to 35 ft.	See S 2.5.4(b)(2) 15 ft or 10 ft if not on lot line	15 ft*/5 ft*
Height of structure 35 ft or more	See S 2.5.4(b)(2) 25 ft	15 ft*/5 ft*
Max. height	None	
Max. building coverage	None	
Min. interior building separation	None required	
* The entire area must be landscaped.		
** Accessory structures shall be setback a minimum of 10 feet.		
† R-1, R-1A, R-1B, R-2, R-3, CR-3A, TR-3, R-4, MFR-4A, MFR-5, MFR-6, MFR-7, PRO-1, PRO-2, PRO-3, PRO-4		

SUBLOT 1 & 2 ~ MAP IN LIBER 1416 DEEDS PAGE 349 AND SUBLOT 1 & 2 ~ MAP IN MAP COVER 864 & 936

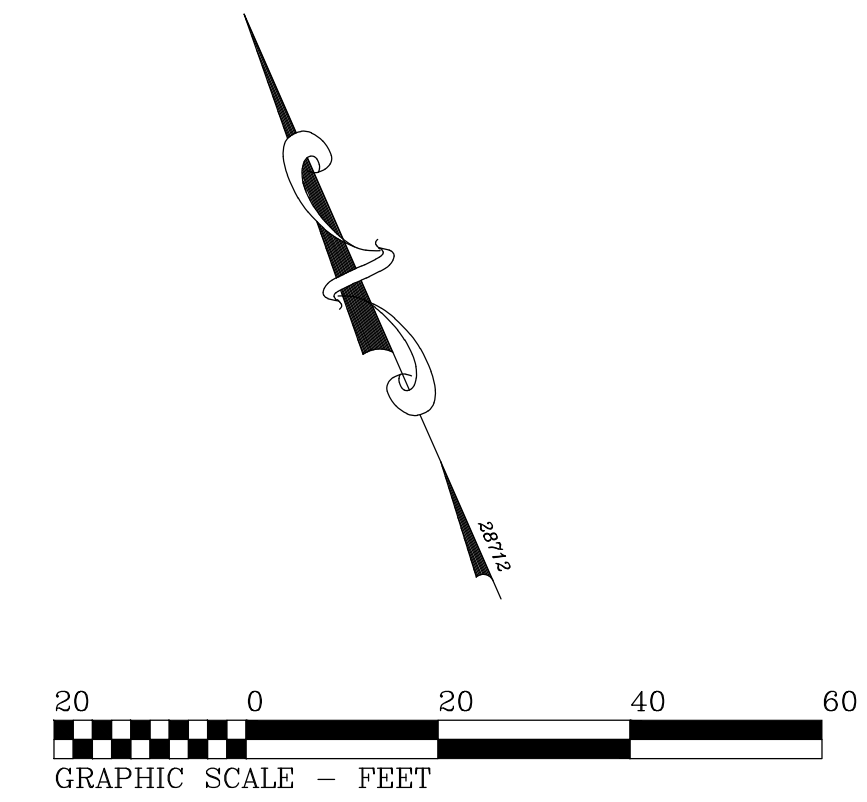
8/14/18: ADDED UNDERGROUND UTILITIES 10/27/20: LOCATED RETAINING WALL & GASLINE MARKER

INSTRUMENTS UTILIZED IN DETERMINING LOCATION OF BOUNDARY LINES: HEAD OF SEARCH


THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED IN SAID ABSTRACT.

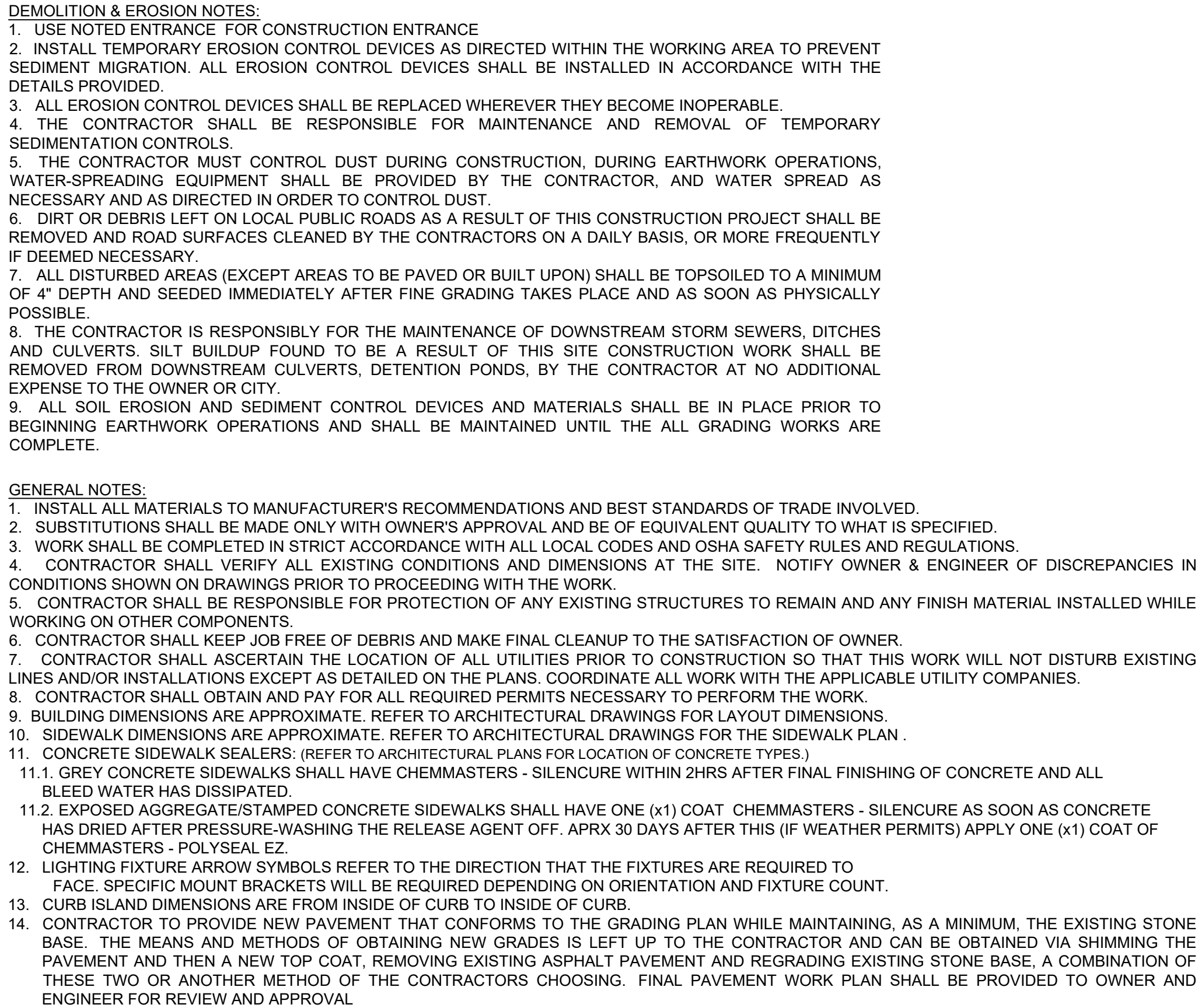
NOTE: PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.

COPYRIGHT 2018 BY: Millard, Mackay & Delles LAND SURVEYORS, LLP 150 AERO DRIVE BUFFALO, NEW YORK 14225 PHONE (716) 631-5140 ~ FAX 631-3811		AMEND: SURVEY DATE: 3-28-18 DRAWING DATE: 3-28-18 SCALE: 1" = 20' "ALL RIGHTS RESERVED"
ALTA/NSPS LAND TITLE SURVEY		THIS MAP VOID UNLESS UNDOUBTED
PART OF LOT 13 SECTION 12 TOWNSHIP 12 RANGE 7 OF THE Holland Land Company's SURVEY - Erie COUNTY, N.Y.		WITH NEW YORK STATE LICENSED LAND SURVEYORS, A.L.A., ALTHOUGH ANY ITEM ON THIS MAP IS A VIOLATION OF THE LAW EXCEPT AS PROVIDED IN SECTION 7203, STATE OF THE NEW YORK STATE EDUCATION LAW.
SURVEY OF: 22 Chateau Terrace, 4564 & 4548 Main Street and 17 Fruhauf Avenue, Town of Amherst		SBL. NO. 68.17-6-21&22



Ø	UTILITY / SERVICE POLE	R.O.W.	RIGHT OF WAY
W	WATER LINE VALVE	C.O.C.	CONCRETE
X	FIRE HYDRANT	INV.	INVERT
D	D.I. (DROP INLET - STORM)	M.H.	MANHOLE
Ⓚ	MANHOLE (STORM)	—G	— GAS LINE
ⓔ	MANHOLE (ELECTRIC)	—W	— WATER LINE
Ⓣ	MANHOLE (TRAFFIC)	—T	— TELEPHONE LINE
Ⓢ	MANHOLE (SANITARY)	—E	— ELECTRIC LINE
Ⓣ	MANHOLE (TELEPHONE)	—P	— UTILITY LINES
ⓐ	GASLINE MARKER	—C	— CABLE LINES
Ⓦ	GAS LINE VALVE	D.	DEED
Ⓛ	LIGHT STANDARD	M.	MEASURED
—○—	SIGN	L.	LIBER
H.C.	HANDICAP	P.	PAGE

<p>THIS SURVEY MAP WAS PREPARED IN ACCORDANCE WITH THE CURRENT STANDARDS FOR LAND SURVEYING ADOPTED BY THE NEW YORK ASSOCIATION OF SURVEYORS AT THE REQUEST OF Respondent (Development).</p> <p><i>Christopher J. Bair</i></p> <p>CHRISTOPHER J. BAIR NYPS's No. 051068</p>	<p>©COPYRIGHT <u>2024</u> BY:</p> <p> TRUE NORTH LAND SURVEYING, PLLC 150 AERO DRIVE BUFFALO, NEW YORK 14225 (716)631-5140 ~ Truenorthpllc@aol.com</p>	<p>AMEND:</p> <p>SURVEY DATE: <u>5-16-24</u></p> <p>© DRAWING DATE: <u>5-17-24</u></p> <p>SCALE: <u>1" = 20'</u></p> <p>"ALL RIGHTS RESERVED"</p>
<p align="center">FOUNDATION LOCATION SURVEY</p>		
<p>PART OF LOT <u>13</u> SECTION <u> </u> TOWNSHIP <u>12</u> RANGE <u>7</u> OF THE: <u>Holland Land Company's</u> Survey - <u>Erie</u> COUNTY, N.Y.</p>		
<p>SURVEY OF: <u>22 Chateau Terrace, 4564 & 4548 Main Street and 17 Freshair Avenue, Town of Amherst</u></p>		
<p align="right">THIS MAP VOID UNLESS EMBOSSED WITH NEW YORK STATE LICENSED SURVEYOR'S SEAL. ALTERING ANY ITEM ON THIS MAP IS A VIOLATION OF THE LAW EXCEPT AS PROVIDED IN SECTION 2608, PART 2 OF THE NEW YORK STATE EDUCATION LAW.</p>		
<p align="right">SBN. No. <u>6817-6-219-20,21822</u></p>		

CONSULTANT

TITLE: Demolition and Erosion Control Plan

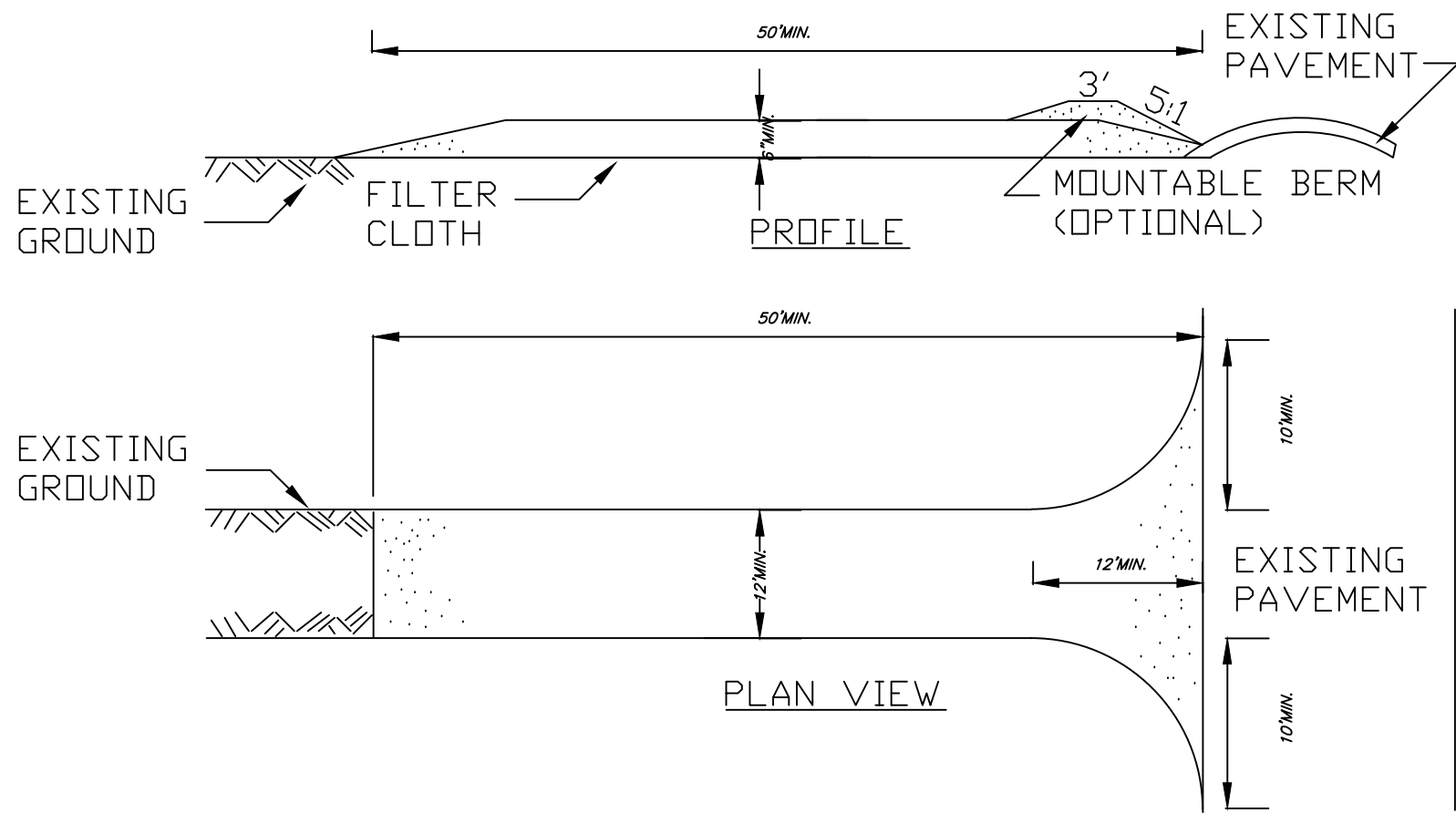
SCALE: 1" = 20'

DRAWN BY: DMZ

CHECKED BY: MAO

DATE: 04.16.2025

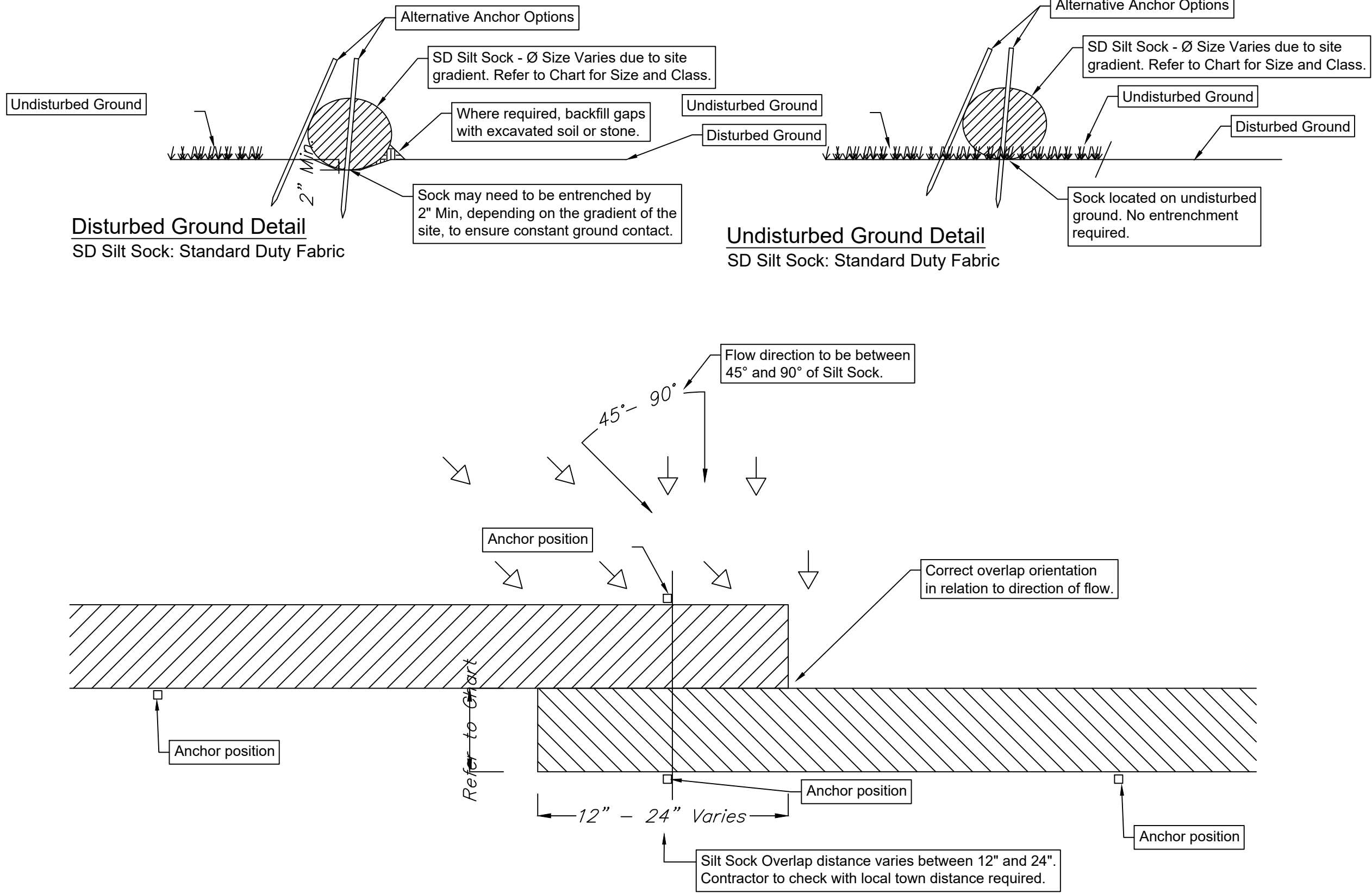
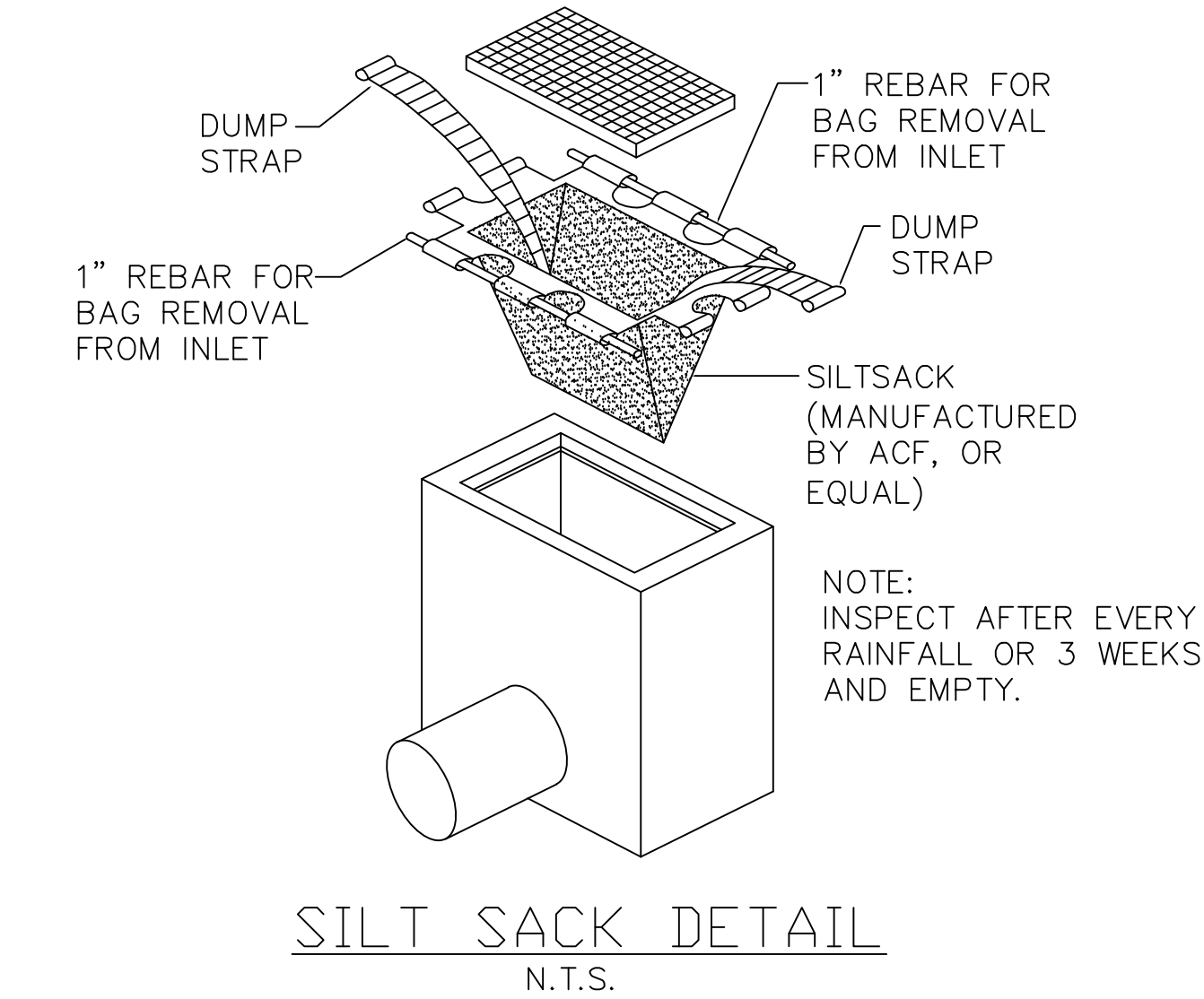
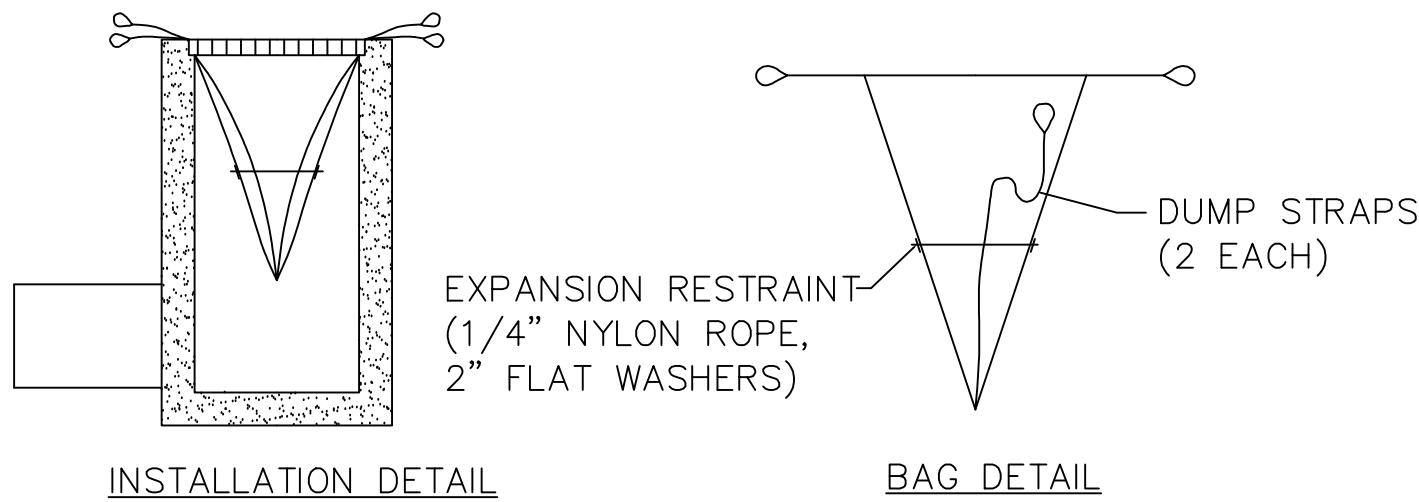
DRAWING NO. C3.0



STABILIZED CONSTRUCTION ENTRANCE DETAIL

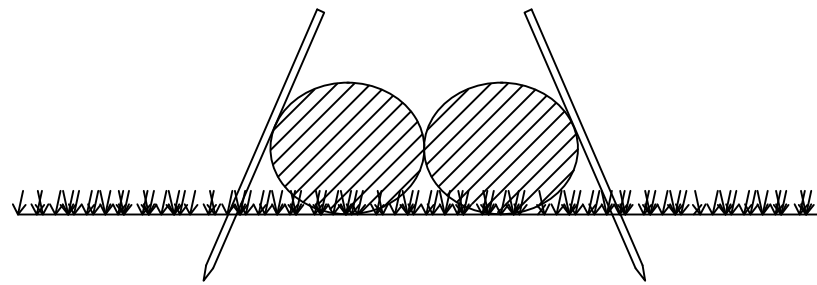
NOT TO SCALE

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



Overlap Detail - PLAN

- 1) Anchors required at the overlap section are to stay outside the Silt Sock and not pierce through the material. See alternative anchor positons in details above.

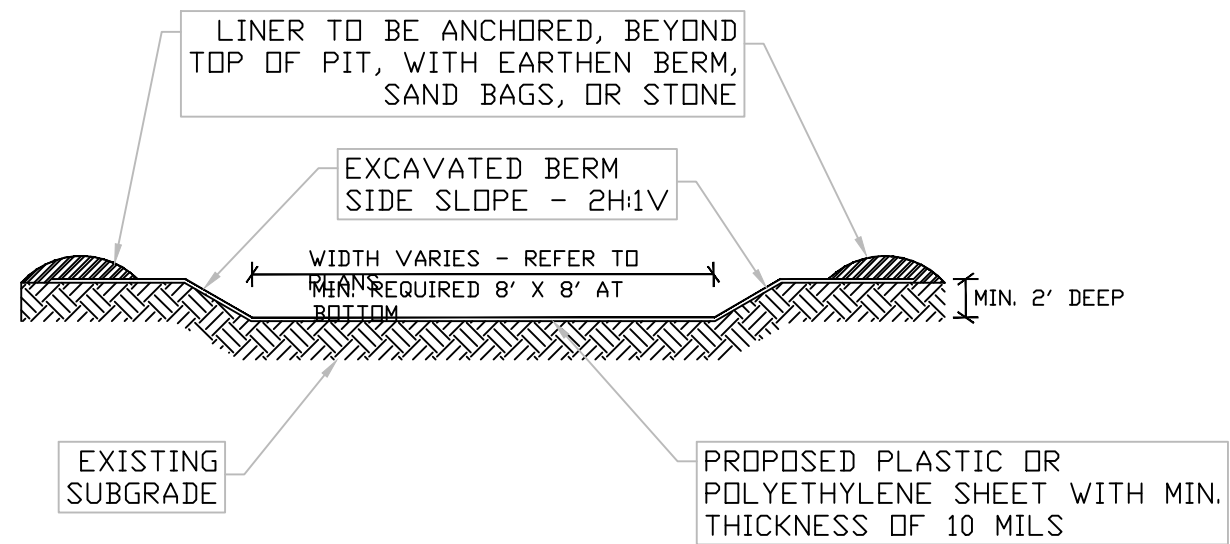


Anchor at Overlaped Ends - SECTION

Size & Class Chart			
	Diameter		
Gradient	8"	12"	18"
0 - 2%	30	55	75
2.1 - 5%	25	40	55
5.1 - 10%	15	30	40
10.1 - 33%	10	15	20
> 33%	5	10	15

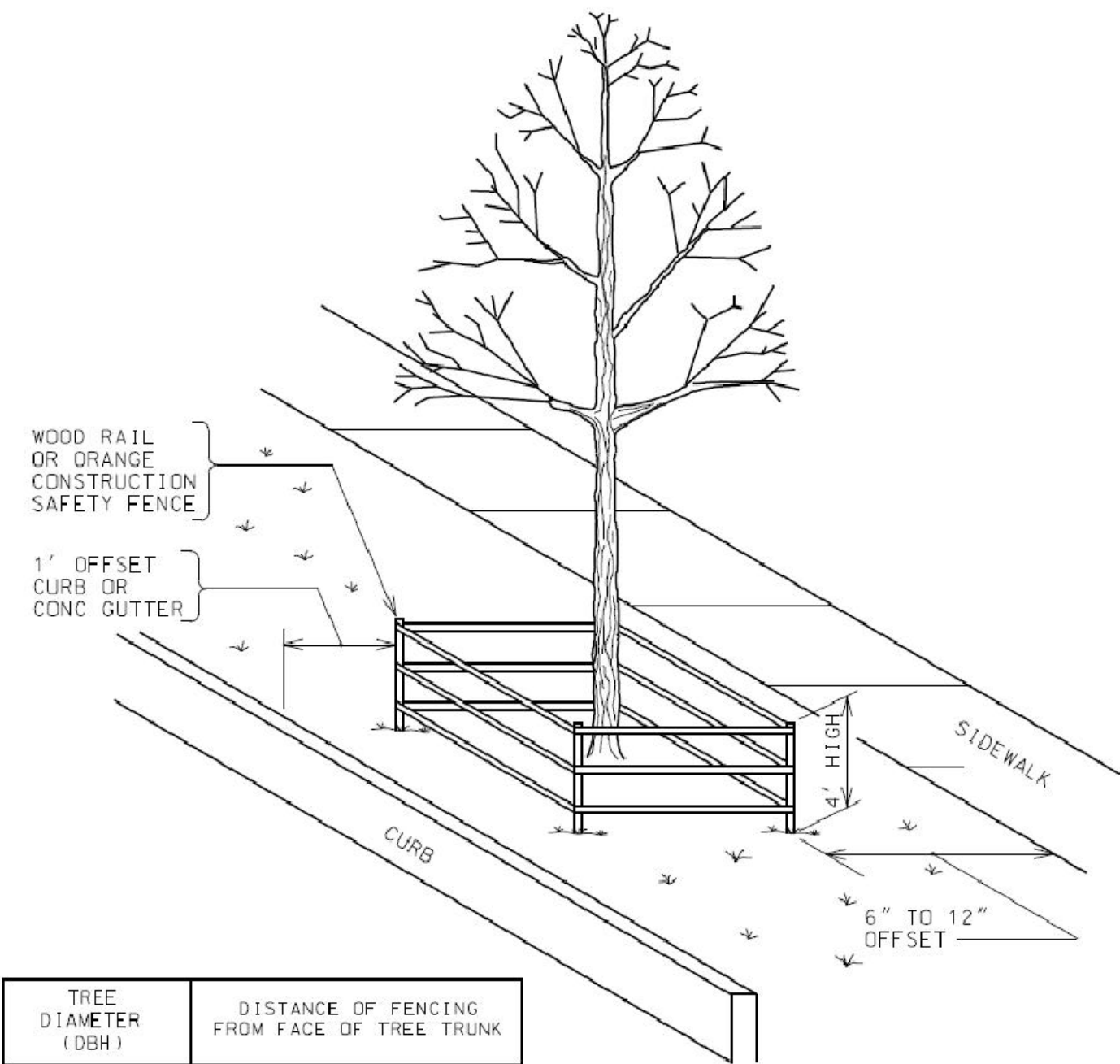
SD SILT SOCK DETAIL

SD Silt Sock: Standard Duty Fabric



TYPICAL CONCRETE WASH OUT DETAIL

NOTES:
1. CONSTRUCT TO 2016 NYSDEC BLUE BOOK DESIGN CRITERIA



TREE DIAMETER (DBH)	DISTANCE OF FENCING FROM FACE OF TREE TRUNK
LESS THAN 10"	6'
10" - 14"	10'
15" - 19"	12'
20" OR MORE	15'

NOTE:

1. ALL TREES WITHIN THE PROJECT LIMITS THAT ARE TO REMAIN ARE TO RECEIVE THIS TREATMENT.
2. DO NOT LEAVE CONSTRUCTION EQUIPMENT RUNNING (IDLING) UNDER TREE CANOPY.

Notes:

- 1 - Do not use sock below the normal watermark or perpendicular to flow in river and where the maximum incline is greater than 50%.
- 2 - Contractors should be aware of federal, state and local laws, rules regulations or permit requirements for the use of Silt Socks on site.
- 3 - Sock should be positioned on the outline of the area to be protected, but must be installed between 45° to 90° from directions of flow.
- 4 - Sock may be required to be entrenched a minimum of 2" on disturbed ground to ensure constant ground contact.
- 5 - All gaps and ruts must be backfilled with soil or sock material.
- 6 - Sock overlap should be in the direction of the flow. Overlap amount will be between 12" and 24". Contractor to check with local town for requirements.
- 7 - If sediment collects to 1/2 the height of the sock, then a second sock may be stacked immediately up slope of the original instead of removing the sediment.
- 8 - Sock joint is where two sock sections meet on a level grade, overlap and adjoining ends, tightening the ends together, and anchoring through each end. Where two sections meet on un-level ground, j-hook higher elevated end, anchor, and begin new section just below. Back fill any gaps.
- 9 - Sock should be inspected and repaired as needed.
- 10 - If ruts begin under the sock they should be backfilled with soil and compacted so that the ground and sock have continuous contact.
- 11 - If sock rolls out of place, the sock should be repositioned and secured with additional anchors.
- 12 - Tears in the Sock fabric may be repaired by wrapping a new piece of fabric over the sock and securing, or by place a second sock immediately up slope with the required overlap beyond deformation.
- 13 - A section of sock should be replaced whenever it has weakened to such an extent that the efficiency is reduced or diminished. Weakening can occur because the natural mesh fabric breaks down over time of from being moved/dragged on site.
- 14 - Sock should be replaced when sediment has built up and has been removed three times.
- 15 - All sediment in disturbed area next to sock must be removed and correctly disposed of before the sock can be removed.
- 16 - When removing, cut sock open and spread the filler material around. The netting should be removed from site.
- 17 - Sock should be installed before works commence on site.

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

SPECIAL INFORMATION:

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SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE

UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION #7209 OF THE STATE EDUCATION LAW.

CONSTRUCTION SET



PROPERTY NUMBER:
#5202

AREA:
-

Main St - Snyder
4548-4564 Main St.
Amherst, NY 14226

PROPOSED RETAIL

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
BENDERSON DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:

Demolition
and Erosion
Control Details

SCALE:

NTS

DRAWN BY:

DMZ

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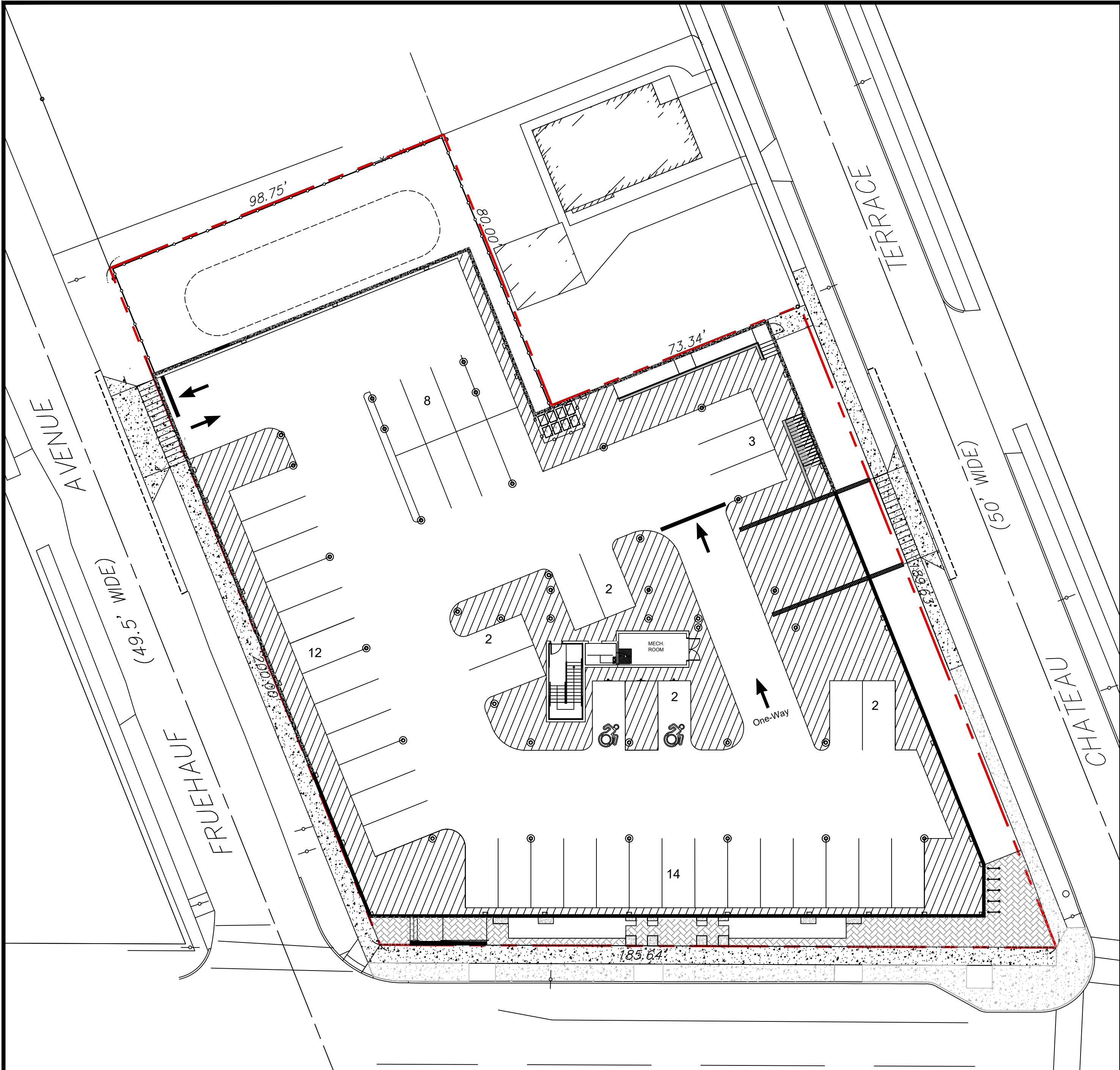
MAO

DATE:

04.16.2025

DRAWING NO.


C3.1

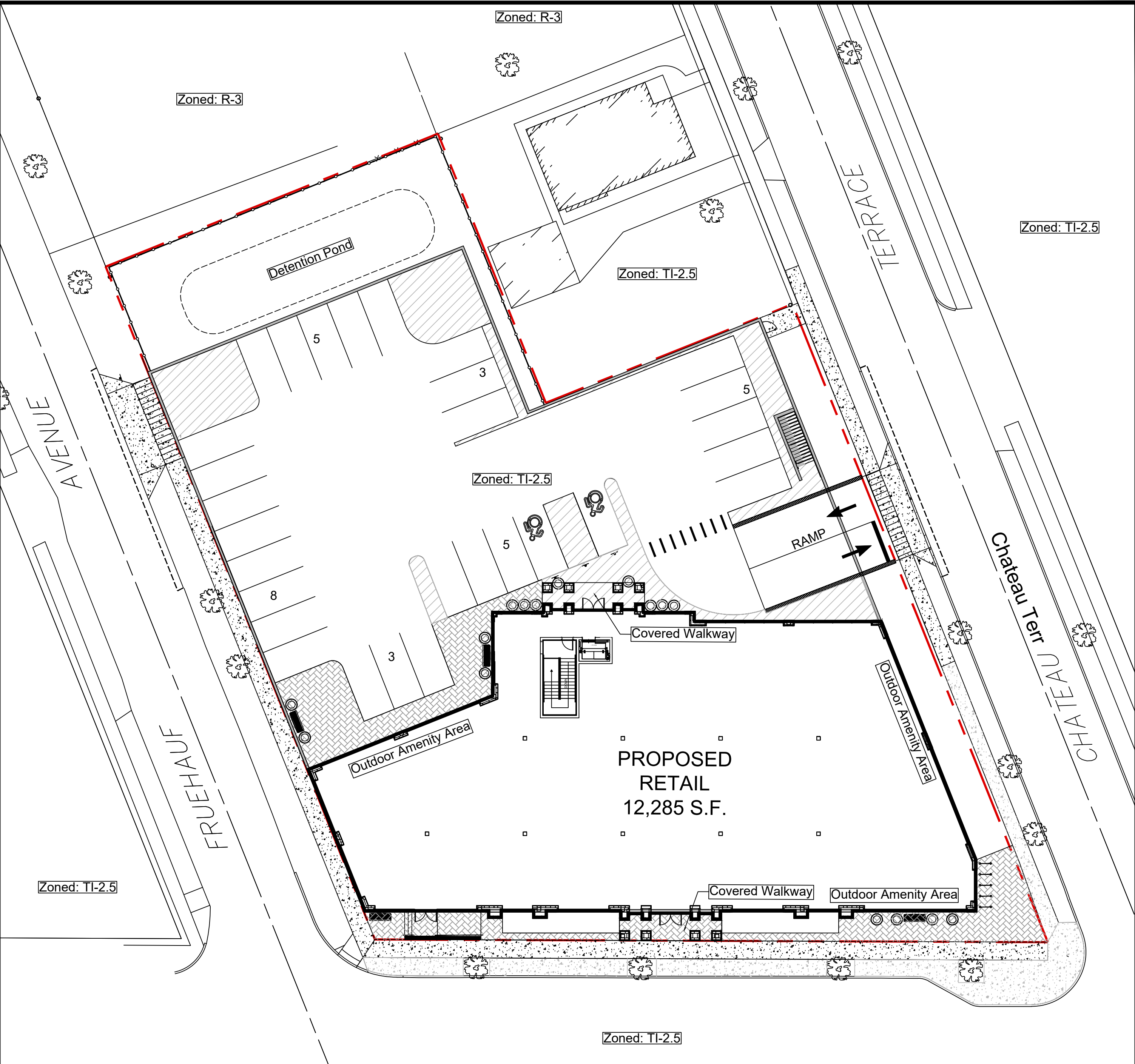


Basement Level

TOWN OF AMHERST, NY ZONING ANALYSIS		
	REQUIRED	PROVIDED
ZONED	TI-2.5 (Village Frontage)	TI-2.5 (Village Frontage)
5A-1-3: TI-2.5 Traditional Infill 2.5 Section		
LOT		
Area	0 S.F. min.	34,542 S.F.
Width	0' min.	170.7'
Outdoor Amenity Space w/ Green Space	10% min. = 3,454 S.F.	3,590 S.F. = 10.4%
	25% Min	44.3%
BUILDING SETBACKS		
Building-to-zone	Refer to Section 5A-2 Infill Frontages	
Lot Frontage	Refer to Section 5A-2 Infill Frontages	
Common lot line	0' min.	0.2' (North Side)
Alley	5' min.	N/A
PARKING SETBACKS		
Primary and Side Street	Refer to Section 5A-2 Infill Frontages (below)	
Common lot line	0' min.	3.8' (North Side)
Alley	5' min.	N/A
BUILDING HEIGHT		
Top Plate Height	2 Stories / 24' max.	N/A
Building Height	2.5 Stories / 35' max.	35'-0"
Roof Pitch	18:12 max.	18:12
BUILDING LENGTH	Refer to Section 5A-2 Infill Frontages (below)	168.5'
STORY HEIGHT	Refer to Section 5A-2 Infill Frontages (below)	16.5'

5A-2-4: Village Frontage		
BUILDING SETBACKS		
Build-to zone	0' min./10' max.	0.0'
Street Frontage:		
Front: Main Street	90% min.	90.9% (169.1/185.6)
Side: Fruehauf Ave	90% min.	94.5% (160.6 / (200 - 30' SB)
Side: Chateau Terr.	90% min.	92.0% (174.4/189.6)
PARKING SETBACKS		
Street	20' min.	52.8' (Main Street)
BUILDING MASS		
Street facing building length:		
Front: Main Street	200' max.	169.1'
STORY HEIGHT		
Ground floor elevation	0' min. / 2' max.	0.0'
Ground story height	13' min.	16.5'
Upper story height	9' min.	12.5'
TRANSPARENCY		
Ground story	70% min.	70.1%
Upper story	20% min.	41.0%
Blank wall length	15' max.	4.0'
PEDESTRIAN ACCESS		
Street facing entrance	Required	Complies
Entrance spacing	50' max.	Complies
STREETSCAPE		
Clear pedestrian zone	10' min.	10.3' Total - Existing Condition
Curb zone	6' min.	
Tree planting type	Grates	Complies
Tree spacing	35' on-center avg.	Existing: 33.3' c-c Average

 Proposed Outdoor Amenity Space



Ground Level

PROPOSED PARKING ANALYSIS TI-2.5			
USE	CODE	REQUIRED	PROVIDED
RETAIL	2.5/1000 SF	12,285 sqft / 1000 x 2.5 = 31 SPACES	74 SPACES
Bike Rack	1/3000 SF	12,285 sqft / 3000 = 5 SPACES	5 SPACES
STALL SIZE		9'x19'	9'x19'

OFFICIAL TOWN USE ONLY

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CONSTRUCTION SET



PROPERTY NUMBER: #5202
AREA: -

Main St - Snyder
4548-4564 Main St.
Amherst, NY 14226

PROPOSED RETAIL

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
BENDERSON DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

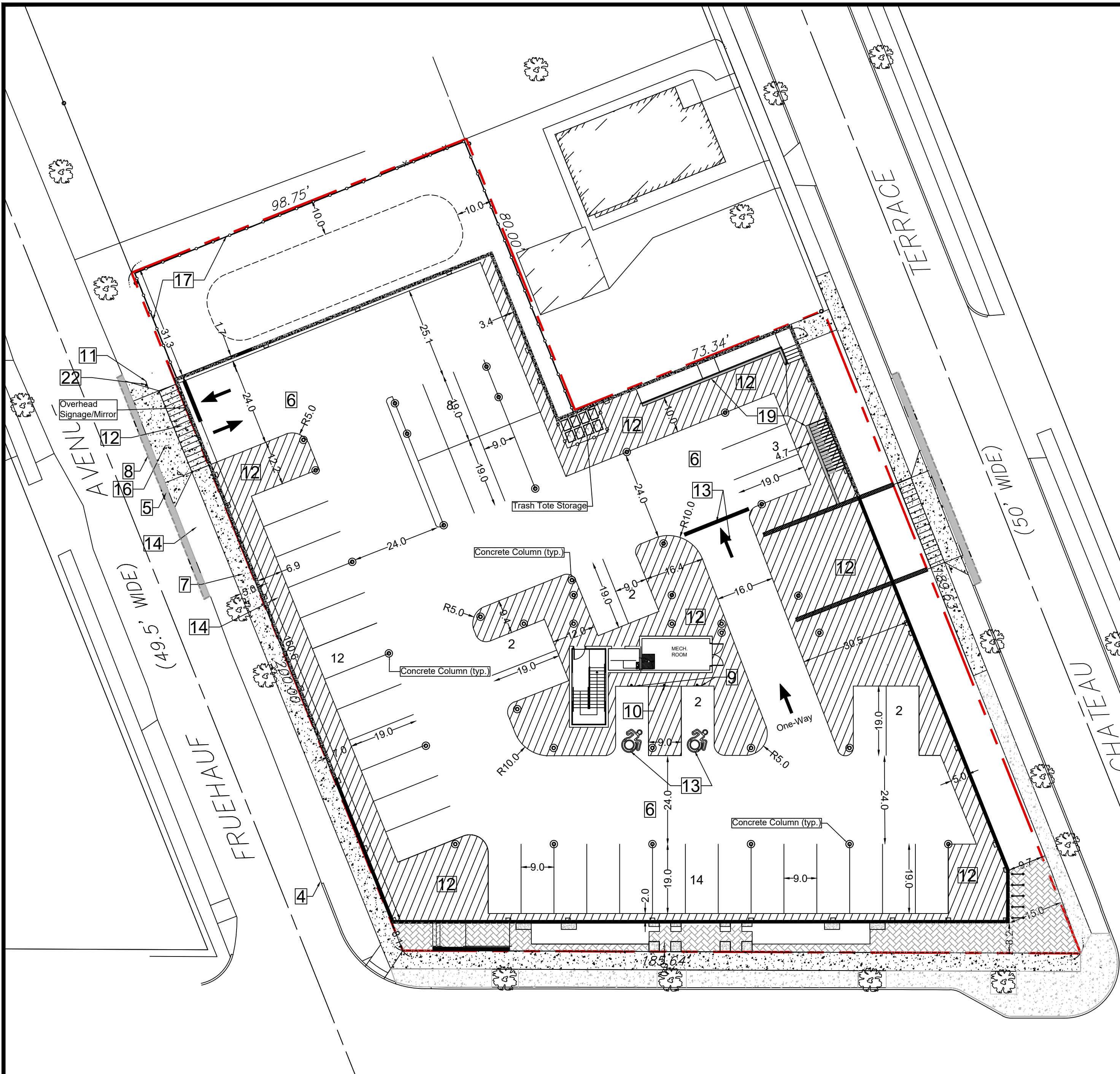
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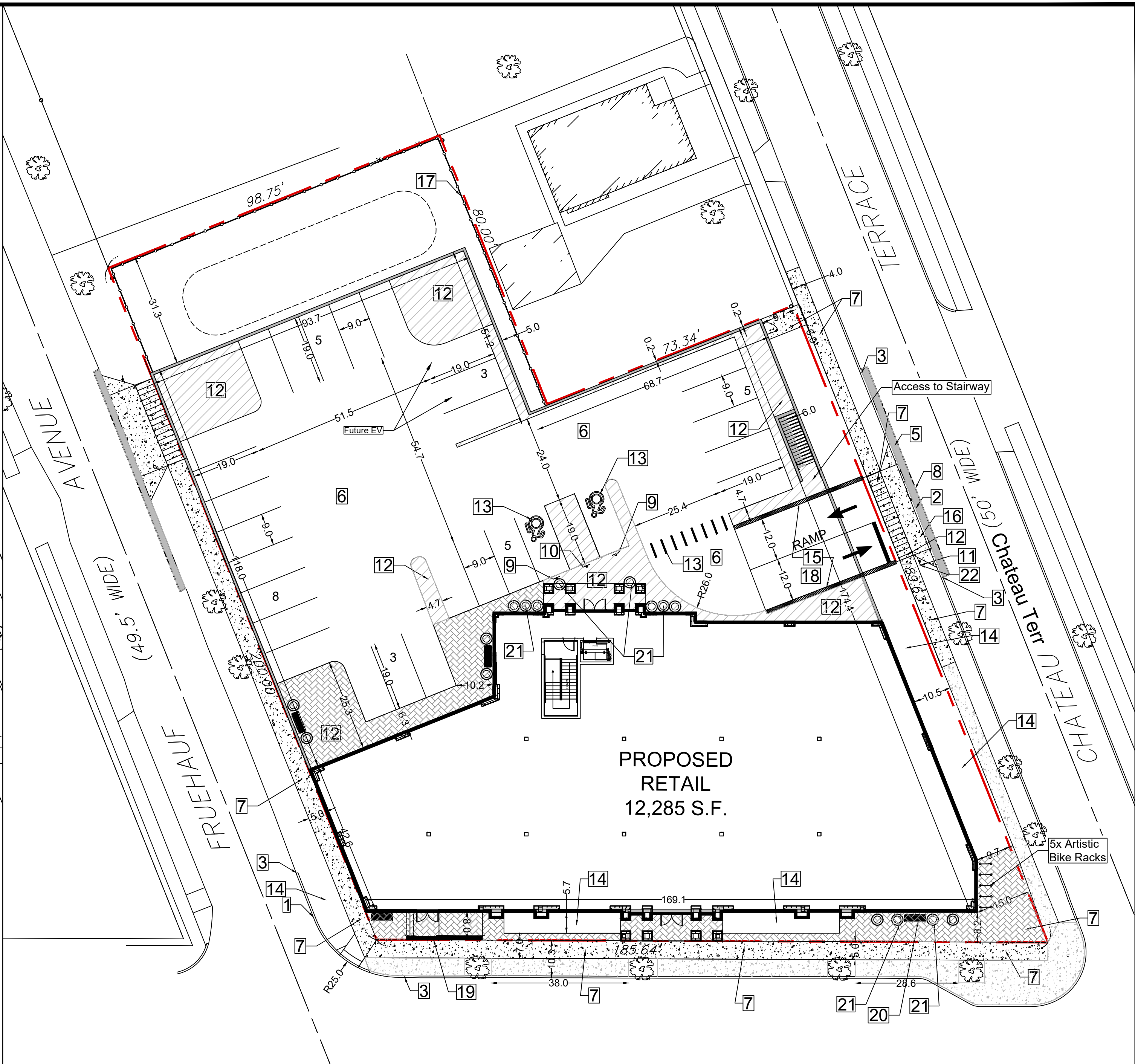
TITLE:
Overall Site Plan

SCALE:
1" = 20'
DRAWN BY:
DMZ
CHECKED BY:
MAO
DATE:
04.16.2025

DRAWING NO.
C4.0



Basement Level



Ground Level

GENERAL NOTES:

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10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
11. CONCRETE SIDEWALK SEALERS; (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES).
- 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
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12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.
14. CONTRACTOR TO PROVIDE NEW PAVEMENT THAT CONFORMS TO THE GRADING PLAN WHILE MAINTAINING, AS A MINIMUM, THE EXISTING STONE BASE. THE MEANS AND METHODS OF OBTAINING NEW GRADES IS LEFT UP TO THE CONTRACTOR AND CAN BE OBTAINED VIA SHIMMING THE PAVEMENT AND THEN A NEW TOP COAT, REMOVING EXISTING ASPHALT PAVEMENT AND REGRADING EXISTING STONE BASE, A COMBINATION OF THESE TWO OR ANOTHER METHOD OF THE CONTRACTORS CHOOSING. FINAL PAVEMENT WORK PLAN SHALL BE PROVIDED TO OWNER AND ENGINEER FOR REVIEW AND APPROVAL.

SITE LEGEND:

- Property line
- 6" Curb (typ.)
- Proposed sign & pole
- Proposed Concrete Sidewalk
- Existing Concrete Sidewalk
- *All Parking Surfaces within building footprint shall be concrete. Refer to Structural Drawings
- Proposed Asphalt Pavement
- Proposed Outdoor Amenity Space (Paver Surface)

* Refer to General Notes, Construction Details and Architectural Plans for Concrete Sealer information.

- SITE NOTES:**
1. Proposed 6" concrete Curb.
 2. Proposed Flush Concrete Curb.
 3. Match into Existing Curb or runoff over 2'.
 4. Proposed Edge of Pavement.
 5. Proposed Standard Duty Pavement.
 6. Proposed Concrete Deck / Pavement. Refer to Structural Drawings
 7. Proposed Concrete/Paver Sidewalk.
 8. Match into Existing Pavement.
 9. Proposed "Handicapped Parking Only" sign.
 10. Proposed "No Parking" sign.
 11. Proposed STOP Sign.
 12. 4" Yellow Pavement Stripe (at 2' c-c in no parking zones).
 13. Proposed White Pavement symbol (stop bar, directional arrows, accessibility symbol, text)
 14. Proposed Landscape Area.
 15. Proposed Ramp Retaining Wall (Refer to Structural Plans)
 16. Proposed Concrete Driveway.
 17. Proposed Solid Composite Fence
 18. Proposed Heated Concrete Ramp
 19. Proposed Ramp/Stairs with retaining wall.
 20. Proposed Pedestrian Bench
 21. Proposed Circular Landscape Planter
 22. Traffic Signage (Restricted No Turn)

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SEAL



TITLE: **Detailed Site Plan**

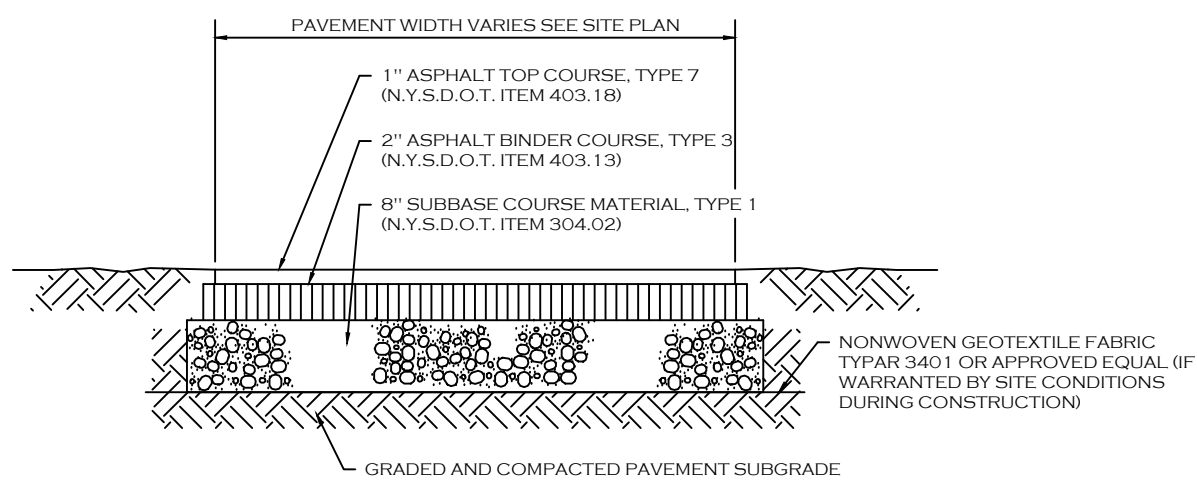
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DRAWN BY: DMZ

CHECKED BY: MAO

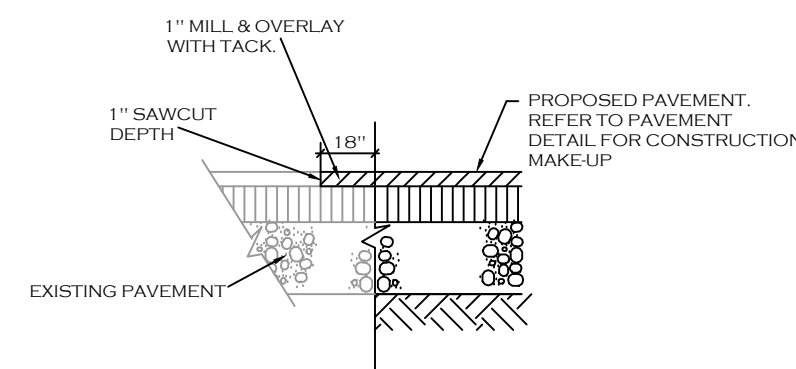
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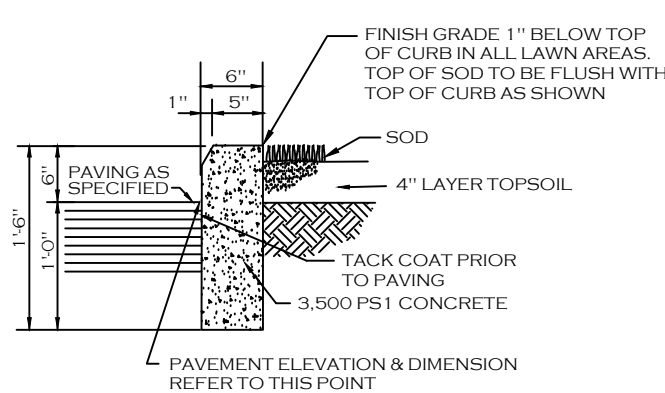


NOTE: CONSTRUCTION METHODS FOR ASPHALT PAVEMENT SHALL CONFORM TO NYSDOT STANDARD SPECIFICATION 401.3, WITH SUBBASE CONSTRUCTION METHODS CONFORMING TO NYSDOT STANDARD SPECIFICATION 304.3.

STANDARD DUTY ASPHALT SECTION

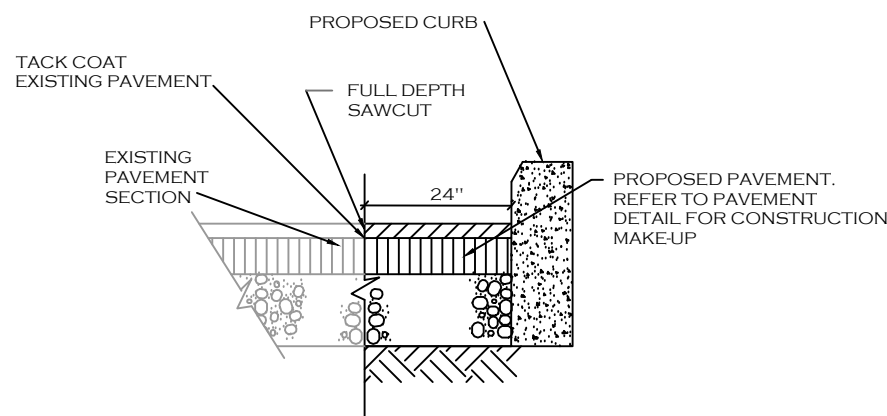


PAVEMENT TRANSITION DETAIL (ASPHALT PAVEMENT)

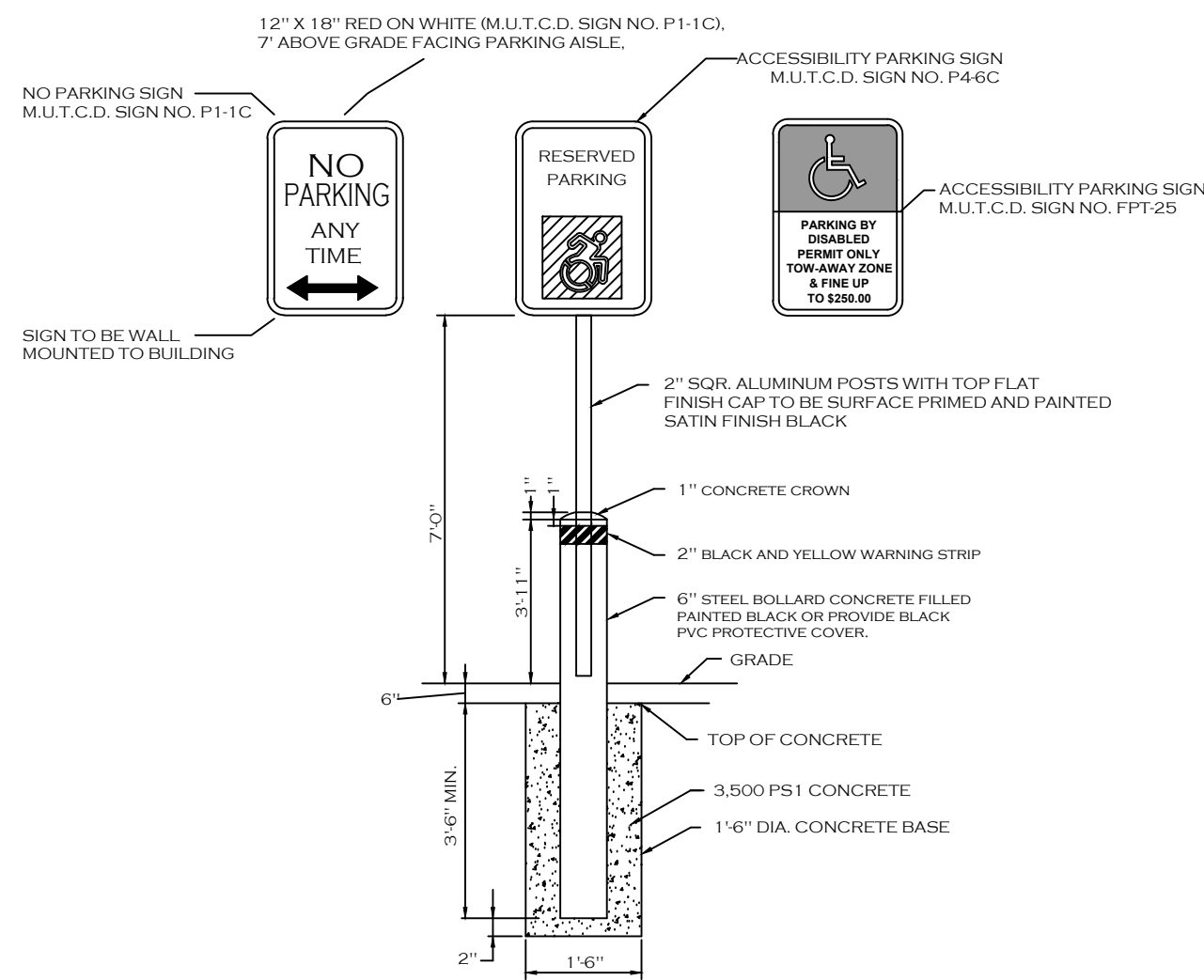


NOTE: CONTROL JOINTS TO BE 2" DEEP AT 15'-0" O.C. BOTHWAYS - SEE SPECIFICATIONS FOR FURTHER JOINT REQUIREMENTS NYSDOT 702.0700

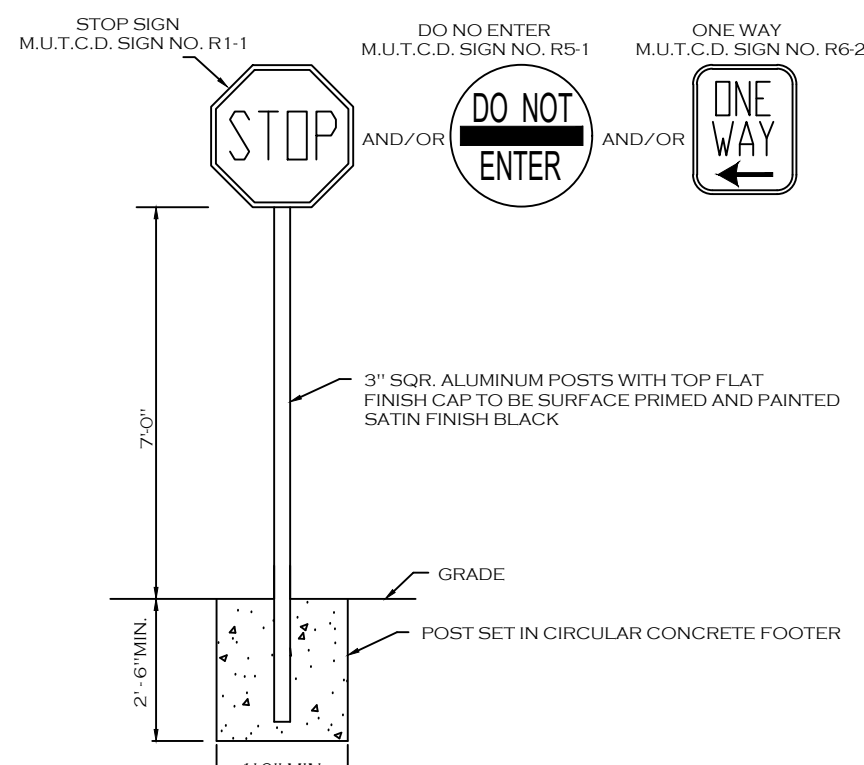
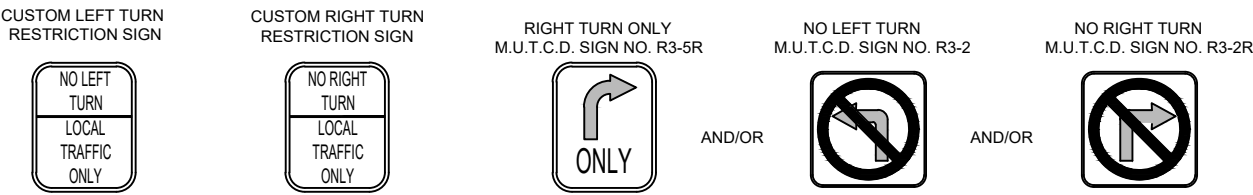
TYPE "A" CONCRETE CURB



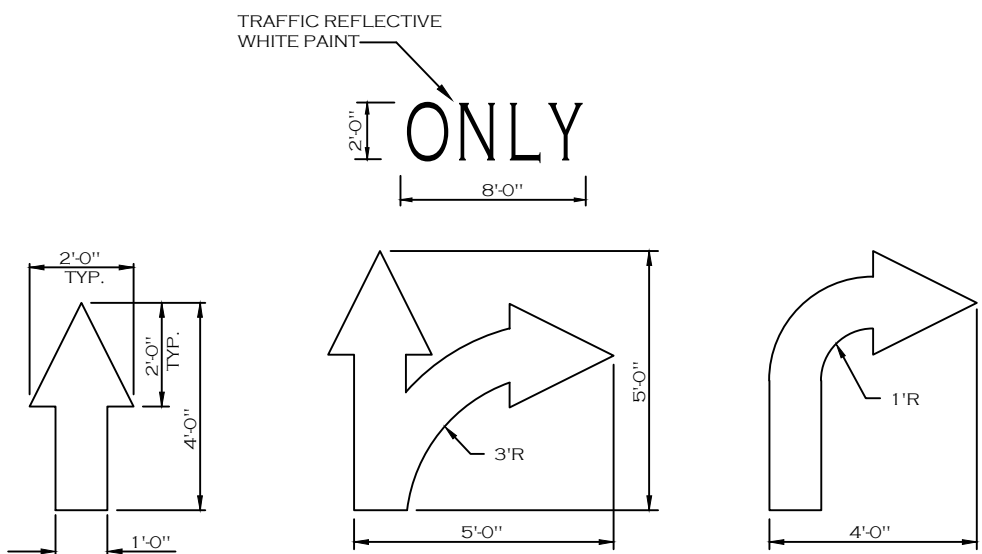
CURB AND PAVEMENT TRANSITION DETAIL



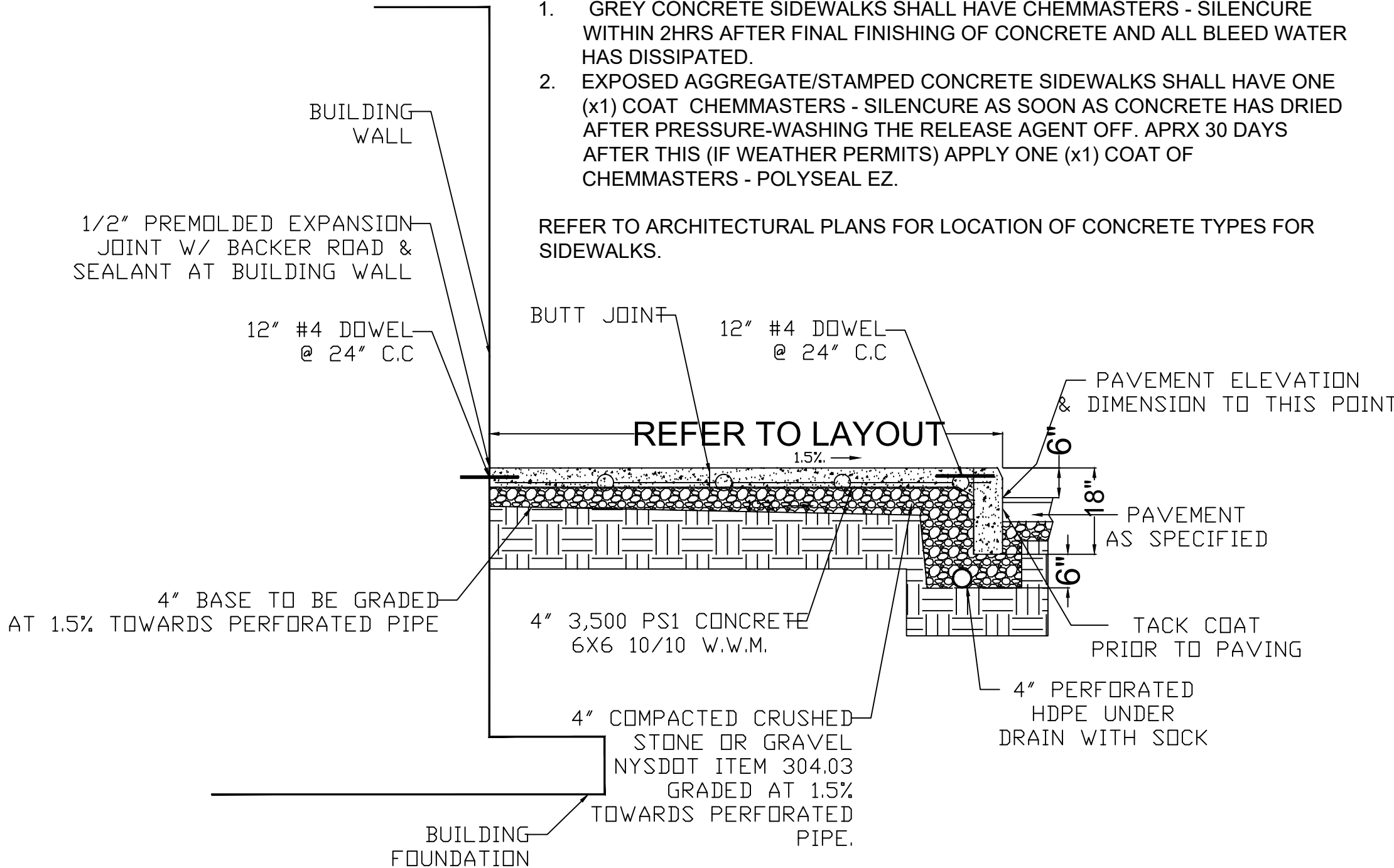
HANDICAP / NO PARKING SIGNS Black Post



"STOP" / "NO ENTRY" / "ONE WAY" SIGNS Black Post and Footer

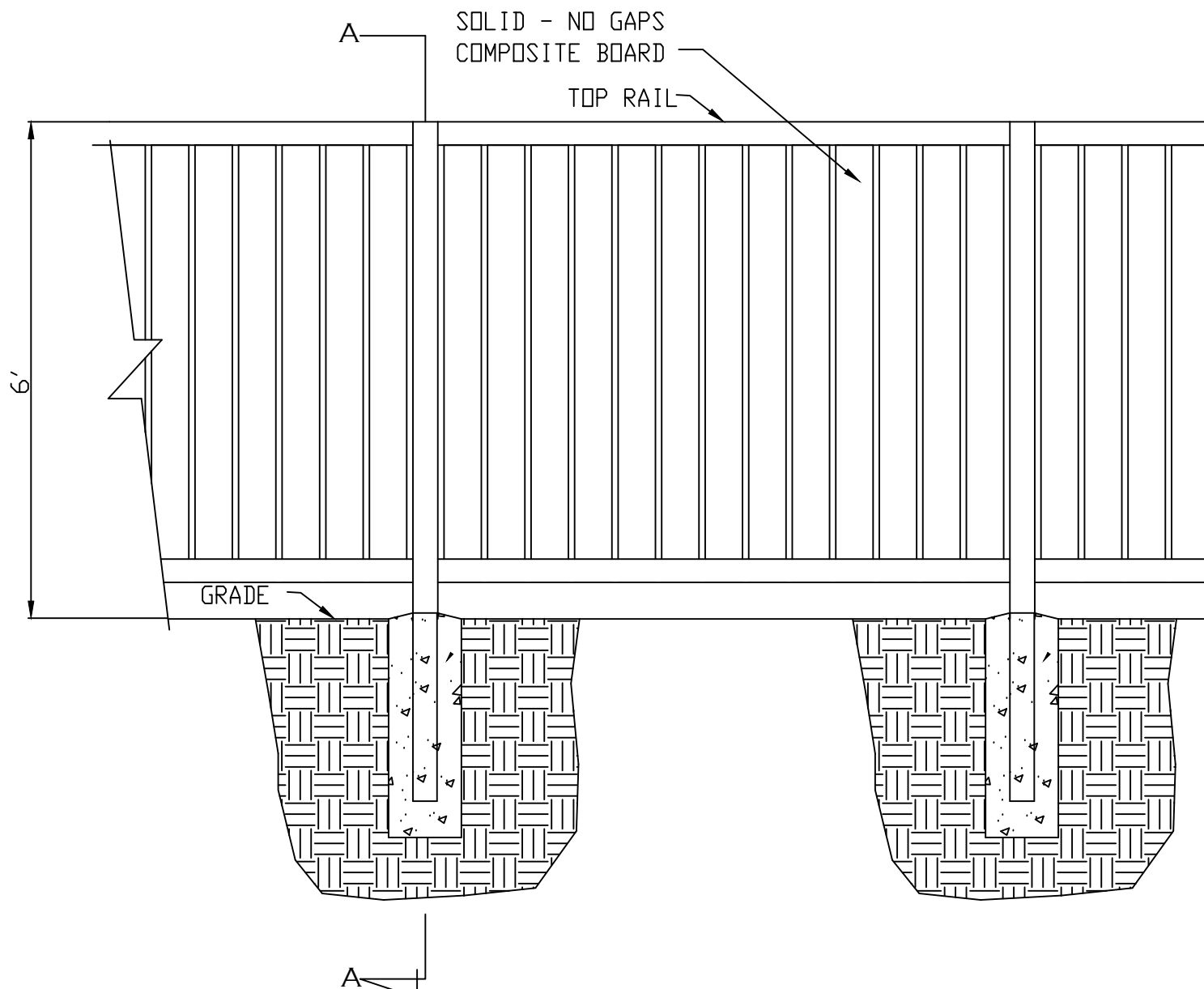


PAINTED TRAFFIC ARROWS

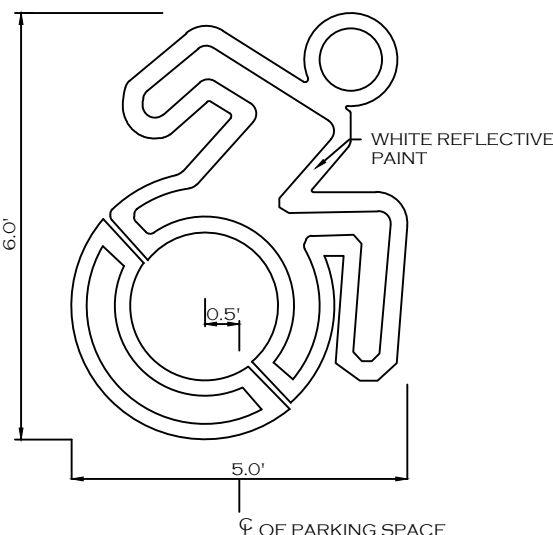


BUILDING SIDEWALK DETAIL

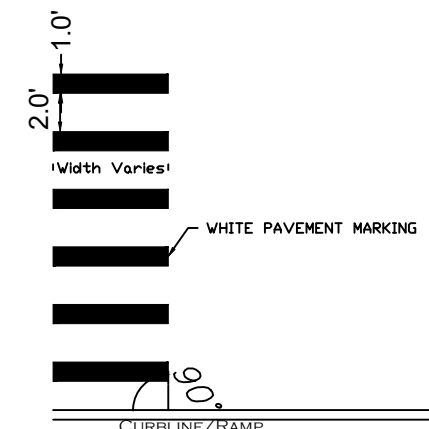
CONTRACTOR TO VERIFY WITH OWNER ON CURB DETAIL



6FT SOLID COMPOSITE FENCE DETAIL



INTERNATIONAL ACCESSIBILITY SYMBOL



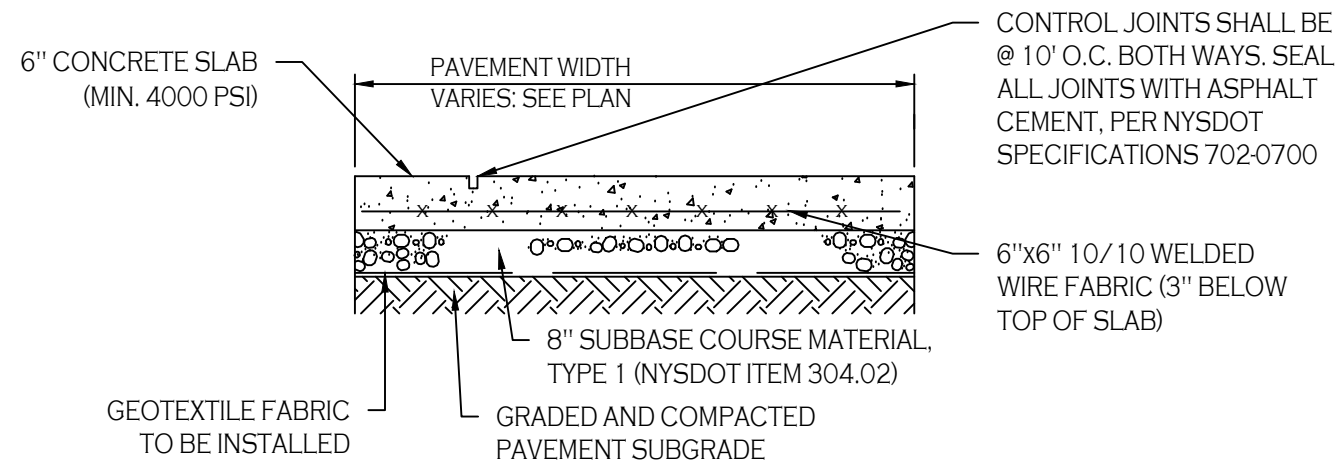
PEDESTRIAN CROSSWALK

- NOTES:
1. CONCRETE SIDEWALK AND DRIVEWAY MATERIAL SHALL CONFORM TO NYSDOT STANDARD SPECIFICATION 501 AND CONSTRUCTION METHODS SHALL CONFORM TO NYSDOT STANDARD SPECIFICATION 608-3
 2. BUTT JOINTS TO BE AT 5'-0" O.C. BOTHWAYS - SEE SPECIFICATIONS FOR FURTHER JOINT REQUIREMENTS NYSDOT 702-0700.

CONCRETE SIDEWALK SEALERS:

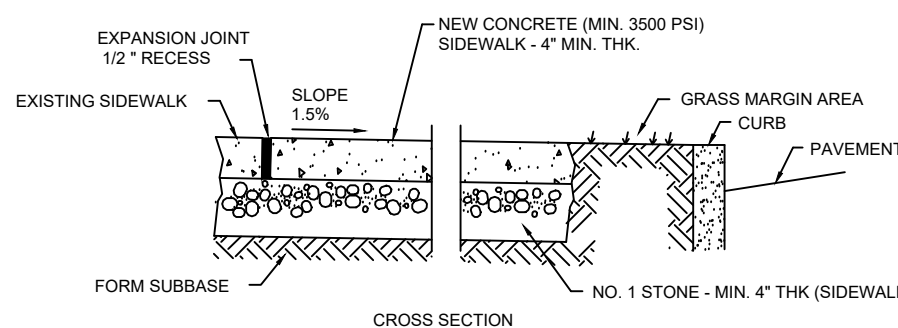
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REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES FOR SIDEWALKS.



- NOTES:
1. CONCRETE PAVEMENT MATERIAL SHALL CONFORM TO NYSDOT STANDARD SPECIFICATIONS 501 & CONSTRUCTION METHODS SHALL CONFORM TO NYSDOT STANDARD SPECIFICATION 502.3.
 2. PROPOSED CONCRETE FINISH SHALL BE: BROOM FINISH.
 3. ALL JOINTS MUST BE CUT WITHIN 24 HOURS OF POURING CONCRETE IF CONTRACTOR ELECTS TO SAW-CUT THE CONTROL JOINTS.

N.Y.S.D.O.T. CONCRETE SECTION (DRIVEWAY & SIDEWALKS) N.T.S.



- NOTES:
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 2. CONCRETE SIDEWALK MATERIAL SHALL CONFORM TO NYSDOT STANDARD SPECIFICATION 501 AND CONSTRUCTION METHODS SHALL CONFORM TO NYSDOT STANDARD SPECIFICATION 608-3.
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REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES FOR SIDEWALKS.

STANDARD CONCRETE SIDEWALK



ARTISTIC BIKE RACK CONCEPT DESIGN

OFFICIAL TOWN USE ONLY

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			and Town Comments	
3	06.04.2025	DZ	Town Meeting Update	

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SEAL

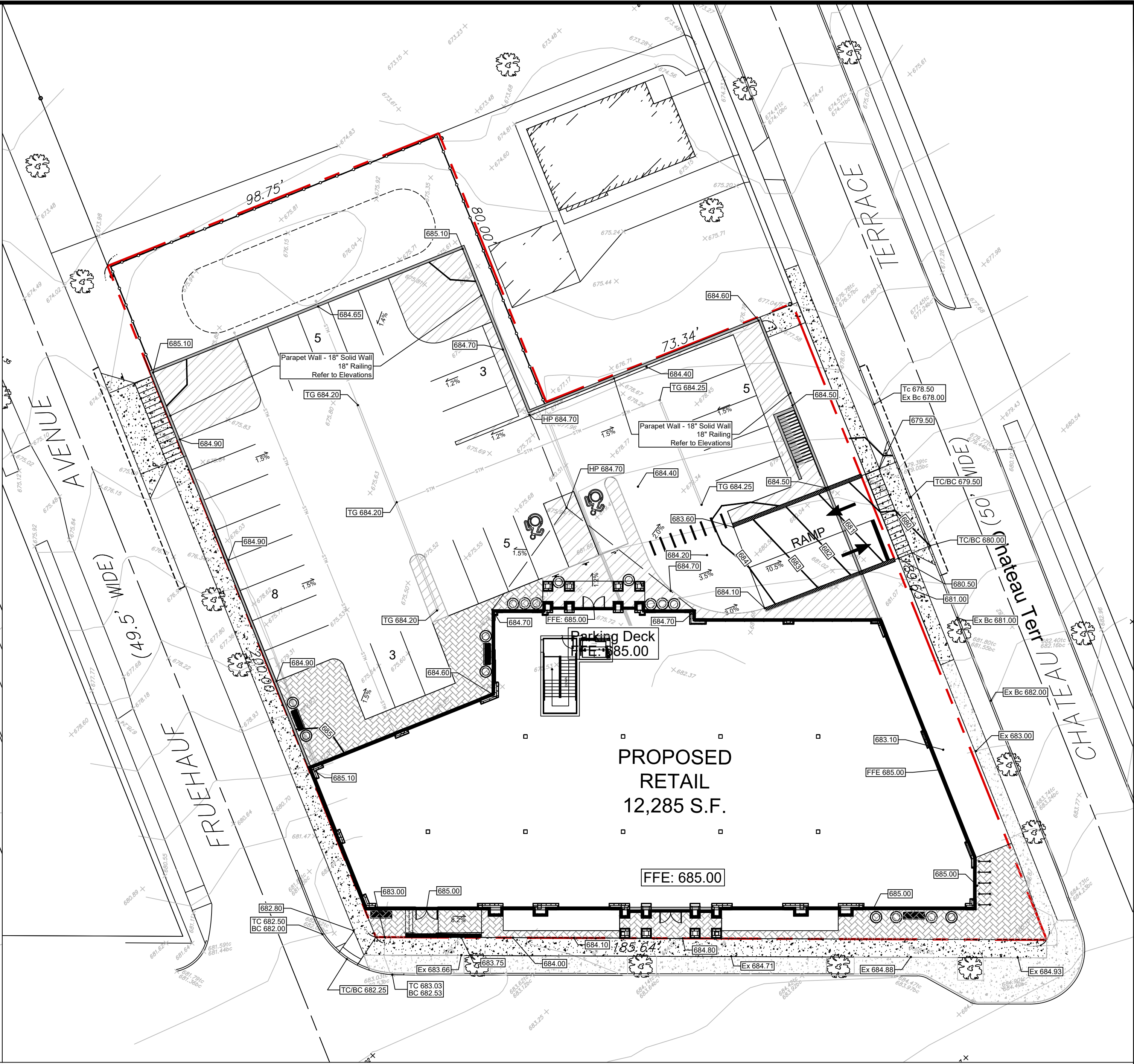
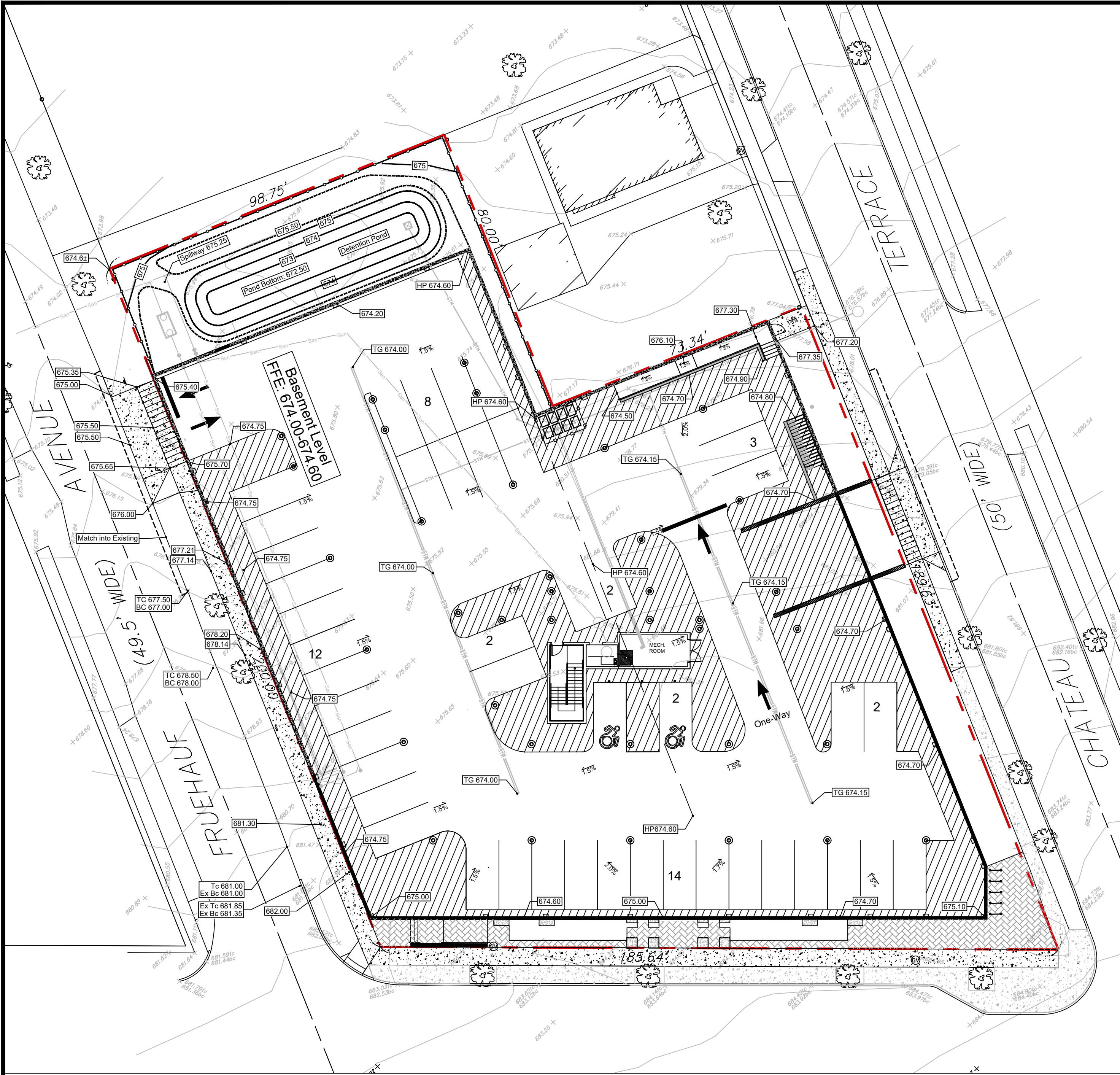


TITLE:

Construction
Details

SCALE:
NTS
DRAWN BY:
DMZ
CHECKED BY:
MAO
DATE:
04.16.2025

C4.2

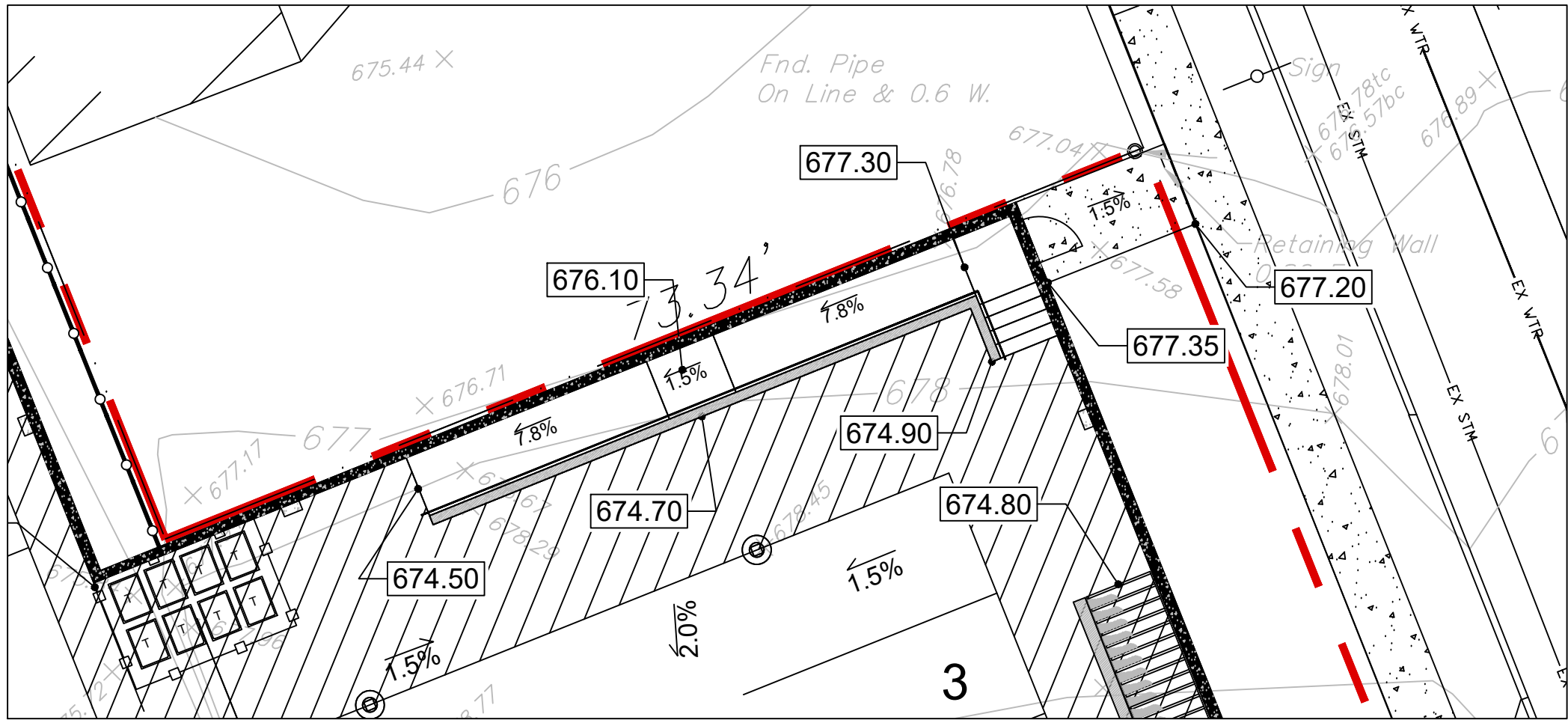


Basement Level

Ground Level

Events for Pond 1P: Proposed Stormwater Storage & Outlet						
Event	Inflow (cfs)	Outflow (cfs)	Primary (cfs)	Secondary (cfs)	Elevation (feet)	Storage (cubic-feet)
1-Year	1.71	0.87	0.87	0.00	673.58	468
2-Year	2.12	0.94	0.94	0.00	673.92	722
5-Year	2.64	1.01	1.01	0.00	674.32	1,075
10-Year	3.12	1.07	1.07	0.00	674.64	1,419
25-Year	3.85	1.14	1.14	0.00	675.08	1,977
50-Year	4.51	2.16	1.18	0.98	675.35	2,366
100-Year	5.29	3.95	1.20	2.76	675.46	2,525

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 14. CONTRACTOR TO PROVIDE NEW PAVEMENT THAT CONFORMS TO THE GRADING PLAN WHILE MAINTAINING, AS A MINIMUM, THE EXISTING STONE BASE. THE MEANS AND METHODS OF OBTAINING NEW GRADES IS LEFT UP TO THE CONTRACTOR AND CAN BE OBTAINED VIA SHIMMING THE PAVEMENT AND THEN A NEW TOP COAT, REMOVING EXISTING ASPHALT PAVEMENT AND REGRADING EXISTING STONE BASE, A COMBINATION OF THESE TWO OR ANOTHER METHOD OF THE CONTRACTORS CHOOSING. FINAL PAVEMENT WORK PLAN SHALL BE PROVIDED TO OWNER AND ENGINEER FOR REVIEW AND APPROVAL.



Basement Pedestrian Ramp
Scale 1" = 10'

GRADING LEGEND:

- Property Line
- 6" Curb (typ.)
- Catch Basin - Top of Grade
- Proposed Contour Line
- Slope Direction

HOLD CRITICAL SLOPE - FINISHED FLOOR ELEVATION MUST BE VERIFIED AT EACH ENTRY DOOR PRIOR TO SETTING OF CONCRETE CURB FORMS TO VERIFY THAT SIDEWALK SLOPE DOES NOT EXCEED 1.5%.

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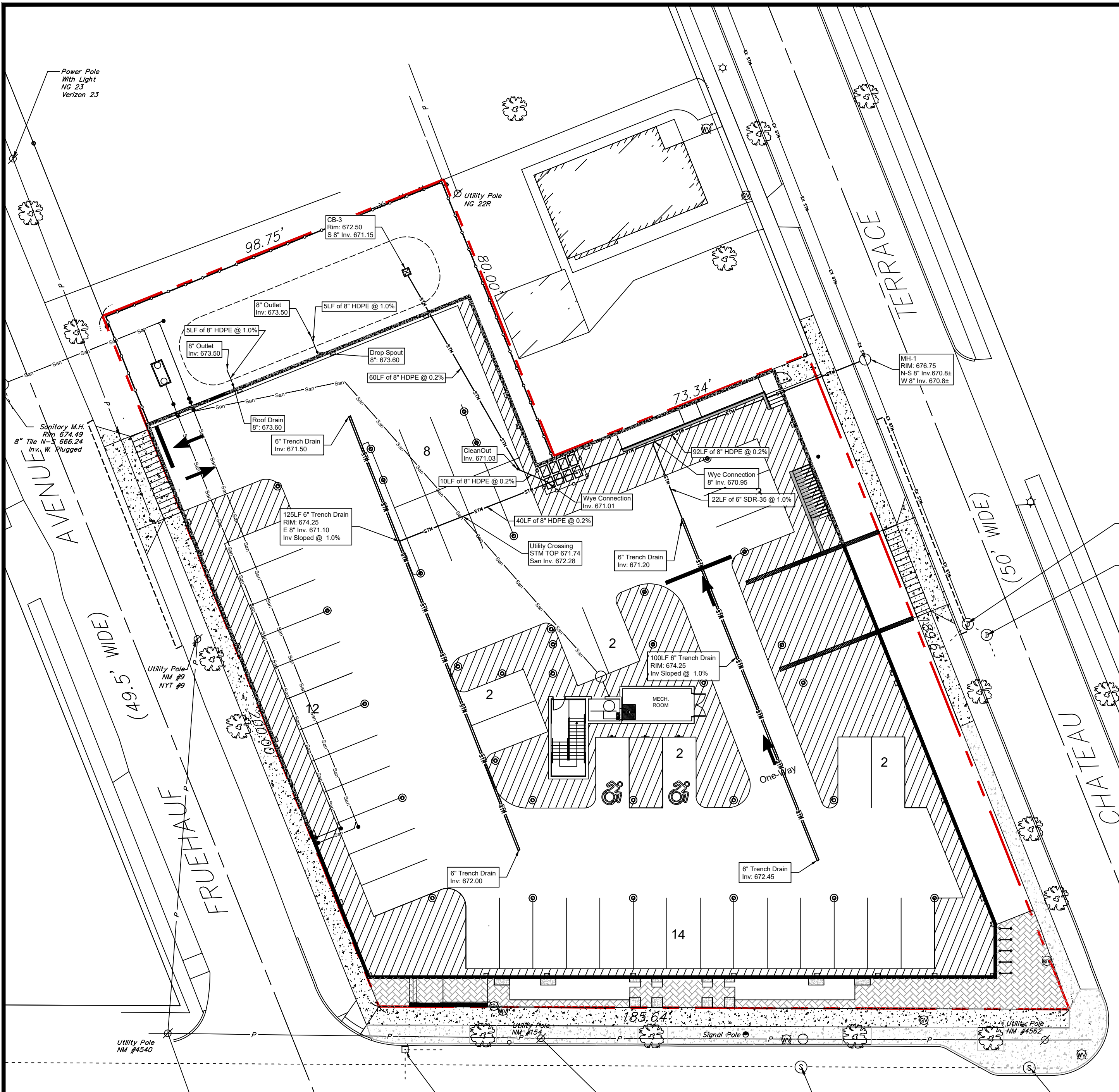
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570 DELAWARE AVE., BUFFALO, NY 14202
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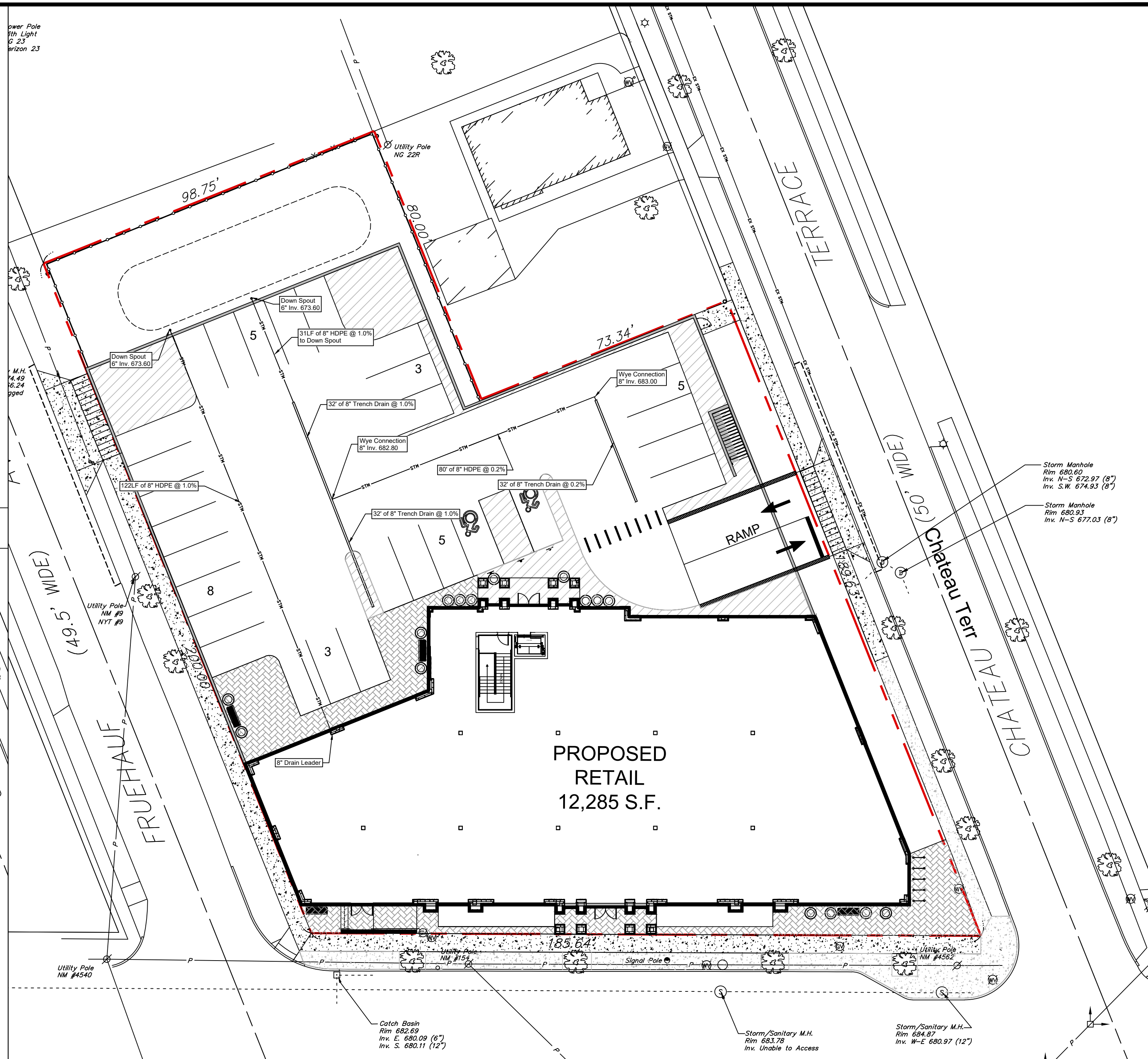
SEAL



TITLE: Grading Plan
SCALE: 1" = 20'
DRAWN BY: DMZ
CHECKED BY: MAO
DATE: 04.16.2025
DRAWING NO. C5.0



Basement Level



Ground Level

- GENERAL NOTES:
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
 2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
 3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
 4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
 6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
 7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
 8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
 9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
 10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
 11. CONCRETE SIDEWALK SEALERS; (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES).
 - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
 - 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (x1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APPX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (x1) COAT OF CHEMMASTERS - POLYSEAL EZ.
 12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
 13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.
 14. CONTRACTOR TO PROVIDE NEW PAVEMENT THAT CONFORMS TO THE GRADING PLAN WHILE MAINTAINING, AS A MINIMUM, THE EXISTING STONE BASE. THE MEANS AND METHODS OF OBTAINING NEW GRADES IS LEFT UP TO THE CONTRACTOR AND CAN BE OBTAINED VIA SHIMMING THE PAVEMENT AND THEN A NEW TOP COAT, REMOVING EXISTING ASPHALT PAVEMENT AND REGRADING EXISTING STONE BASE, A COMBINATION OF THESE TWO OR ANOTHER METHOD OF THE CONTRACTORS CHOOSING. FINAL PAVEMENT WORK PLAN SHALL BE PROVIDED TO OWNER AND ENGINEER FOR REVIEW AND APPROVAL.

DRAINAGE LEGEND:

- PROPERTY LINE
- STW --- PROPOSED STORMWATER
- 6" CURB TYP.
- CO / WC PROPOSED STORM CLEAN OUT / WYE CONNECTION
- CB - # PROPOSED CATCH BASIN

OFFICIAL TOWN USE ONLY

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS
1	04.29.2025	DZ	Arch Updates
2	05.27.2025	DZ	Coordination Notes and Town Comments
3	06.04.2025	DZ	Town Meeting Update
4	07.14.2025	DZ	Site Updates

SPECIAL INFORMATION:
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNER'S ACCEPTANCE.

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NOTICE
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CONSTRUCTION SET



PROPERTY NUMBER: #5202
AREA: -

Main St - Snyder
4548-4564 Main St.
Amherst, NY 14226

PROPOSED RETAIL

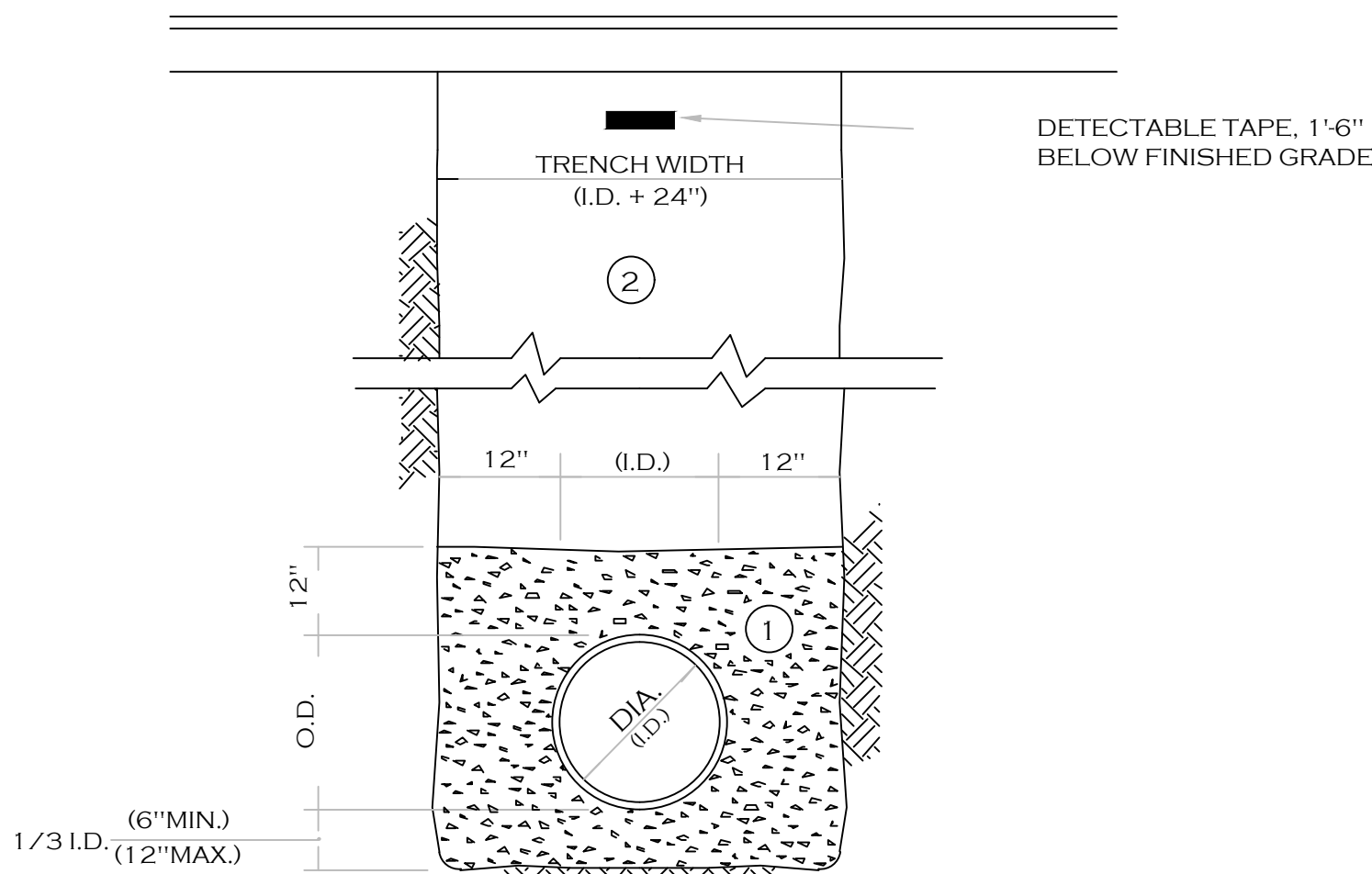
CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
BENDERSON DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE: Drainage Plan
SCALE: 1" = 20'
DRAWN BY: DMZ
CHECKED BY: MAO
DATE: 04.16.2025
DRAWING NO. C5.1



- A. PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- B. TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
- C. TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
- D. AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS.

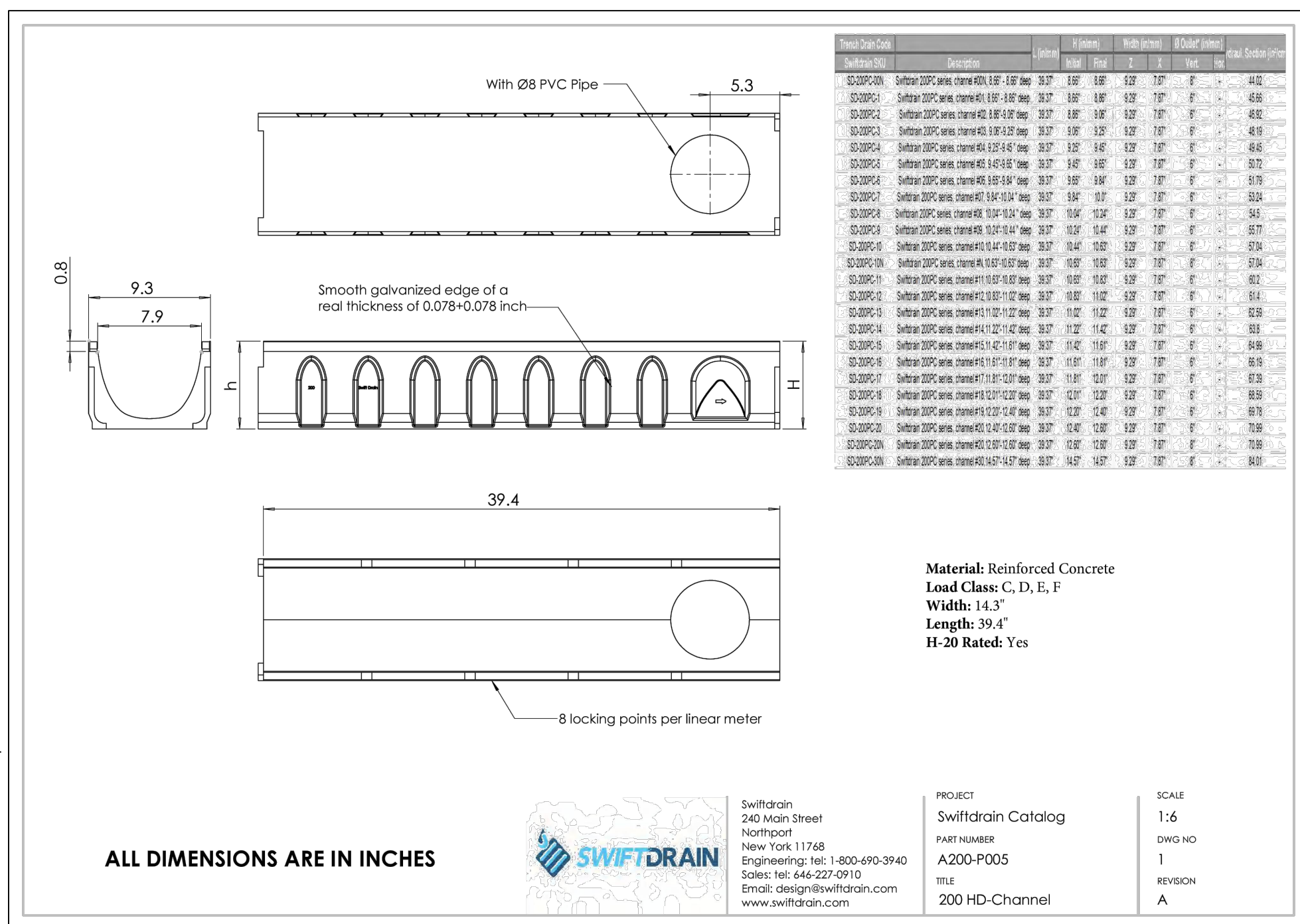
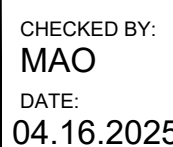
2. BACKFILL MATERIAL SHALL BE NATIVE SOIL CONTAINING NO UNSUITABLE MATERIAL COMPACTED IN 6" LIFTS.

Diagram illustrating the proposed pipe connection to an existing manhole. The diagram shows an existing 6" diameter storm drain (left) and an existing manhole/culvert wall and base (right). A proposed pipe is shown connecting the storm drain to the manhole, matching the existing invert level. The manhole opening is 10" diameter. The connection is reinforced with rebar (typical).

Diagram illustrating the installation of a stainless steel power sleeve ring and gasket on a manhole/cb base section.

Labels and components shown:













- STAINLESS STEEL POWER SLEEVE RING OR APPROVED EQUAL
- GASKET (PRESS SEAL GASKET CORP. OR EQUAL)
- STAINLESS STEEL TAKE-UP CLAMP= 1 FOR PIPE 14.3" O.D. OR SMALLER 2 FOR PIPE 14.3" O.D. OR LARGER
- 10" PIPE
- MANHOLE/CB BASE SECTION





GENERAL NOTES:

1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
3. WORK SHALL COMPLY WITH ALL STRUCTURE CONSTRUCTION, AND ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING UTILITIES. COORDINATE WITH THE CITY OF CHICAGO TO OBTAIN ALL NECESSARY UTILITY COMPASS RECORDS.
8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
11. CONCRETE SIDEWALK SEALERS: (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES.)
 - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 24HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
 - 11.2. EXPOSED AREA AND MEDIAN CONCRETE SIDEWALKS SHALL HAVE ONE (x1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APPROX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (x1) COAT OF CHEMMASTERS - POLYSEAL EZ.
12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.
14. CONTRACTOR TO PROVIDE NEW PAVEMENT THAT CONFORMS TO THE GRADING PLAN WHILE MAINTAINING, AS A MINIMUM, THE EXISTING STONE BASE AND SUB-BASE. EXISTING GRADES SHALL BE MAINTAINED TO THE MAXIMUM EXTENT POSSIBLE. NEW PAVEMENT CAN BE OBTAINED VIA SHIMMING THE PAVEMENT AND THEN A NEW TOP COAT, REMOVING EXISTING ASPHALT PAVEMENT AND REGRADE EXISTING STONE BASE, A COMBINATION OF THESE TWO OR ANOTHER METHOD OF THE CONTRACTORS CHOOSING. FINAL PAVEMENT WORK PLAN SHALL BE PROVIDED TO OWNER AND ENGINEER FOR REVIEW AND APPROVAL.

	PROPERTY LINE
	G PROPOSED GAS
	W PROPOSED WATER
	E PROPOSED ELECTRIC
	San PROPOSED SANITARY
	EX ELEG EXISTING ELECTRIC
	EX GAS EXISTING GAS
	EX VTR EXISTING WATER
	EX OH EXISTING OVERHEAD UTILITY
	EX SAN EXISTING SANITARY
	EX STM EXISTING STORM
	EX TE EXISTING TELECOMS

OFFICIAL TOWN USE ONLY

CONSULTANT

BENDERSON
DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

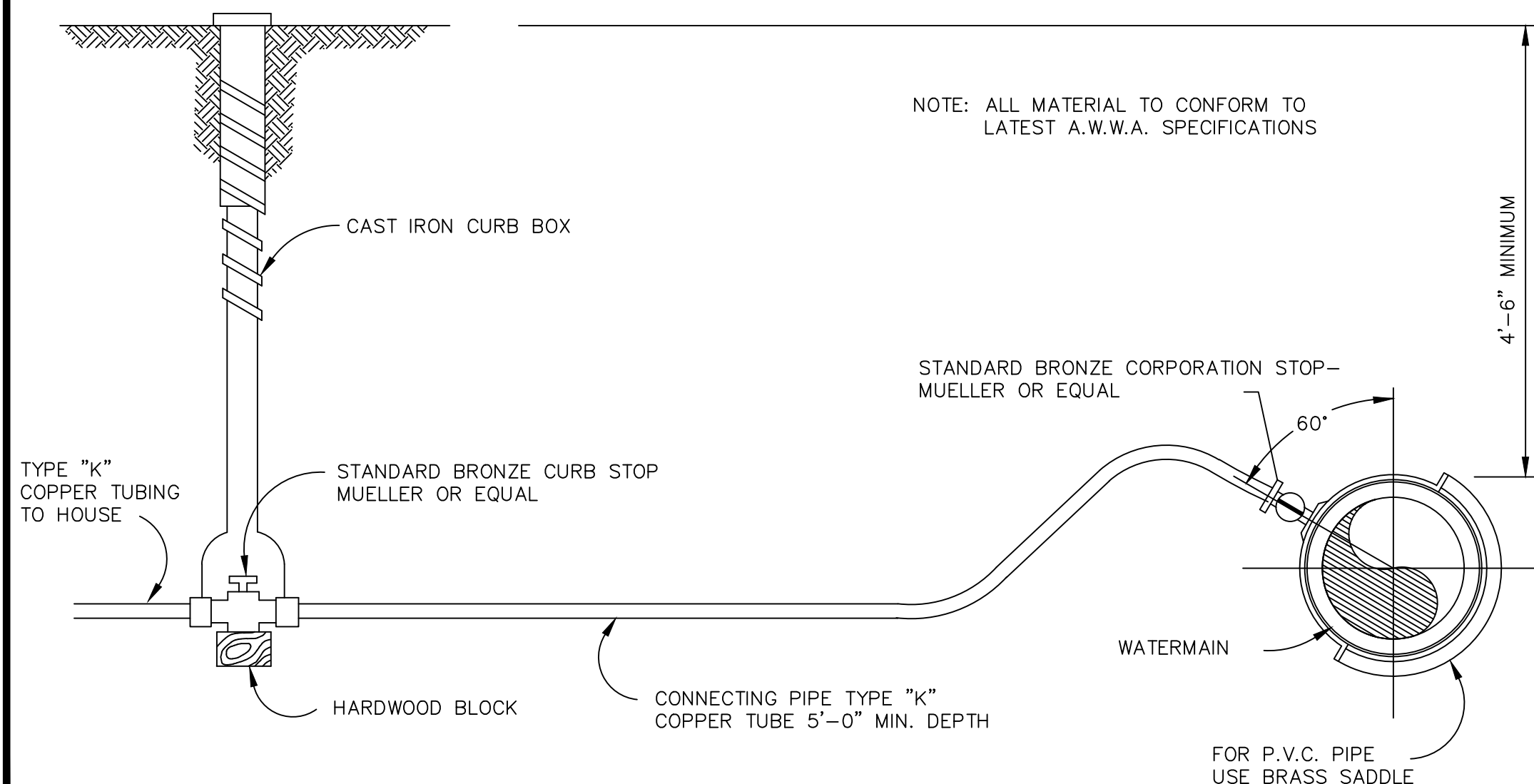
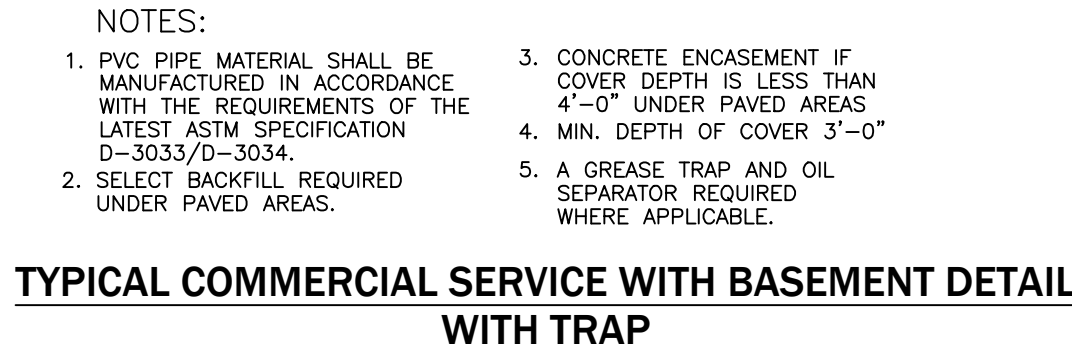
SEAL

TITLE: **Utility
Plan**

SCALE:
1" = 20'
DRAWN BY:
DMZ
CHECKED BY:
MAO
DATE:
04.16.2025

DRAWING NO

C6.0



WATER CROSSING DETAIL
CLEARANCE LESS THAN 18"

TOWN OF AMHERST TYPICAL PRECAST
CONCRETE DROP MANHOLE
(FOR DROP CONNECTION)

WATER CROSSING DETAIL
CLEARANCE LESS THAN 18"

DIMENSION SCHEDULE		
PIPE SIZE	TEE OR TAP SLEEVE	
—	'H'	'L'
4"	1.5'	1.0'
6"	1.5'	2.5'
8"	1.5'	3.5'
10"	2.5'	3.5'
12"	3.5'	3.5'

WATER MAIN

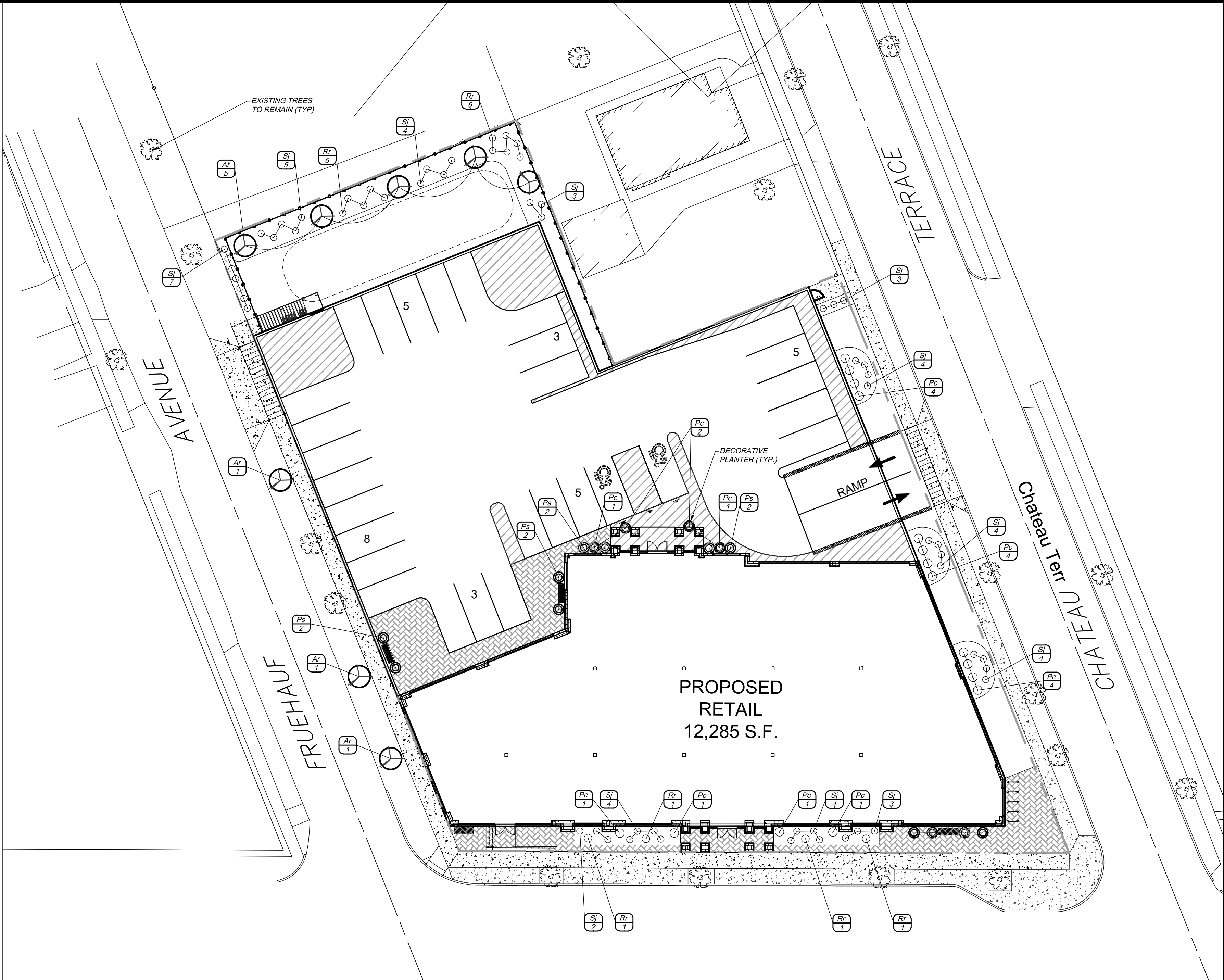
TYPICAL FIRE HYDRANT ASSEMBLY DETAIL

TYPICAL GATE VALVE DETAIL

C6.1

LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR SHALL SECURE CURRENT PLANS AND SPECIFICATIONS FOR PROPER CONSTRUCTION METHODS AND MATERIAL OF ALL LANDSCAPING PRIOR TO COMMENCING WORK.
- ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z60.1 (LATEST EDITION).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF.
- THE CONTRACTOR SHALL PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANT MATERIAL AND SHRUB BEDS. CONTACT OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL. LOCATIONS SHOWN ON THE PLANS CONVEY DESIGN INTENT ONLY. ACTUAL LOCATIONS WILL BE AS DIRECTED BY THE LANDSCAPE ARCHITECT AT THE TIME OF INSTALLATION.
- THE CONTRACTOR IS HEREBY NOTIFIED THAT UNDERGROUND UTILITIES EXIST. SHOULD LOCATION OF TREES BE WITHIN 5' OF UNDERGROUND UTILITIES, RELOCATE SAID TREES TO A MINIMUM OF 5' FROM BALL TO UTILITIES.
- SHOULD LOCATION OF TREES BE WITHIN 20' OF OVERHEAD WIRES, RELOCATE SAID TREES TO A MINIMUM OF 20' FROM WIRES.
- ALL TREES AND SHRUBS SHALL RECEIVE A 3" LAYER OF BLACK SHREDDED HARDWOOD BARK MULCH.
- ALL PLANTS MUST BE HARDY UNDER CLIMATE CONDITIONS THAT EXIST AT THE PROJECT SITE AND GROWN AT A NURSERY AT THE SAME HARDINESS ZONE AS THE PROJECT LOCATION.
- NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER OR OWNER'S PROJECT LANDSCAPE ARCHITECT.
- ANY PLANT WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANT MATERIALS (INCLUDING, BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING, AND REMOVAL OF STAKES AND GUYS) AND NEWLY ESTABLISHED LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
- ALL AREAS DISTURBED BY UTILITY INSTALLATION AND SITE GRADING ACTIVITY SHALL RECEIVE 6" APPROVED TOPSOIL TO A COMPACTED DEPTH OF 6" UNLESS OTHERWISE SPECIFIED BY THE GOVERNING MUNICIPALITY. BE FINE GRADES, SEEDED, MULCHED, AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ANY IRRIGATION COMPONENT DAMAGED DURING SITE OR LANDSCAPE RENOVATIONS MUST BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER.
- A ONE YEAR GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM THE DATE OF PROVISIONAL ACCEPTANCE.
- PLANTING BACKFILL MIXTURE SHALL CONSIST OF 3 PARTS TOPSOIL AND 1 PART COMPOST THOROUGHLY MIXED. PLANTING SOIL DEPTH SHALL BE 3" MINIMUM, AND BE FREE FROM CONSTRUCTION DEBRIS AND FOREIGN MATERIALS.
- STAKE TREES IMMEDIATELY AFTER PLANTING.
- LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE WORK AREA. IF ANY TREE IS LOCATED CLOSER THAN 5' TO AN UNDERGROUND UTILITY, IT SHALL BE RELOCATED TO A LOCATION THAT IS A MINIMUM OF 5' AWAY AS MEASURED FROM THE ROOTBALL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, AND SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.



MEDIUM IMPACT LANDSCAPE SCREEN OPTION 1

PLANT TYPE	SPACING	DISTANCE	DISTANCE/SPACING	PLANT QUANTITY
LARGE DECIDUOUS TREES (Za)	1/25 L.F.	112 Ft	112/25 = 4.48 (ROUND TO 5)	5
EVERGREEN & DECIDUOUS SHRUBS Sj	1/5 L.F.	112 Ft	112/5 = 22.4 (ROUND TO 23)	23

PLANT SCHEDULE

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE SIZE
ORNAMENTAL / DECIDUOUS TREES						
5	Af	ACER X FREEMANII 'JEFFERSRED'	FREEMAN MAPLE	2.5" CAL.	BB	HT. 40-50', SP. 30-40'
3	Ar	ACER X FREEMANII	ARMSTRONG MAPLE	2.5" Cal	BB	HT. 40-55', SP. 30-40"
SHRUBS						
67	Sj	SPIREA JAPONICA 'GOLD MOUND'	GOLD MOUND SPIREA	3 GAL. (24" MIN.)	CONT.	HT. 2'-3', SP. 4'
11	Pc	PRUNUS X CISTENA	PURPLELEAF SAND CHERRY	3 GAL. (24" MIN.)	CONT.	HT. 3'-4', SP. 4'
8	Rr	ROSA 'RADRAZZ'	KNOCK OUT ROSES	3 GAL. (24 MIN")	CONT.	HT. 3'-4', SP. 3-4'
PERENNIALS & GRASSES						
8	PS	PENNISETUM SETACEUM	FOUNTAIN GRASS	3 GAL. (24" MIN)	CONT.	HT. 3'-5', SP. 2'-4'



Existing Tree to Remain

OFFICIAL TOWN USE ONLY

DRAWING REVISIONS:

No.	DATE	BY	REMARKS
1	7-16-2025	EG	
2	8-20-2025	EG	

SPECIAL INFORMATION:

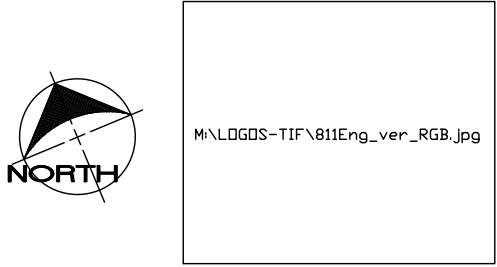
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CONSTRUCTION SET



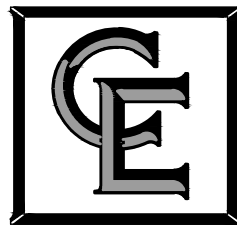
PROPERTY NUMBER:
#5202

AREA:
-

Main St - Snyder
4548-4564 Main St.
Amherst, NY 14226

PROPOSED RETAIL

CONSULTANT



COSTICH
ENGINEERING

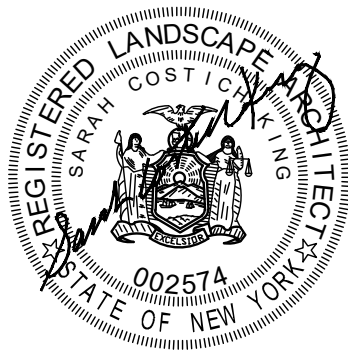
- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 459-3020

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

**BENDERSON
DEVELOPMENT**
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:

Overall
Landscaping Plan

SCALE:

NTS.

DRAWN BY:

TDM

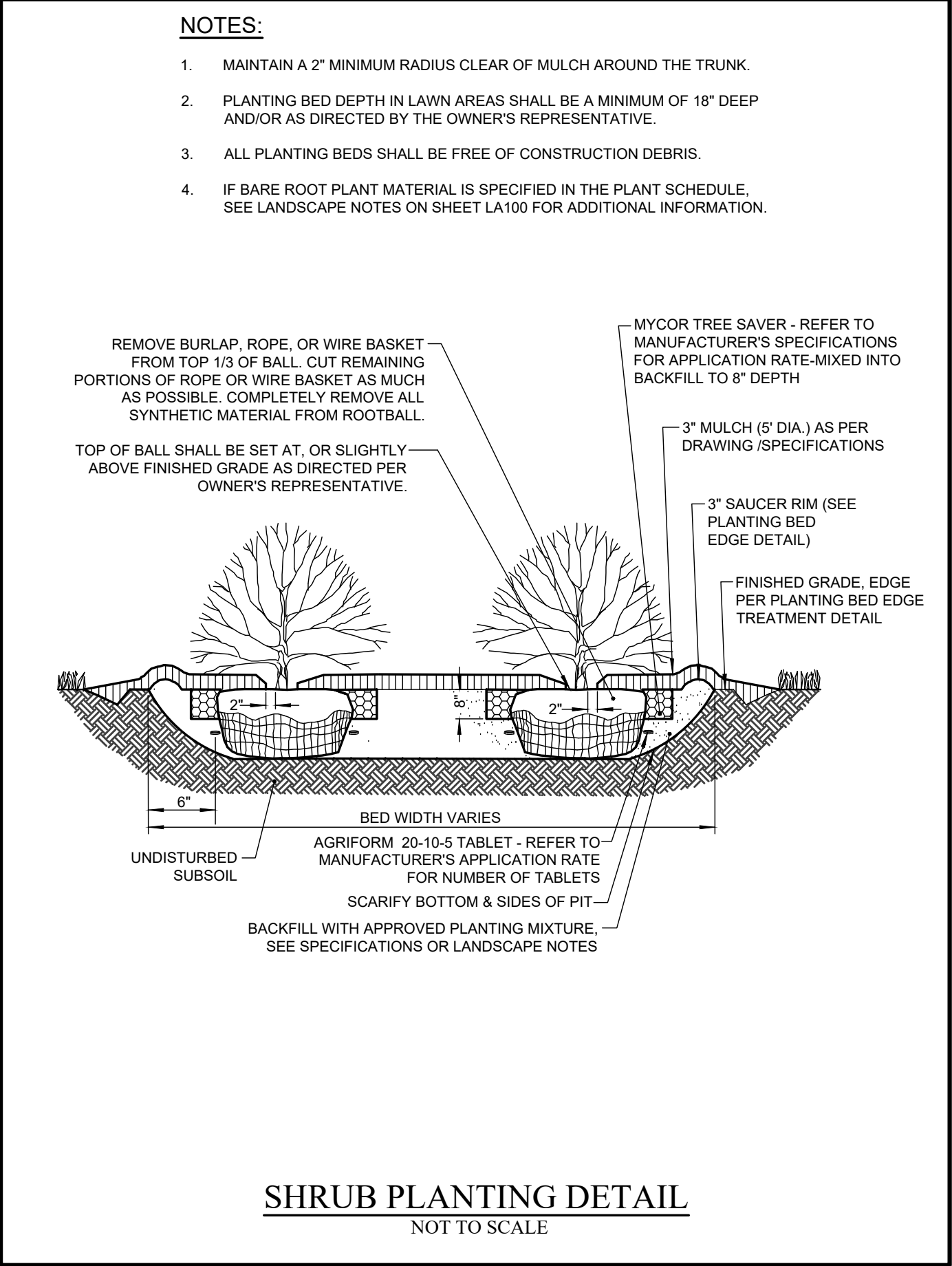
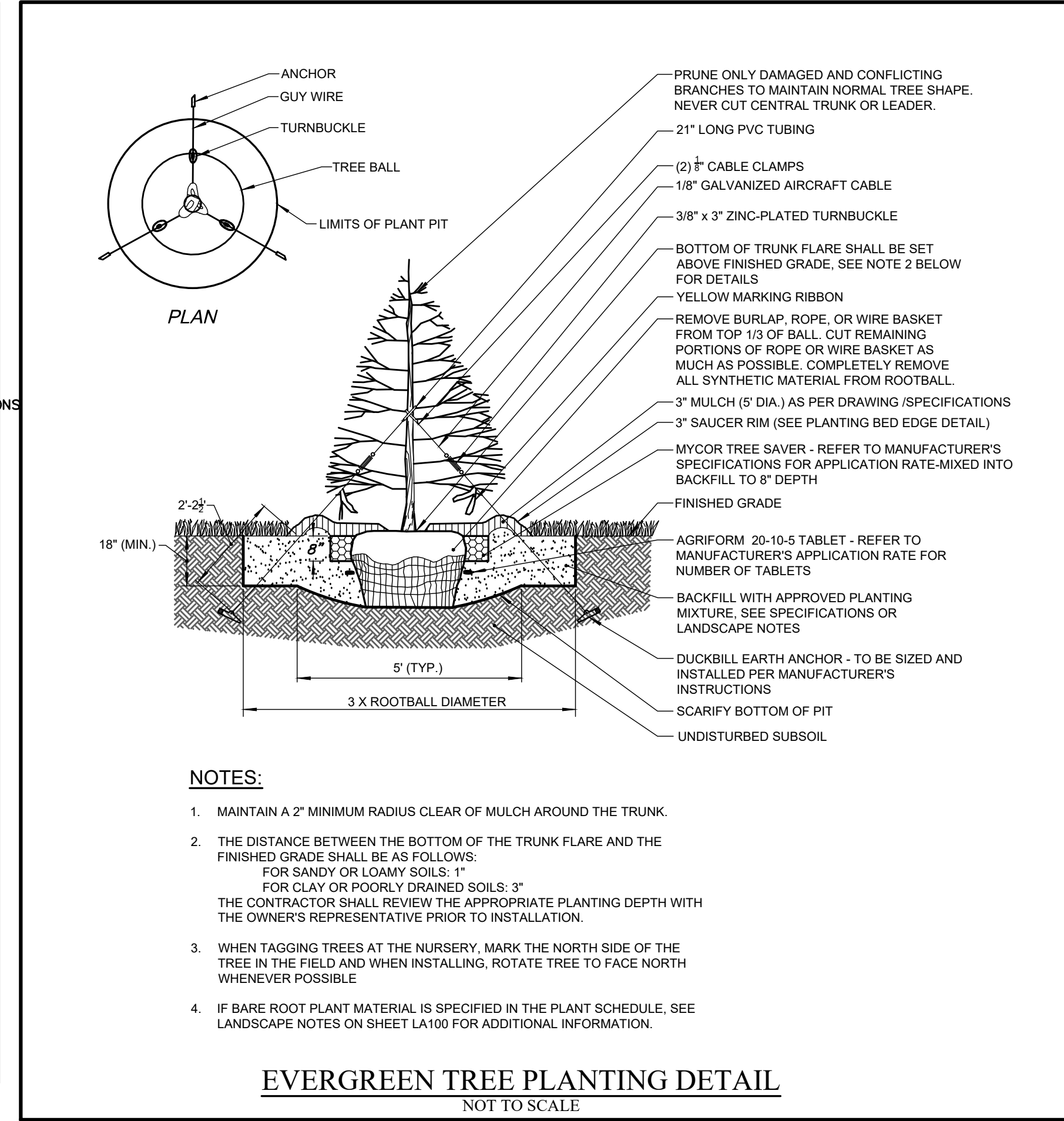
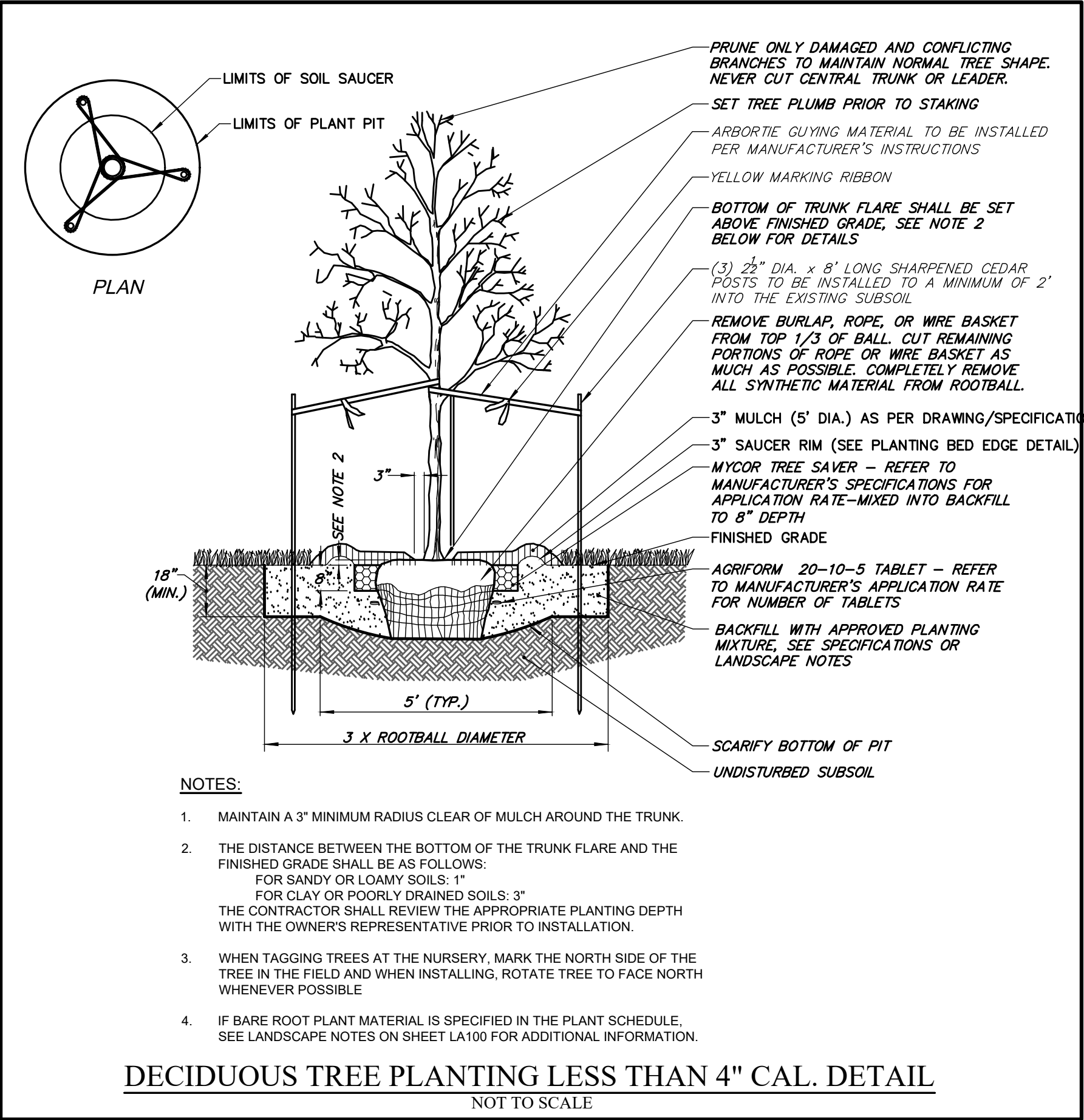
CHECKED BY:

ERG

DATE:

5/29/2025

DRAWING NO.



DRAWING REVISIONS:			
No.	DATE	BY	REMARKS
1	04.25.2025	DZ	Arch Updates
2	05.27.2025	DZ	Coordination Notes
			and Town Comments

SPECIAL INFORMATION:

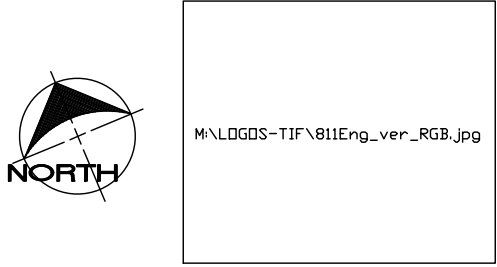
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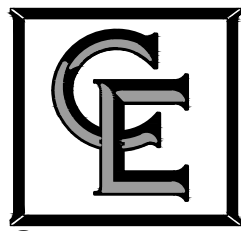
PROPERTY NUMBER: #5202

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Main St - Snyder
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Amherst, NY 14226

PROPOSED RETAIL

CONSULTANT



COSTICH
ENGINEERING

- CIVIL ENGINEERING
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- LANDSCAPE ARCHITECTURE

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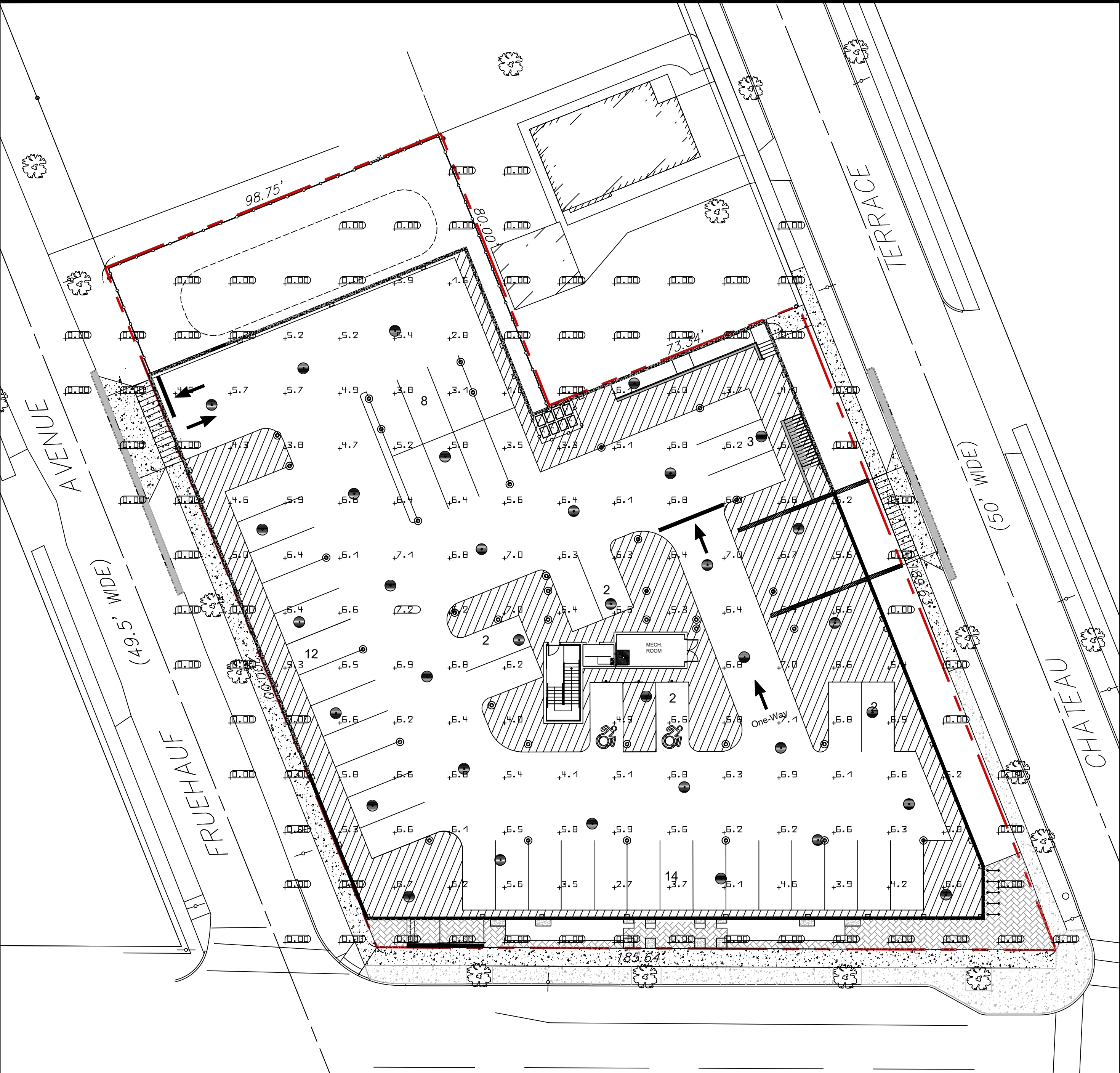
SEAL



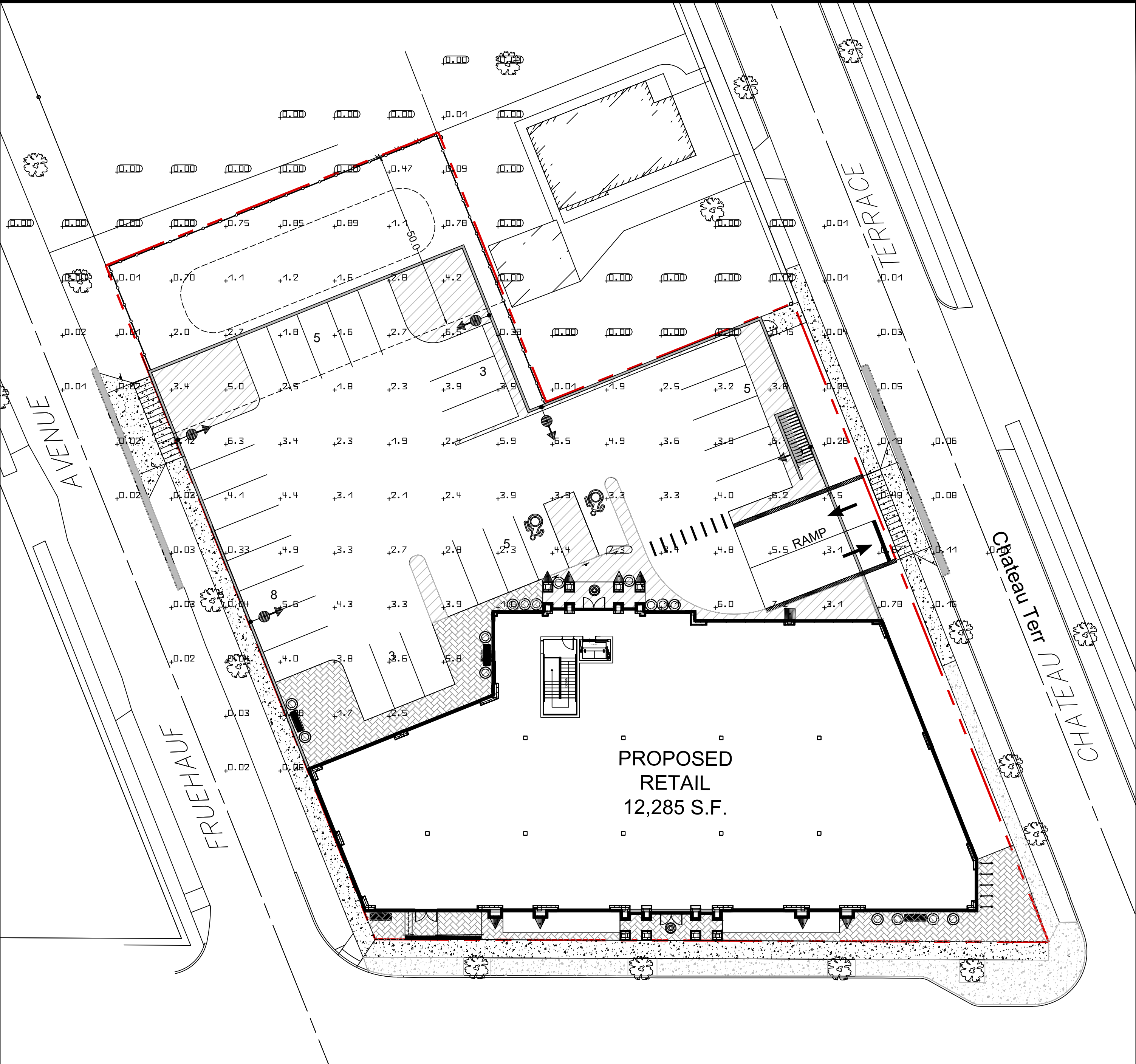
TITLE:
Landscaping
Details

SCALE:
NTS
DRAWN BY: TDM
CHECKED BY: ERG
DATE: 05/29/2025

C7.1



Basement Level



Ground Level

Luminaire Schedule							
Index	Manufacturer	Luminaire type	Item number	Luminous flux	Mounting Height	Connected load	Quantity
	Lithonia Lighting	Lithonia D-Series DSX1 LED Area Luminaire, P4 Power, Type IV Backlight Control, 4000K	DSX1LED-P4-40K-70CRI-BLC4	12044 Lm	15 Ft	124W	5
	Lithonia Lighting	Lithonia VCPG Ultimate LED Parking Garage, V8-P3 Power, Type V Medium, 4000K	VCPGXLED-V8-P3-40K-70CRI-T5M	6334 Lm	10 Ft	42W	34
	Lithonia Lighting	Lithonia WDGE3 LED Wall Sconce, P2 Power, Type4, 4000K	WDGE3LED-P2-40K-70CRI-R4	8779 Lm	15 Ft	59W	2
	Lithonia Lighting	Lithonia RCNY LED Canopy Luminaire, ALO1, Symmetric Clear Lens, 4000K	RCNYLED-ALO1-40K-70CRI-SYMC	8355 Lm	10 Ft	48W	2

Building Sconces- Refer to Architectural Plans

FOOTCANDLE LEVELS AT GRADE					
#	Name	Parameter	Min	Max	Average
1	Non-Residential Parking Area	Ground Level Parking and Site	0.44 fc Code: 0.2 fc	7.26 fc Code: 10.0 fc	1.45 fc Code: 1.5 fc
2	Canopy Area	Basement Parking Area	2.10 fc Code: 2.0 fc	7.26 fc Code: 15.0 fc	4.75 fc Code: 10.0 fc

DRAWING REVISIONS:				
No.	DATE	BY	REMARKS	
1	04.25.2025	DZ	Arch Updates	
2	05.27.2025	DZ	Coordination Notes and Town Comments	
3	06.04.2025	DZ	Town Meeting Update	
4	07.14.2025	DZ	Site Updates	
5	08.20.2025	DZ	Site Updates	

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CONSTRUCTION SET



PROPERTY NUMBER: #5202
AREA: -

Main St - Snyder
4548-4564 Main St.
Amherst, NY 14226

PROPOSED RETAIL

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
BENDERSON DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:
Lighting Plan
SCALE:
1" = 20'
DRAWN BY:
DMZ
CHECKED BY:
MAO
DATE:
04.16.2025
DRAWING NO.
C8.0

D-Series Size 1 LED Area Luminaire



Specifications

EPA:	0.69 ft² (0.06 m²)
Length:	32.71" (83.1 cm)
Width:	14.26" (36.2 cm)
Height H1:	7.88" (20.0 cm)
Height H2:	2.73" (6.9 cm)
Weight:	34 lbs (15.4 kg)



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect. *See ordering tree for details.

EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DDBXD

Series	LEDs	Color Temperature*	Color Rendering Index*	Distribution	Voltage	Mounting
DSX1 LED	Forward optics (this section 70CRI only)					
P1	P6	30K 3000K	70CRI	A8R Automotive front row	120V-277V	Shipped included
P2	P7	40K 4000K	70CRI	T15 Type I short	120V-277V	SPA Square pole mounting (#8 drilling)
P3	P8	50K 5000K	70CRI	T3M Type II medium	120V-277V	SPA Square pole mounting (#8 drilling)
P4	P9			T3M Type II medium	120V-277V	SPA Square pole mounting (#8 drilling)
P5		27K 2700K	80CRI	T3M Type II medium	120V-277V	SPA Square pole mounting (#8 drilling)
Rotated optics						
P10	P12	30K 3000K	80CRI	T3M Type II medium	120V-277V	SPA Square pole mounting (#8 drilling)
P11	P13	50K 5000K	80CRI	T3M Type II medium	120V-277V	SPA Square pole mounting (#8 drilling)

Control options

Shipped installed	Other options	Finish request
NLTAR2 PIRHN Light ARB gsm 2 enabled with 4-level motion / ambient sensor, 8-47 mounting height, ambient sensor enabled at 26"-14.5"	PER7 Seven-pin in-cable only (control ordered separately) ^{1,2,3} FAO Field adjustable output ^{1,2,3} BL30 Bi-level switched dimming, 30% ^{1,2,3} BL50 Bi-level switched dimming, 50% ^{1,2,3} DAG 0-10V dimming wires pulled outside fixture, for use with an external controller, ordered separately ¹ DS Dual switching ^{1,2,3}	DDBXD Dark Bronze DBLXD Black DNALXD Natural Aluminum DWNXD White DOBXD Textured dark bronze DBLXD Textured black DNALXD Textured natural aluminum DWNXD Textured white

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WDGE3 LED Architectural Wall Sconce



Specifications

Depth (D1):	8"
Depth (D2):	1.5"
Height:	9"
Width:	18"
Weight:	19.5 lbs (without options)



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect. *See ordering tree for details.

EXAMPLE: WDGE3 LED P3 40K 70CRI R3 MVOLT SRM DDBXD

Luminaire	Optics	Standard EM, 0° C	Cold EM, 20° C	Sensor	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W			750	1,200	2,000	—	—	—
WDGE2 LED	Visual Comfort	10W	18W	Standalone / night	700	1,200	2,000	3,000	4,500	6,000
WDGE3 LED	Precision Reflective	10W	18W	Standalone / night	700	1,200	2,000	3,000	4,500	6,000
WDGE4 LED	Precision Reflective	15W	18W	Standalone / night	6,000	7,500	8,500	10,000	12,000	—
WDGE5 LED	Precision Reflective			Standalone / night	—	12,000	16,000	18,000	20,000	22,000

Ordering Information

EXAMPLE: WDGE3 LED P3 40K 70CRI R3 MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE3 LED	P0	30K 3000K	70CRI	R2 Type 2	120V-277V	Shipped included
	P1	40K 4000K	80CRI	R3 Type 3	120V-277V	SRM Surface mounting bracket
	P2	50K 5000K		R4 Type 4	120V-277V	ICW Indirect Canopy/Ceiling
	P3			REF Forward throw	120V-277V	Water-tight (dry) - Use when there is no junction box available

Options

Options	Shipped separately	Finish request
E15WH Emergency battery backup, Certified in CA Title 20 MADCBS (15W, 0°C min)	AW5 3/8 inch Architectural wall spacer ¹	DDBXD Dark Bronze
E20WH Emergency battery backup, Certified in CA Title 20 MADCBS (15W, 0°C min)	AW6 3/8 inch Architectural wall spacer ¹	DBLXD Black
PE Photocell, Button Type ¹	AW7 3/8 inch Architectural wall spacer ¹	DNALXD Natural Aluminum
DAG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) ¹	AW8 3/8 inch Architectural wall spacer ¹	DWNXD White
BCE Bottom conduit entry for back box (PBWB), Total of 4 entry points	AW9 3/8 inch Architectural wall spacer ¹	DOBXD Textured dark bronze
SPD10W 10W Surge Pack ¹	AW10 3/8 inch Architectural wall spacer ¹	DBLXD Textured black
CCE Coastal Construction ¹	AW11 3/8 inch Architectural wall spacer ¹	DNALXD Textured natural aluminum

Accessories

WDGEAS DDBXD WDGE3 3/8 inch Architectural Wall Spacer (specify finish)	WDGEAS DBLXD WDGE3 3/8 inch Architectural Wall Spacer (specify finish)
WDGEAS DWNXD WDGE3 3/8 inch Architectural Wall Spacer (specify finish)	WDGEAS DWNXD WDGE3 3/8 inch Architectural Wall Spacer (specify finish)

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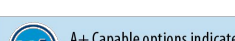
WDGE3 LED Rev. 02/24/25

VCPG Ultimate LED Parking Garage



Specifications

Diameter:	19"
Height:	4.95" (8" with top light)
Weight (max, with no options):	25 lbs



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect. *See ordering tree for details.

EXAMPLE: VCPGX LED V8 P3 40K 70CRI T5M MVOLT PM UPL2 DW-HXD

Series	LED Light Engines	Package	Color Temperature	Color Rendering Index	Distribution	Voltage	Mounting
VCPGX LED	V4 4 Light Engines	P1	30K 3000K	70CRI	T5M Type V, medium	120V-277V	Shipped included
	V8 8 Light Engines	P2	35K 3500K	80CRI	T5M Type V, medium	120V-277V	SPA Square pole mounting (#8 drilling)
		P3	40K 4000K		T5M Type V, medium	120V-277V	SPA Square pole mounting (#8 drilling)
		P4	50K 5000K		T5M Type V, medium	120V-277V	SPA Square pole mounting (#8 drilling)
		P5			T5M Type V, medium	120V-277V	SPA Square pole mounting (#8 drilling)
		P6			T5M Type V, medium	120V-277V	SPA Square pole mounting (#8 drilling)
		P7 (with Y8 only)			T5M Type V, medium	120V-277V	SPA Square pole mounting (#8 drilling)

Options

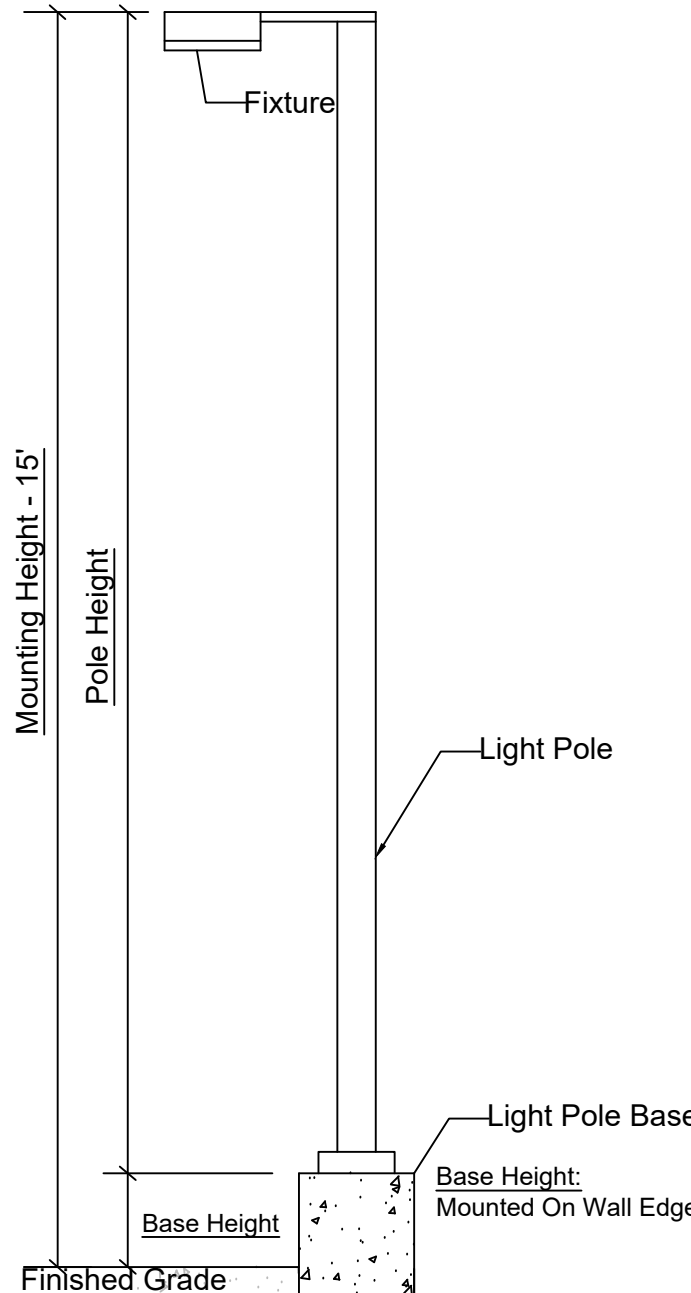
Shipped installed	Shipped separately	Finish request
UPL1 Up-Light: 500 lumens ¹	AW12 3/8 inch Architectural wall spacer ¹	DDBXD Dark Bronze
UPL2 Up-Light: 700 lumens ¹	AW13 3/8 inch Architectural wall spacer ¹	DBLXD Black
UPL3 Up-Light: 900 lumens ¹	AW14 3/8 inch Architectural wall spacer ¹	DNALXD Natural Aluminum
E15WH Emergency battery backup, AC Activate, Certified in CA Title 20 MADCBS (70W, 20°C min) ^{1,2}	AW15 3/8 inch Architectural wall spacer ¹	DWNXD White
E20WH Emergency battery backup, AC Activate, Certified in CA Title 20 MADCBS (100W, 20°C min) ^{1,2}	AW16 3/8 inch Architectural wall spacer ¹	DOBXD Textured dark bronze
E30WH Emergency battery backup, AC Activate, Certified in CA Title 20 MADCBS (150W, 20°C min) ^{1,2}	AW17 3/8 inch Architectural wall spacer ¹	DBLXD Textured black
HA High ambient (50°C, only P1-P4)	AW18 3/8 inch Architectural wall spacer ¹	DNALXD Textured natural aluminum
SE Single face (120V, 277V, 347V)	AW19 3/8 inch Architectural wall spacer ¹	DWNXD Textured white
SPD10W 10W Surge Pack	AW20 3/8 inch Architectural wall spacer ¹	
LD536 36in (8R) lead length	AW21 3/8 inch Architectural wall spacer ¹	
LD572 72in (8R) lead length	AW22 3/8 inch Architectural wall spacer ¹	
LD5108 108in (8R) lead length	AW23 3/8 inch Architectural wall spacer ¹	
DMG External 0-10V leads (no controls) ¹	AW24 3/8 inch Architectural wall spacer ¹	
TP Tamper proof screws	AW25 3/8 inch Architectural wall spacer ¹	

Shipped separately

BDS Bird Shield	BDS Bird Shield
BDS Bird Shield	BDS Bird Shield

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VCPGX LED Rev. 11/04/24



Light Pole Mounting

Mounting Height - 15' Pole Height

Base Height: Mounted on Wall Edge

Finished Grade

Light Pole

Base Height: Mounted on Wall Edge

Light Pole Base

Base Height: Mounted on Wall Edge

Base Height: Mounted on Wall Edge

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