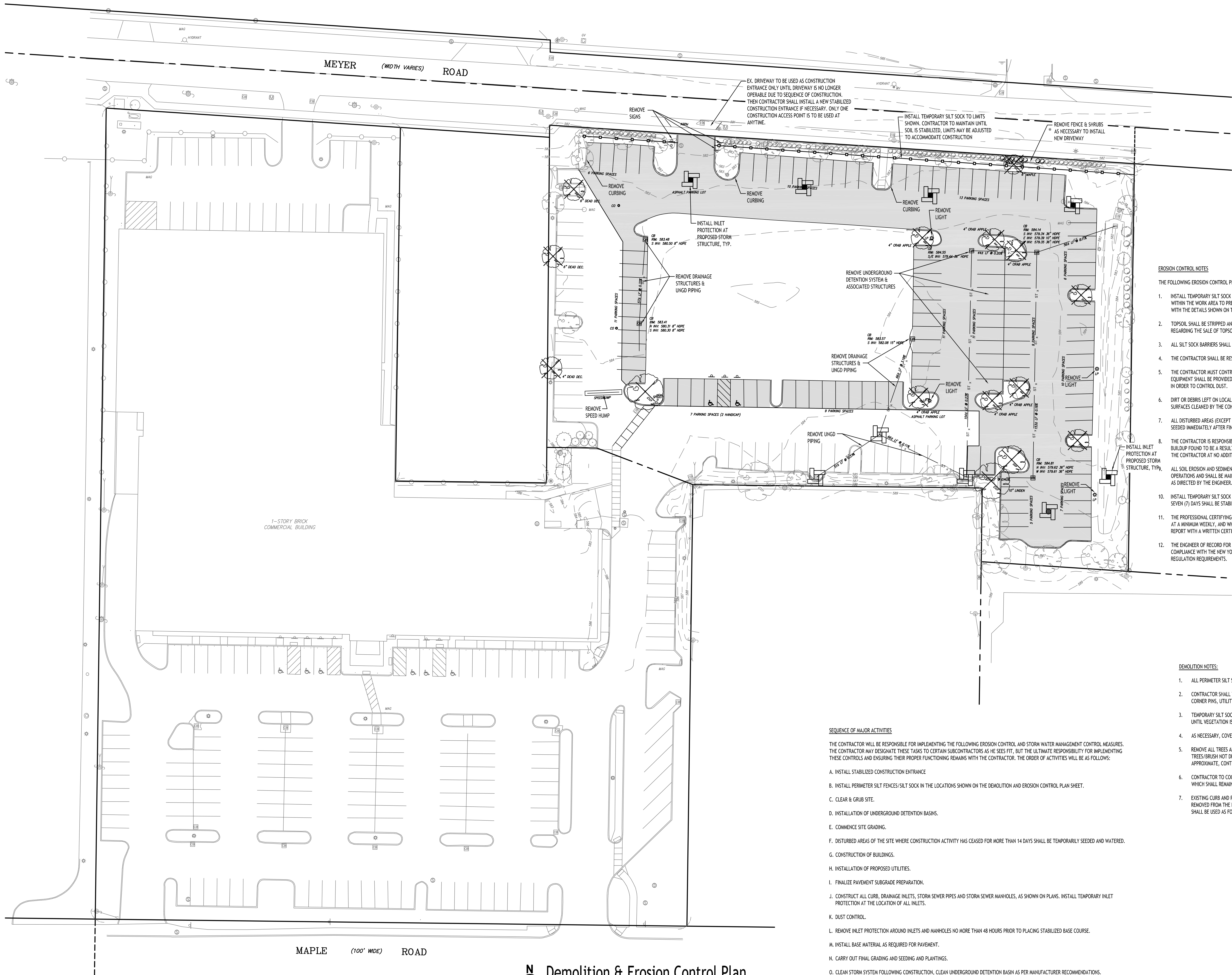


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SEQUENCE OF MAJOR ACTIVITIES

THE CONTRACTOR WILL BE RESPONSIBLE FOR IMPLEMENTING THE FOLLOWING EROSION CONTROL AND STORM WATER MANAGEMENT CONTROL MEASURES. THE CONTRACTOR MAY DESIGNATE THESE TASKS TO CERTAIN SUBCONTRACTORS AS HE SEES FIT, BUT THE ULTIMATE RESPONSIBILITY FOR IMPLEMENTING THESE CONTROLS AND ENSURING THEIR PROPER FUNCTIONING REMAINS WITH THE CONTRACTOR. THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:

- INSTALL STABILIZED CONSTRUCTION ENTRANCE
- INSTALL PERIMETER SILT FENCES/SILT SOCK IN THE LOCATIONS SHOWN ON THE DEMOLITION AND EROSION CONTROL PLAN SHEET.
- CLEAR & GRUB SITE.
- INSTALLATION OF UNDERGROUND DETENTION BASINS.
- COMMENCE SITE GRADING.
- DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS CEASED FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY SEEDED AND WATERED.
- CONSTRUCTION OF BUILDINGS.
- INSTALLATION OF PROPOSED UTILITIES.
- FINALIZE PAVEMENT SUBGRADE PREPARATION.
- CONSTRUCT ALL CURB, DRAINAGE INLETS, STORM SEWER PIPES AND STORM SEWER MANHOLES, AS SHOWN ON PLANS. INSTALL TEMPORARY INLET PROTECTION AT THE LOCATION OF ALL INLETS.
- DUST CONTROL.
- REMOVE INLET PROTECTION AROUND INLETS AND MANHOLES NO MORE THAN 48 HOURS PRIOR TO PLACING STABILIZED BASE COURSE.
- INSTALL BASE MATERIAL AS REQUIRED FOR PAVEMENT.
- CARRY OUT FINAL GRADING AND SEEDING AND PLANTINGS.
- CLEAN STORM SYSTEM FOLLOWING CONSTRUCTION, CLEAN UNDERGROUND DETENTION BASIN AS PER MANUFACTURER RECOMMENDATIONS.
- REMOVE SILT FENCE/SILT SOCK ONLY AFTER ALL PAVING IS COMPLETE AND EXPOSED SURFACES ARE STABILIZED.
- REMOVE TEMPORARY CONSTRUCTION EXITS ONLY PRIOR TO PAVEMENT CONSTRUCTION IN THESE AREAS.

EROSION CONTROL NOTES

THE FOLLOWING EROSION CONTROL PROCEDURES SHALL BE ADHERED TO BY THE CONTRACTOR:

- INSTALL TEMPORARY SILT SOCK BARRIERS AS DIRECTED BY THE OWNER AND AT ALL EXISTING STORMWATER CATCH BASINS WITHIN THE WORK AREA TO PREVENT SEDIMENT MIGRATION. ALL SILT SOCK BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR RE-USE AS DIRECTED BY THE OWNER. ALL LOCAL ORDINANCES REGARDING THE SALE OF TOPSOIL MUST BE FOLLOWED. TOPSOIL MAY NOT BE REMOVED WITHOUT A PERMIT.
- ALL SILT SOCK BARRIERS SHALL BE REPLACED WHEREVER THEY BECOME CLOGGED OR INOPERABLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS.
- THE CONTRACTOR MUST CONTROL DUST DURING CONSTRUCTION. DURING EARTHWORK OPERATIONS, WATER-SPREADING EQUIPMENT SHALL BE PROVIDED BY THE CONTRACTOR, AND SPREAD WATER AS NECESSARY AND AS DIRECTED BY THE OWNER IN ORDER TO CONTROL DUST.
- DIRT OR DEBRIS LEFT ON LOCAL PUBLIC ROADS AS A RESULT OF THIS CONSTRUCTION PROJECT SHALL BE REMOVED AND ROAD SURFACES CLEANED BY THE CONTRACTOR ON A DAILY BASIS.
- ALL DISTURBED AREAS (EXCEPT AREAS TO BE PAVED OR BUILT UPON) SHALL BE TOPSOILED TO A MINIMUM 4" DEPTH AND SEEDED IMMEDIATELY AFTER FINE GRADING TAKES PLACE AND AS SOON AS PHYSICALLY POSSIBLE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF DOWNSTREAM STORM SEWERS, DITCHES, AND CULVERTS. SILT BUILDUP FOUND TO BE A RESULT OF THIS SITE CONSTRUCTION WORK SHALL BE REMOVED FROM DOWNSTREAM CULVERTS BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER OR THE TOWN/CITY.
- ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES AND MATERIALS SHALL BE IN PLACE PRIOR TO BEGINNING EARTHWORK OPERATIONS AND SHALL BE MAINTAINED UNTIL THE NEW SLOPES ARE STABILIZED WITH SEEDING AND/OR SLOPE PROTECTION, AS DIRECTED BY THE ENGINEER.
- INSTALL TEMPORARY SILT SOCK AROUND THE BASE OF STOCKPILES. STOCKPILES NOT BEING ACTIVELY USED FOR MORE THAN SEVEN (7) DAYS SHALL BE STABILIZED.
- THE PROFESSIONAL CERTIFYING COMPLIANCE TO NYSDC PHASE II STORMWATER REGULATION REQUIREMENTS MUST INSPECT AT A MINIMUM WEEKLY, AND WHEN DISTURBING MORE THAN 5 ACRES TWICE A WEEK, AND SHALL PROVIDE THESE INSPECTION REPORT WITH A WRITTEN CERTIFICATION OF CONSTRUCTION COMPLIANCE TO THE TOWN OF AMHERST (B)WEEKLY.
- THE ENGINEER OF RECORD FOR THIS PROJECT CERTIFIES THAT THESE DESIGN PLANS MEET THE REQUIREMENTS AND ARE IN COMPLIANCE WITH THE NEW YORK STORMWATER MANAGEMENT DESIGN MANUAL AND NYSDC PHASE II STORMWATER REGULATION REQUIREMENTS.

DEMOLITION NOTES:

- ALL PERIMETER SILT SOCK TO BE INSTALLED PRIOR TO CONSTRUCTION ACTIVITY BEGINNING.
- CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT THOSE ITEMS TO REMAIN, SUCH AS TREES, PROPERTY CORNER PINS, UTILITY POLES, VALVES, HYDRANTS, CURBS, MANHOLES AND CATCH BASINS.
- TEMPORARY SILT SOCK TO BE INSTALLED AS DIRECTED BY THE OWNERS FIELD REPRESENTATIVE. MAINTAIN UNTIL VEGETATION IS ESTABLISHED AND PAVEMENT IS INSTALLED.
- AS NECESSARY, COVERED DUMPSTERS SHALL BE PROVIDED ONSITE AS REQUIRED FOR CONSTRUCTION WASTE.
- REMOVE ALL TREES AND STUMPS AS SHOWN AND DISPOSE OF OFF SITE. CONTRACTOR TO PROTECT ALL TREES/BRUSH NOT DISTURBED BY CONSTRUCTION ACTIVITY. LOCATIONS OF TREES SHOWN ON PLAN ARE APPROXIMATE. CONTRACTOR TO CONFIRM LOCATION PRIOR TO CONSTRUCTION.
- CONTRACTOR TO COORDINATE WITH TOWN LANDSCAPE ARCHITECT WHICH TREES SHALL BE REMOVED AND WHICH SHALL REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- EXISTING CURB AND REMOVAL OF EXISTING ENTRANCE SHALL BE SAW CUT FULL-DEPTH AND NEATLY REMOVED FROM THE BACKSIDE. EXISTING PAVEMENT SHALL NOT BE DISTURBED AND THE PAVEMENT EDGE SHALL BE USED AS FORM FOR PLACING NEW CURB.

DEMOLITION & EROSION CONTROL LEGEND

- EXISTING PAVEMENT TO BE SAWCUT & REMOVED
- PROPOSED SILT SOCK
- EXISTING TREE TO BE REMOVED
- PROPOSED STORM INLET PROTECTION

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30' 0' 30' 60'

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Legacy Village Senior Housing

3900 Maple Road
Amherst, NY

REVISIONS:	No.	Description	Date



DRAWING NAME:

Demolition &
Erosion Control
Plan

Date: 9/22/25
Drawn By: P. Sheedy
Scale: As Noted

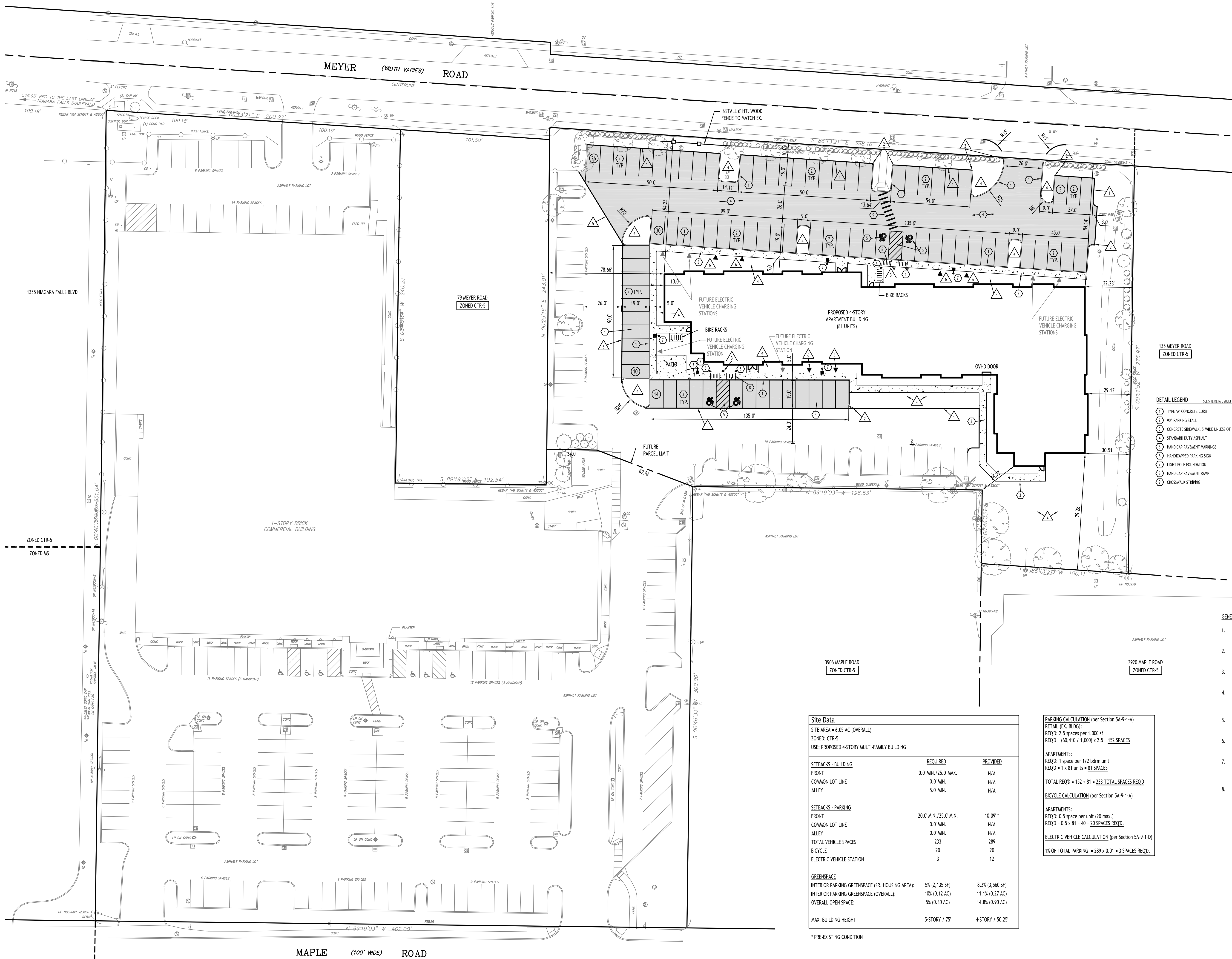
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Project No: 25-4116

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Site Data		
SITE AREA = 6.05 AC (OVERALL)		
ZONED: CTR-5		
USE: PROPOSED 4-STORY MULTI-FAMILY BUILDING		
SETBACKS - BUILDING		
FRONT	0.0' MIN./25.0' MAX.	N/A
COMMON LOT LINE	0.0' MIN.	N/A
ALLEY	5.0' MIN.	N/A
SETBACKS - PARKING		
FRONT	20.0' MIN./25.0' MIN.	10.09'
COMMON LOT LINE	0.0' MIN.	N/A
ALLEY	0.0' MIN.	N/A
TOTAL VEHICLE SPACES	233	289
BICYCLE	20	20
ELECTRIC VEHICLE STATION	3	12
GREENSPACE		
INTERIOR PARKING GREENSPACE (SR. HOUSING AREA):	5% (2,135 SF)	8.3% (3,560 SF)
INTERIOR PARKING GREENSPACE (OVERALL):	10% (0.12 AC)	11.1% (0.27 AC)
OVERALL OPEN SPACE:	5% (0.30 AC)	14.8% (0.90 AC)
MAX. BUILDING HEIGHT	5-STORY / 75'	4-STORY / 50.25'

* PRE-EXISTING CONDITION

PARKING CALCULATION (per Section 5A-9-1-A)	
RETAIL (EX. BLDG):	
REQD: 2.5 spaces per 1,000 sf	
REQD = (60,410 / 1,000) x 2.5 = 152 SPACES	
APARTMENTS:	
REQD: 1 space per 1/2 bdrm unit	
REQD = 1 x 81 units = 81 SPACES	
TOTAL REQD = 152 + 81 = 233 TOTAL SPACES REQD	
BICYCLE CALCULATION (per Section 5A-9-1-A)	
APARTMENTS:	
REQD: 0.5 space per unit (20 max.)	
REQD = 0.5 x 81 = 40 = 20 SPACES REQD.	
ELECTRIC VEHICLE CALCULATION (per Section 5A-9-1-D)	
1% OF TOTAL PARKING = 289 x 0.01 = 3 SPACES REQD.	

DETAIL LEGEND		SEE REF. SHEET	
1	TYPE "A" CONCRETE CURB	1	EDGE OF PAVEMENT
2	90° PARKING STALL	2	BLIND CUT CURB IN 2' OR MATCH EXISTING CURB
3	CONCRETE SIDEWALK, 5' WIDE UNLESS OTHERWISE NOTED	3	INSTALL "NO PARKING" SIGN, M.U.T.C.D. SIGN NO. R7-1C
4	STANDARD DUTY ASPHALT	4	LANDSCAPED AREA - SEE LANDSCAPE PLAN, IF NO PLANTINGS, INSTALL TOPSOIL & SEED
5	HANDICAPPED PAVEMENT MARKINGS	5	MATCH EX. PAVEMENT, SAWCUT AS REQD TO ACHIEVE SQUARE EDGE TO MATCH
6	HANDICAPPED PARKING SIGN	6	ELECTRIC VEHICLE CHARGING STATION
7	LIGHT POLE FOUNDATION		
8	HANDICAPPED PAVEMENT RAMP		
9	CROSSWALK STRIPING		

NOTE LEGEND	
1	EDGE OF PAVEMENT
2	BLIND CUT CURB IN 2' OR MATCH EXISTING CURB
3	INSTALL "NO PARKING" SIGN, M.U.T.C.D. SIGN NO. R7-1C
4	LANDSCAPED AREA - SEE LANDSCAPE PLAN, IF NO PLANTINGS, INSTALL TOPSOIL & SEED
5	MATCH EX. PAVEMENT, SAWCUT AS REQD TO ACHIEVE SQUARE EDGE TO MATCH
6	ELECTRIC VEHICLE CHARGING STATION

SITE NOTES:

- ALL RADII SHALL BE 3'-0" UNLESS OTHERWISE NOTED.
- ALL DISTURBED AREAS: SHALL HAVE 4" MIN. OF TOPSOIL AND SEED.
- ALL DIMENSIONS FROM PROPERTY LINES SHALL BE MEASURED PERPENDICULAR TO THE PROPERTY LINE.
- CENTER ENTRANCE SIDEWALKS ON DOOR OPENINGS.
- BUILDING DIMENSIONS ARE APPROXIMATE, REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.

GENERAL NOTES:

- INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
- SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
- WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
- VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
- CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO SATISFACTION OF OWNER.
- CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
- ALL OTHER PERMITS REQUIRED BY STATE OF NEW YORK, COUNTY OF ERIE, AND TOWN OF AMHERST ARE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER/OWNER.

SITE LEGEND

PROPERTY LINE	---
PROPOSED CURBING	---
PROPOSED SIDEWALK / CONCRETE PAD	---
NUMBER OF PARKING SPACES	17
PROPOSED SIGN	---
PROPOSED STANDARD DUTY ASPHALT PAVEMENT	---
PROPOSED LIGHT POLE	---

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No.	Description



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Site Plan

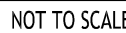
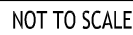
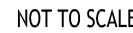
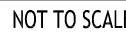
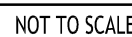
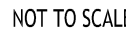
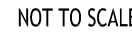
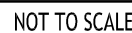
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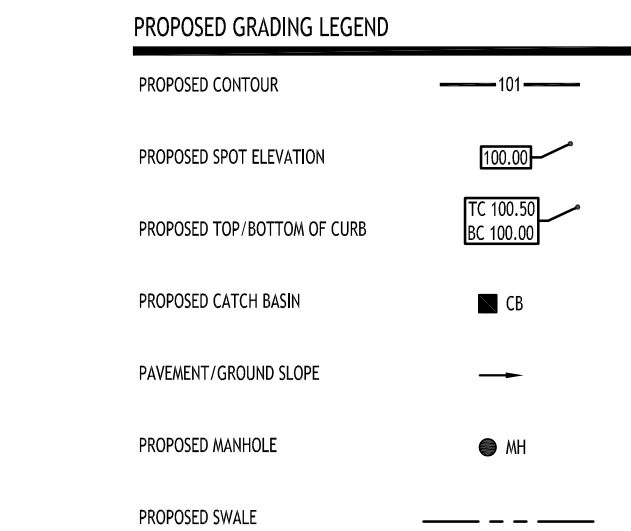
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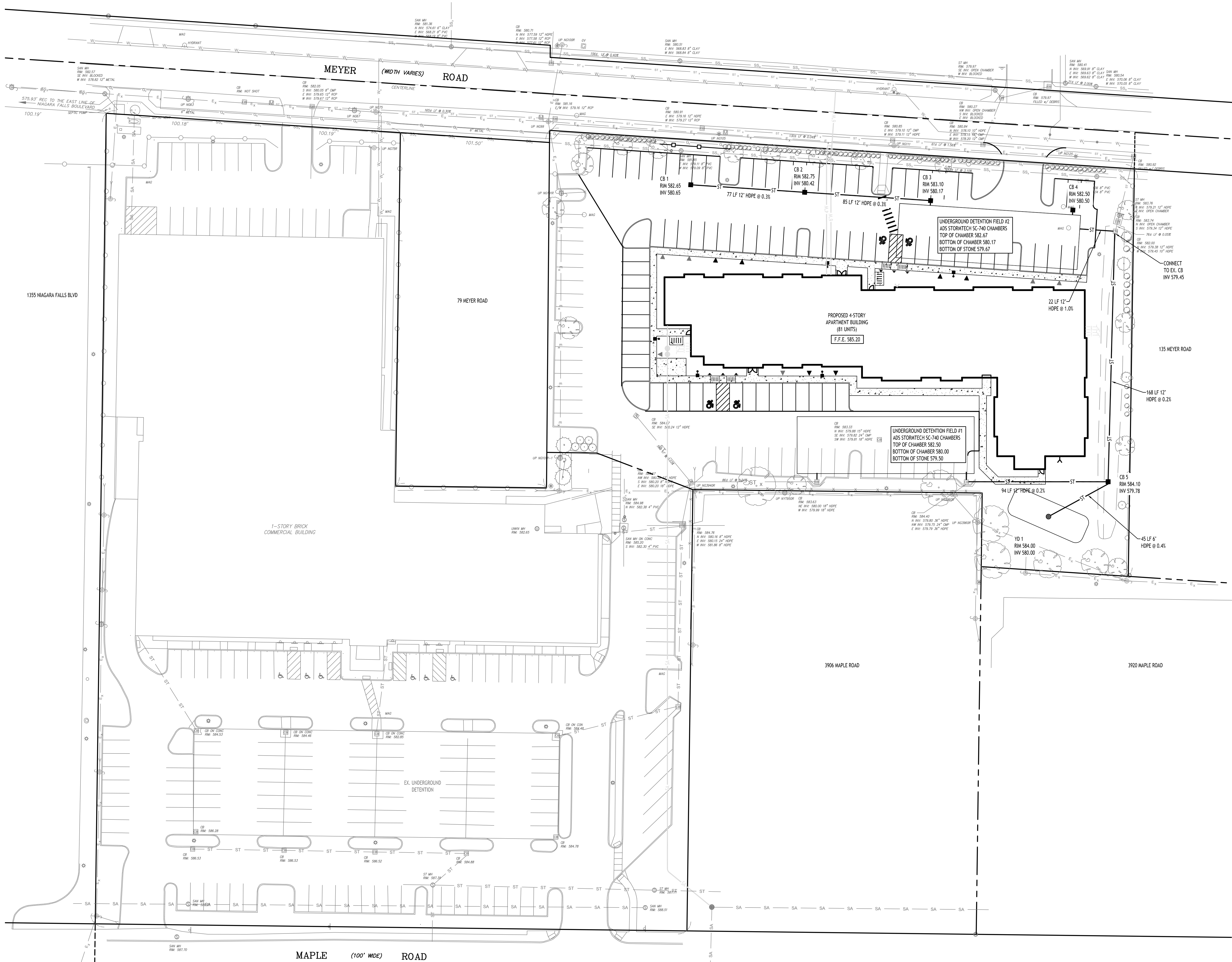
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Legacy Village Senior Housing

3900 Maple Road
Amherst, NY

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Storm Drainage Plan
SCALE: 1"=30'

- PROPOSED STORM DRAINAGE LEGEND**
- PROPOSED STORM PIPE
 - PROPOSED PERFORATED STORM PIPE
 - PROPOSED CATCH BASIN
 - PROPOSED MANHOLE
 - PROPOSED CLEANOUT
 - CB: CATCH BASIN
 - MH: MANHOLE
 - DW: DRAINAGE WELL

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Storm Drainage Plan

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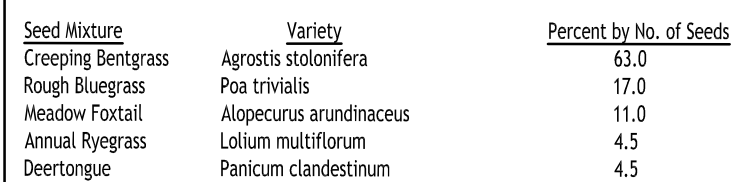
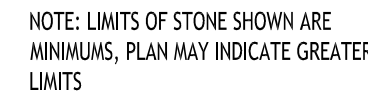
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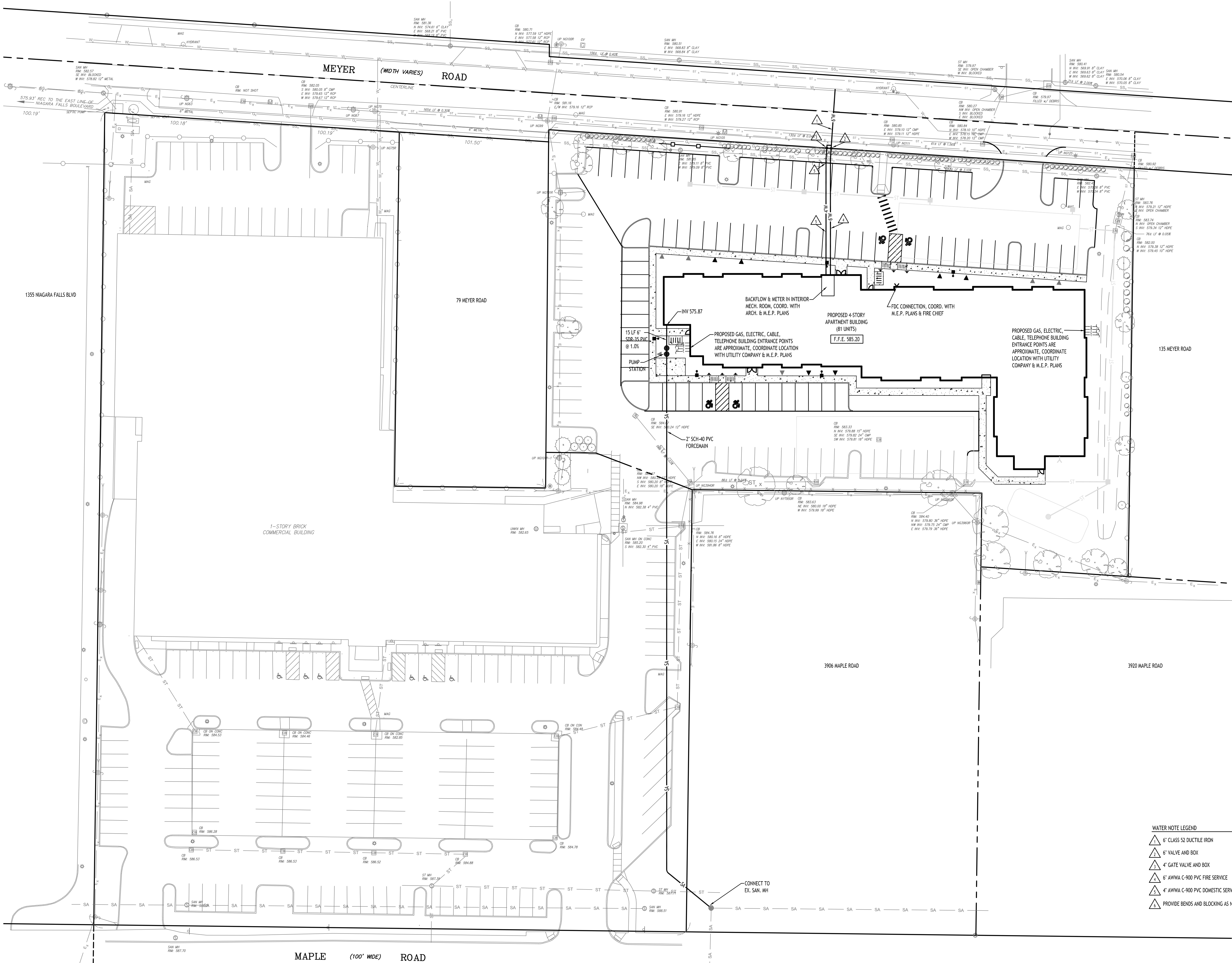
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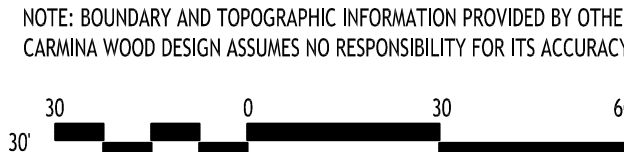
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- UTILITY NOTES:**
- FOR ALL SANITARY SEWERS, INSTALL SELECT FILL IN PAVED AREAS, EXTEND 5' MIN. BEYOND PAVEMENT LIMITS
 - BUILDINGS TO HAVE INVERT ELEVATION 5' MIN. BELOW F.F.E. OF THE BUILDING. PIPE TO BE 6\"/>
 - COORDINATE GAS & ELEC. METER BANK LOCATIONS ON BUILDINGS WITH M.E.P. PLANS & UTILITY CO.S.
 - COORDINATE LOCATION OF CTV & TELEPHONE SERVICE TO BUILDINGS WITH M.E.P. PLANS AND UTILITY CO.S.
 - ANY EXISTING UTILITIES WHICH ARE TO BE ABANDONED AND FALL UNDER PAVEMENT OR BUILDINGS SHALL BE REMOVED VS. BEING ABANDONED UNLESS THOSE UTILITIES ARE FILLED WITH FLOWABLE FILL.
 - A MINIMUM OF 10 FEET HORIZONTAL AND 18 INCHES OF VERTICAL SEPARATION MUST BE MAINTAINED BETWEEN ALL SANITARY SEWER AND WATER SERVICES.
 - SELECT BACKFILL IS REQUIRED FOR ALL UTILITIES (GAS, WATER, STORM, SANITARY) THAT CROSS THROUGH CONCRETE AND ASPHALT PAVEMENT AREAS.
 - EXISTING SANITARY SEWER INVERTS AND ROUTING BASED ON RECORD DRAWINGS PROVIDED BY TOWN OF AMHERST ENGINEERING DEPARTMENT. SANITARY SEWER EASEMENTS SHOWN ARE APPROXIMATE BASED ON RECORD PLANS PROVIDED BY TOWN OF AMHERST ENGINEERING DEPARTMENT. SURVEYOR TO VERIFY LOCATION PRIOR TO CONSTRUCTION.

- NOTES:**
- ALL SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE TOWN OF AMHERST SPECIFICATIONS AND DETAILS, AND ERIE COUNTY DEPARTMENT OF HEALTH RULES AND REGULATIONS.
 - PRIOR STARTING ANY WORK ASSOCIATED WITH OR NEAR EXISTING SANITARY MANHOLES, THE CONTRACTOR SHALL MEET WITH THE TOWN OF AMHERST TO DISCUSS AND AGREE TO THE WORK.
 - FILL SHALL BE PLACED AND SATISFACTORILY COMPACTED PRIOR TO INSTALLATION OF UTILITIES, AND MUST BE APPROVED BY THE SUPERVISING PROJECT ENGINEER.
 - ALL SANITARY SEWER IS TO CONSTRUCTION IS TO CONFORM TO TOWN OF AMHERST SEWER DISTRICT RULES AND REGULATIONS.
 - ALL OTHER REQUIRED PERMITS BY THE STATE OF NEW YORK, COUNTY OF ERIE AND TOWN OF AMHERST ARE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER.

PROPOSED UTILITY LEGEND	
PROPOSED WATER LINE	— W —
PROPOSED SANITARY SEWER	— SA —
PROPOSED UTILITY CONNECTIONS (GAS, ELEC., CABLE, TEL., ETC.)	
PROPOSED GATE VALVE	
PROPOSED CLEANOUT	
INSTALL SELECT BACKFILL	



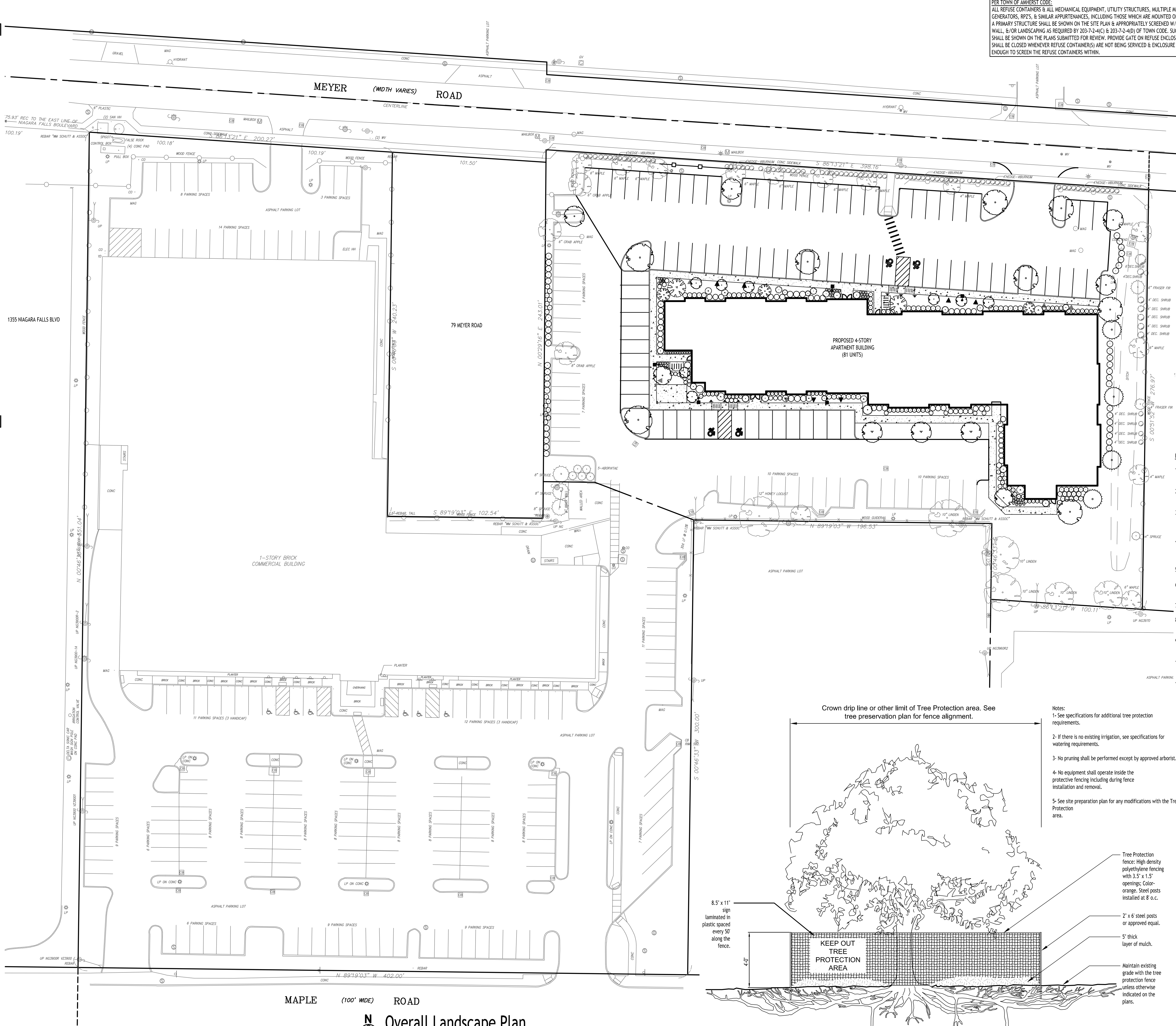
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Utility Plan

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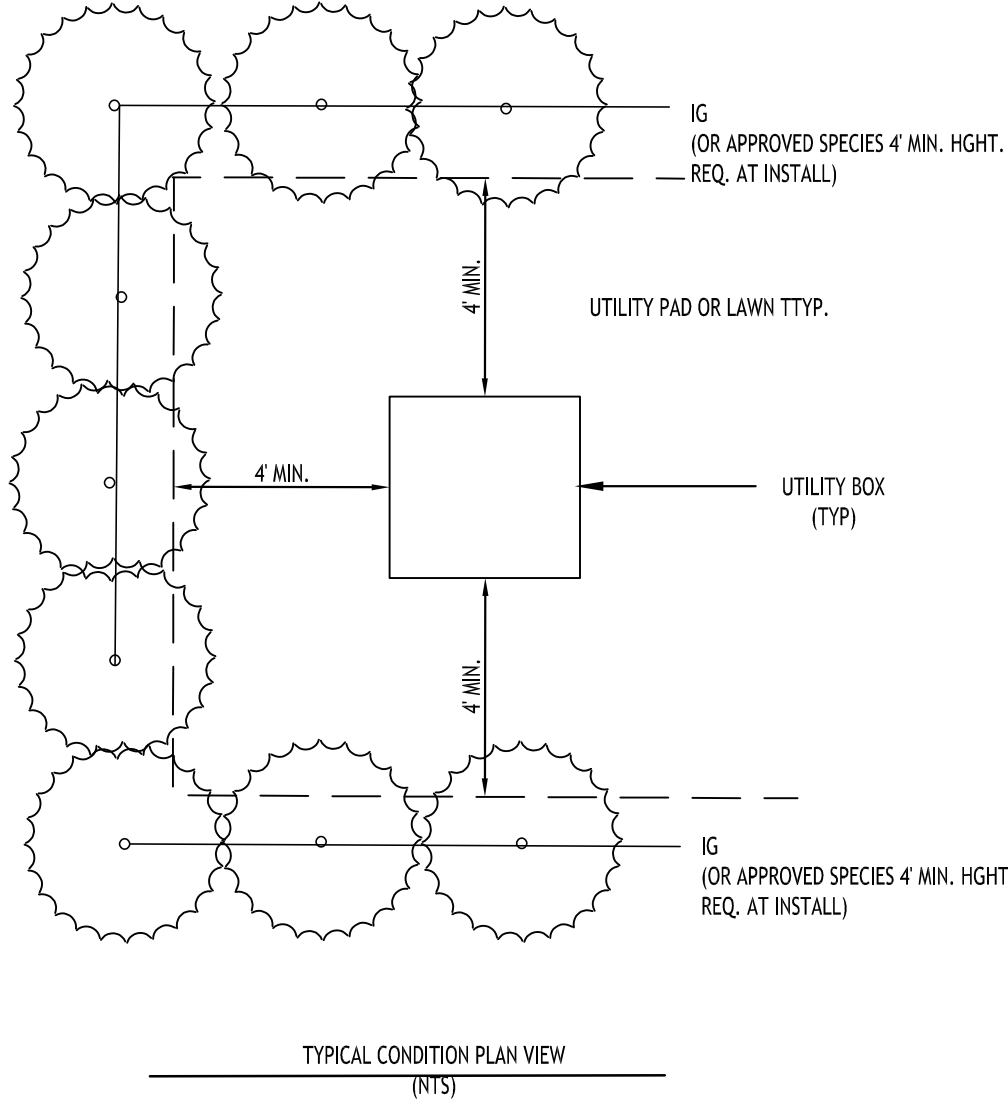
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PER TOWN OF AMHERST CODE:
ALL REFUSE CONTAINERS & ALL MECHANICAL EQUIPMENT, UTILITY STRUCTURES, MULTIPLE METER BOARDS, GENERATORS, RP2'S, & SIMILAR APPURTENANCES, INCLUDING THOSE WHICH ARE MOUNTED ON ANY PART OF A PRIMARY STRUCTURE SHALL BE SHOWN ON THE SITE PLAN & APPROPRIATELY SCREENED W/ A FENCE, WALL, &/OR LANDSCAPING AS REQUIRED BY 203-7-2-4(C) & 203-7-2-4(D) OF TOWN CODE. SUCH SCREENING SHALL BE SHOWN ON THE PLANS SUBMITTED FOR REVIEW. PROVIDE GATE ON REFUSE ENCLOSURE THAT SHALL BE CLOSED WHENEVER REFUSE CONTAINER(S) ARE NOT BEING SERVICED & ENCLOSURE SHALL BE HIGH ENOUGH TO SCREEN THE REFUSE CONTAINERS WITHIN.

PER TOWN OF AMHERST CODE:
ALL DEAD OR MISSING EXISTING PLANTS FROM THE PREVIOUSLY APPROVED SITE PLANS SHALL BE REPLACED/INSTALLED AS PER ZONING ORDINANCE 7-2-3(A)(1). CONTRACTOR SHALL REFER TO PREVIOUSLY APPROVED SITE AND LANDSCAPE PLANS BY OTHERS FOR ALL LANDSCAPE REFERENCES.

PER TOWN OF AMHERST CODE:
CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ALL POSSIBLE TYPES OF ROOT, TRUNK, AND LIMB DAMAGE; INCLUDING BY NOT LIMITS TO, RETAIN WALLS WHICH PREVENT FILLING ON TOP OF ROOTS OR EXCAVATING TREE ROOTS AS PER ZONING ORDINANCE 7-2-3(B)(3).



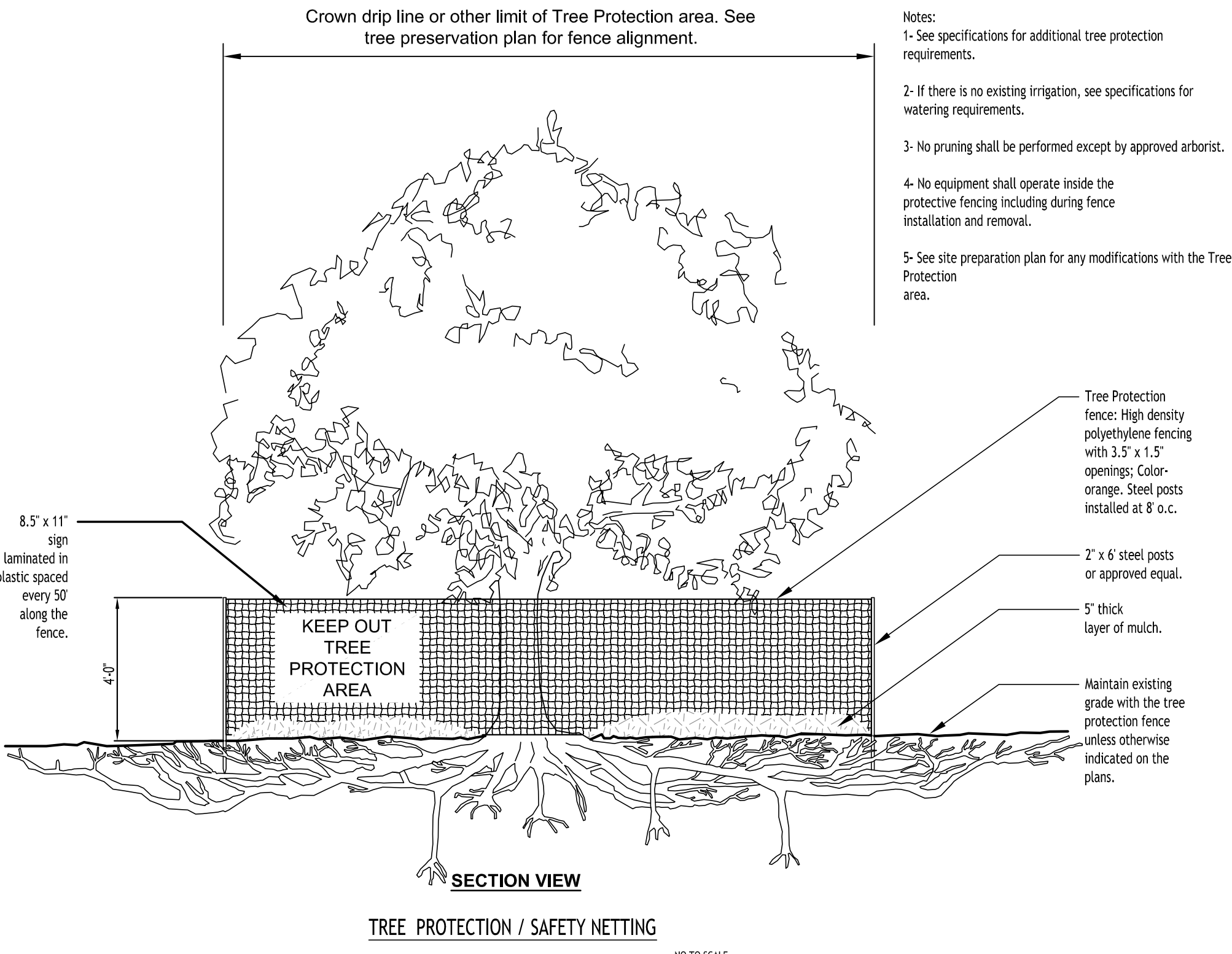
- NOTES:
- USE EVERGREEN SHRUBS TO SCREEN ALL ABOVEGROUND UTILITY BOXES AND INFRASTRUCTURE FROM ADJACENT ROAD OR SIDEWALK PER TOWN OF AMHERST CODE
 - PROVIDE A MINIMUM 4' OFFSET FROM THE SHRUBS PLANTED EDGE TO THE EDGE OF THE UTILITY BOX TO ALLOW ENOUGH CLEARANCE FOR UTILITY MAINTENANCE TO BE PERFORMED

TYPICAL SHRUB PLANTING TO SCREEN UTILITY INFRASTRUCTURE

- LANDSCAPE NOTES:
- ALL PLANTS INSTALLED SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED ON THE PLANS AND IN THE LATEST EDITION ON THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z60.1
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF, THE QUANTITIES SHOWN ARE A MINIMUM AND ARE FOR REFERENCE ONLY.
 - THE CONTRACTOR SHALL PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANTING MATERIAL LOCATIONS AND CONTACT THE OWNERS FIELD REPRESENTATIVE PRIOR TO ACTUAL INSTALLING. THE PLANTING MATERIAL LOCATIONS SHOWN ON THE PLANS ARE TO CONVEY THE DESIGN INTENT ONLY. ACTUAL LOCATIONS WILL BE FINALIZED BY THE OWNERS FIELD REPRESENTATIVE AT THE TIME OF INSTALLATION.
 - THE CONTRACTOR IS HEREBY NOTIFIED THAT IF UNDERGROUND UTILITIES EXIST IN THE VICINITY OF THE PLANTINGS, ALL PROPOSED PLANTINGS SHALL BE INSTALLED A MINIMUM OF 5' FROM ANY UNDERGROUND UTILITY, CONTACT THE OWNERS FIELD REPRESENTATIVE IF PLANTINGS SHOWN ON THE PLANS VIOLATE THIS SITUATION.
 - ALL TREES SHALL BE INSTALLED A MINIMUM OF 20' FROM ANY OVERHEAD ELECTRIC LINES.
 - PLANTING BACKFILL MIXTURE SHALL CONSIST OF 4 PARTS TOPSOIL, 1 PART PEAT MOSS, 1/2 PART WELL ROTTED MANURE, 10 LBS 5-10-5 PLANTING FERTILIZER THOROUGHLY MIXED PER CUBIC YARD.
 - STAKE AND WRAP TREES IMMEDIATELY FOLLOWING INSTALLATION.
 - ALL PLANTED AREAS SHALL RECEIVE A 3" LAYER OF SHREDDED PINE BARK MULCH OVER 10 MIL. WEED MAT EQUAL TO "WEEDBLOCK" BY EASY GARDENER OR DEWITT WEED BARRIER.
 - THE AREAS ON THE PLAN TO BE SEEDED SHALL HAVE 4" MINIMUM OF TOPSOIL, DISK PLOWED, LEVELED AND HAND RAKED SMOOTH. SURFACE SHALL BE ROLLED TO REMOVE LUMPS.
 - ALL SEEDED AREAS SHALL BE HYDROSEEDING IN ACCORDANCE WITH THE SPECIFICATION INDICATED. WHERE REQUIRED BY CLIMATIC CONDITIONS, SLOPE OR SEASON OF PLANTING, SOD MAY BE SUBSTITUTED FOR SEEDING IN ORDER TO ACHIEVE THE REQUIRED COVERAGE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING, MOWING AND OTHER MAINTENANCE TO SEEDED AREAS UNTIL THE PROJECT IS ACCEPTED BY THE OWNER, THIS SHALL INCLUDE WATERING DAILY FOR 15 DAYS OR AS REQUIRED BY WEATHER CONDITIONS AND RE-SEEDING OF THIN SPOTS FOLLOWING THE GERMINATION OF THE SEEDS.

PLANTING NOTES:

- ALL INTERIOR LANDSCAPED AREAS SHALL HAVE A MINIMUM PLANTING SOIL DEPTH OF THREE (3) FEET AND BE FREE FROM ALL FORMS OF CONSTRUCTION DEBRIS AND FOREIGN MATERIAL.
- ALL TREE PIT SAUCERS, SHRUB BEDS, ORNAMENTAL GRASS BEDS, AND PERENNIAL FLOWER BEDS SHALL RECEIVE "PREEN" HERBICIDE AND THREE (3) INCHES DEPTH OF DARK SHREDDED HARDWOOD BARK MULCH.
- ALL SEASONAL FLOWER BEDS SHALL BE A MINIMUM OF TWELVE (12) INCHES DEEP WITH A WELL-BLENDED MIXTURE OF 50% PEAT MOSS & 50% SCREENED TOPSOIL. SEASONAL FLOWER BEDS SHALL RECEIVE "PREEN" HERBICIDE. NO MULCH SHALL BE INSTALLED IN THE SEASONAL FLOWER BEDS.
- ALL DECIDUOUS AND EVERGREEN TREES SHALL BE STAKED WITH THREE (3) TREE STAKES AS PER TREE PLANTING DETAIL.



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REVISIONS:	Date	
	No.	Description



Robert C. Walter, RLA
Registered Landscape Architect
Member American Society of Landscape Architects
2765 Dodge Road, East Amherst, NY 14051-2113
Phone: 716-264-5564
RCWlandscapearchitect@gmail.com

DRAWING NAME:

Landscape Plan
Overall

Date: 9/22/25

Drawn By: P. Sheedy

Scale: As Noted

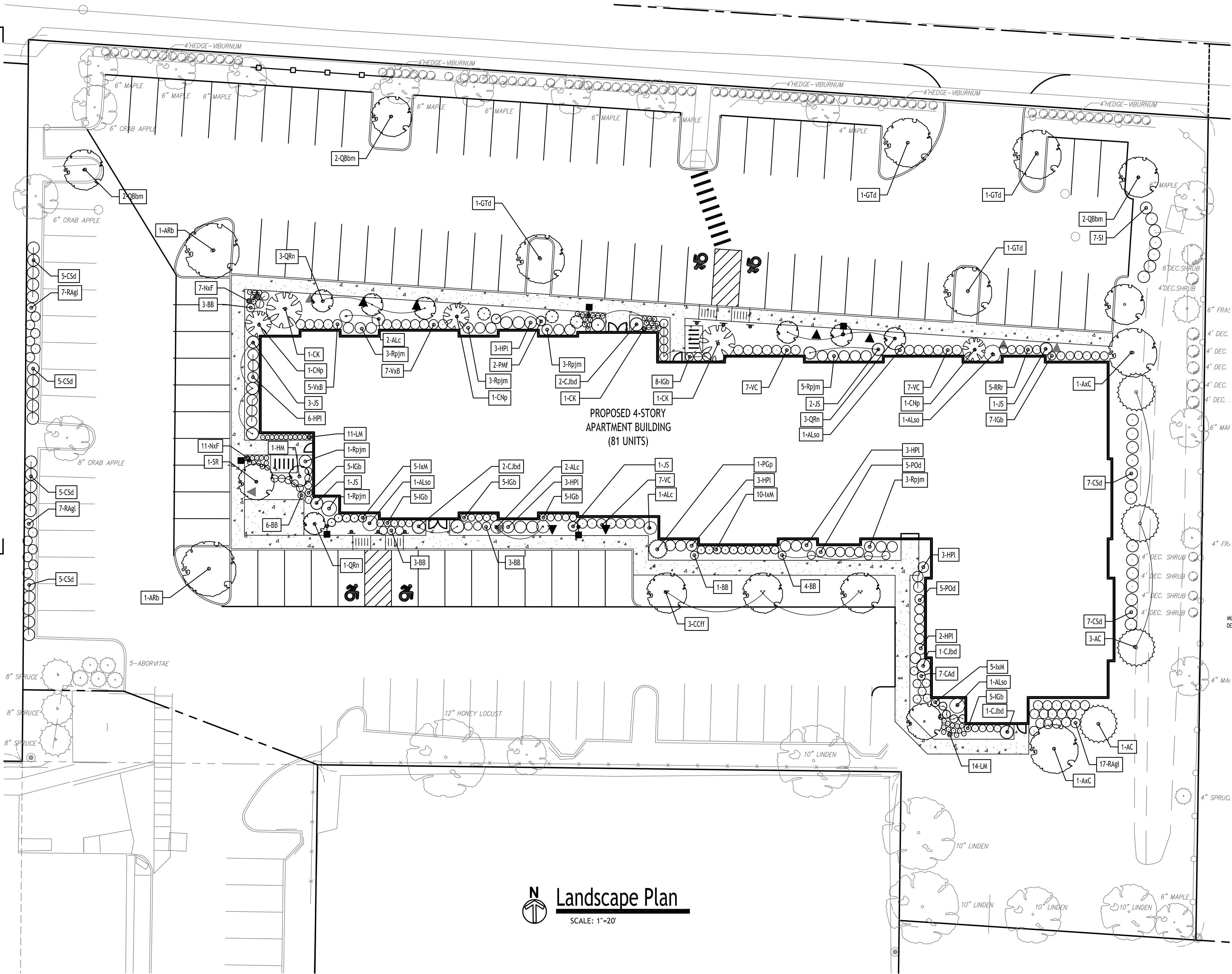
DRAWING NO.

L-100

Project No: 25-4116

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Plant Finish Schedule - 3900 Maple Road Amherst, New York

KEY	QTY.	BOTANICAL NAME	COMMON NAME	MIN. SIZE	REMARKS
D E C I D U O U S T R E E S					
GTd	4	Gleditsia triacanthos l "Draves"	Street Keeper Honey Locust	2 1/2" - 3" CAL.	B&B, HT. 40', W 35'
ARb	2	Acer rubrum 'Bowhall'	Red Maple -Bowhall	2 1/2" - 3" CAL.	B&B, HT. 40', W 35'
AxC	2	Aesculus x carnea 'Briotii'	Red Horse Chestnut	2 1/2" - 3" CAL.	B&B, HT. 60', W 40'
CBff	3	Carpinus betulus 'Frans Fontaine'	European Hornbeam - Frans Fontaine	2 1/2" - 3" CAL.	B&B, HT. 35', W 15'
QRn	7	Quercus robur x bicolor Nadler PP17804'	Kindred Spirit Oak	2 1/2" - 3" CAL.	B&B, HT. 30', W 6'
QBbm	4	Quercus bicolor 'Bonnie & Mike'	Bonnie & Mike Oak	2 1/2" - 3" CAL.	B&B, HT. 40', W 15'

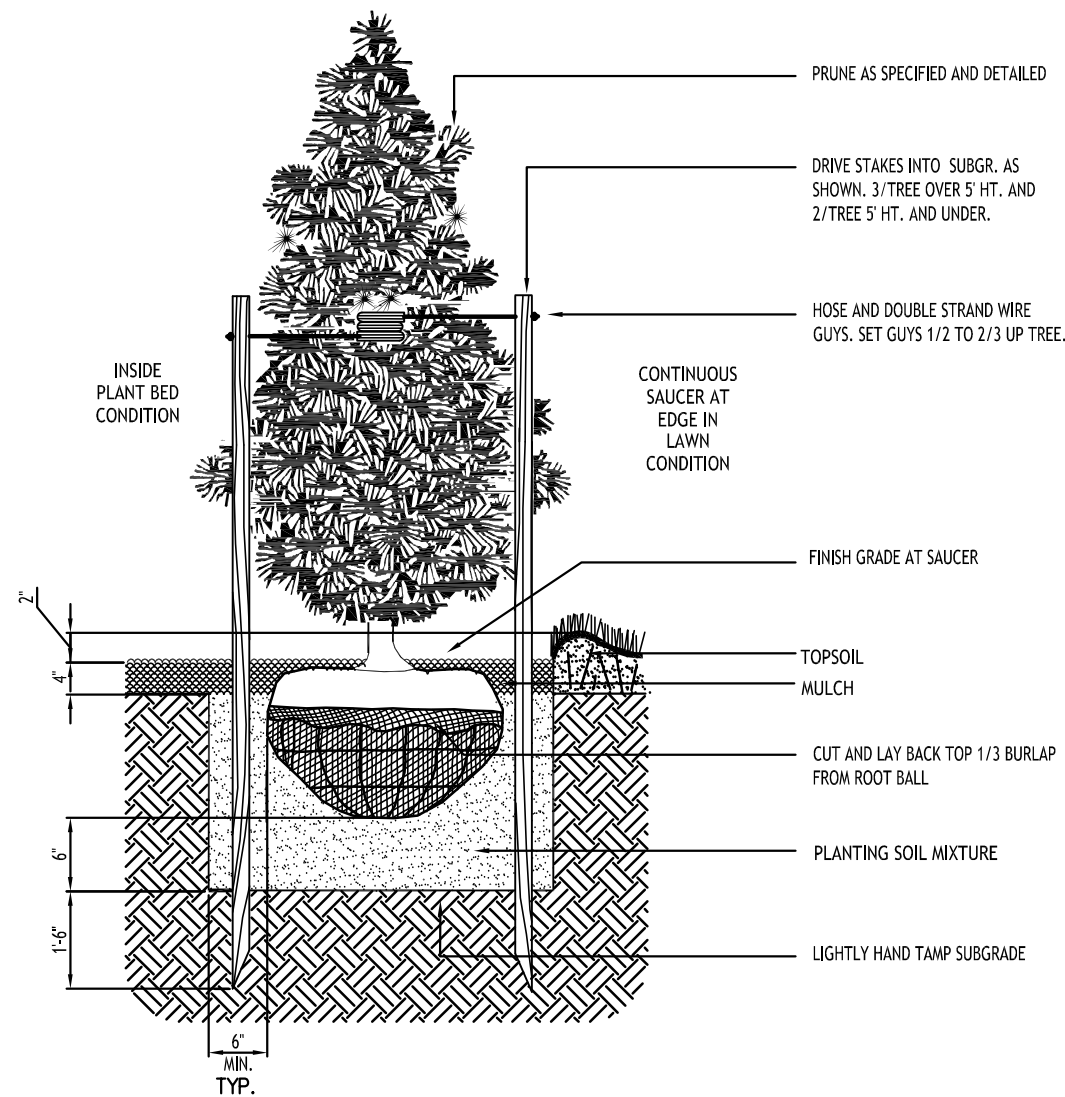
S M A L L / O R N A M E N T A L T R E E S					
CK	2	Cornus kousa	Kousa Dogwood	1 1/2" x 2 1/2" CAL.	B&B, HT. 20', W 20'
SR	2	Syringa reticulata	Ivory Silk Lilac	1 1/2" X 2 1/2" CAL.	B&B, HT. 20', W 15'
ALso	2	Amelanchier laevis 'Standing Ovation'	Standing Ovation Serviceberry	Multi Stem	B&B, HT. 20', W 10'
ALc	5	Amelanchier laevis 'cumulus'	Cumulus Serviceberry	Multi Stem	B&B, HT. 20', W 15'
HM	1	Heptacodium miconioides	Seven-son Flower	Multi Stem	B&B, HT. 20', W 9'

E V E R G R E E N T R E E S					
JS	8	Juniperus scopulorum 'Skyrocket'	Skyrocket Juniper	6-8' Tall	B&B, HT. 16', W 4'
AC	4	Abies concolor	White Fir	6-8' Tall	B&B, HT. 60', W 20'
CNp	3	Chamaecyparis nootkatensis 'Pendula'	Weeping Nootka Cypress	6-8' Tall	B&B, HT. 20', W 8'
CJbd	6	Cryptomeria Japonica 'Black Dragon'	Back Dragon Japanese cedar	6-8' Tall	B&B, HT. 20', W 8'
PGp	2	Picea glauca 'Pendula'	Weeping White Spruce	6-8' Tall	B&B, HT. 25', W 6'
PMf	2	Pinus mugo 'Fastigiata'	Columnar Mugo Pine	24-36" Tall	B&B, HT.15', W 6'

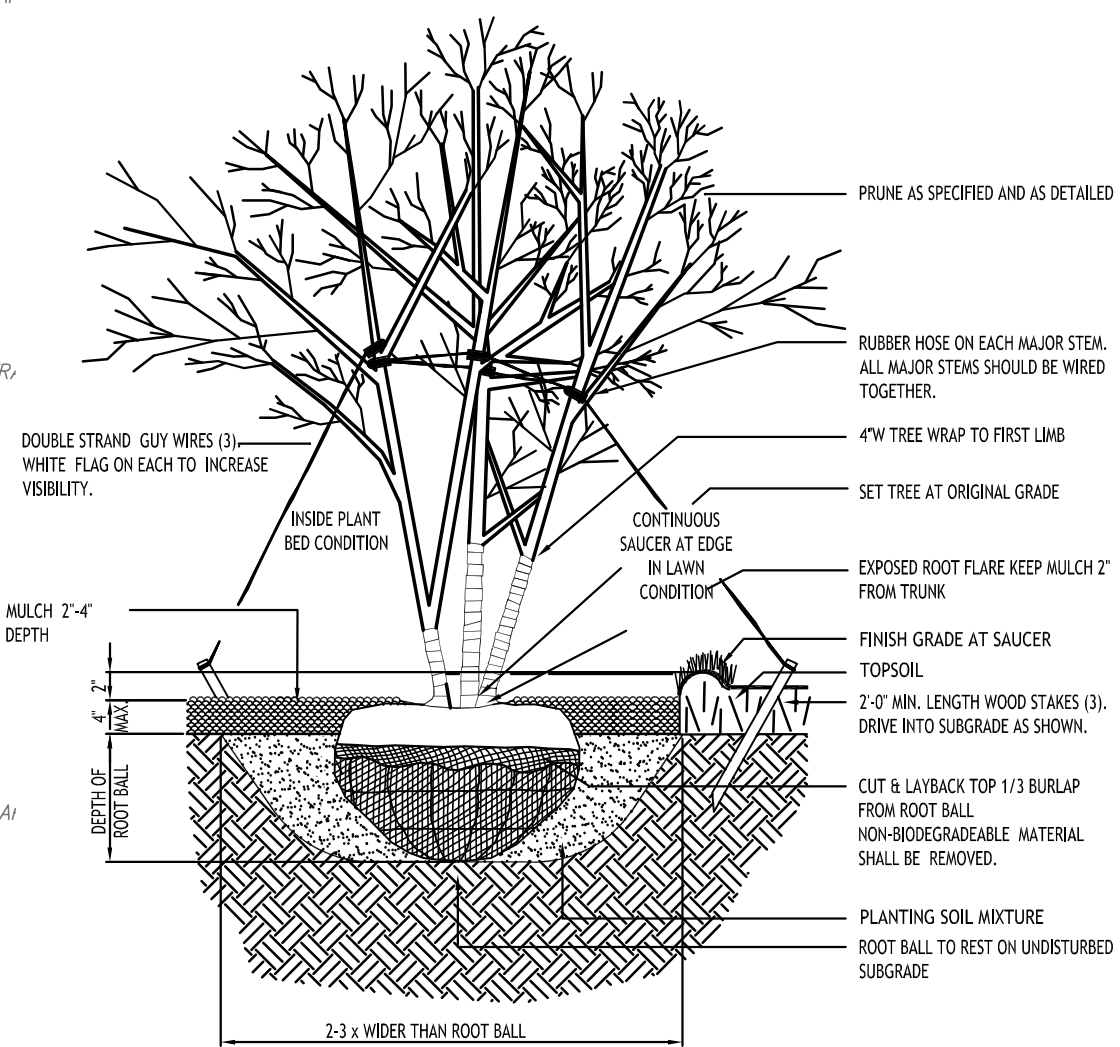
S H R U B S					
RAgl	31	Rhus aromatica 'Gro-low'	Fragrant Sumac	18-24" Tall	Cont. #3, HT. 2-3, W 6'
VxB	12	Viburnum x burkwoodii	Burkwood Viburnum	36-48" Tall	B&B, HT. 5-7', W 6'
*IGb	40	Ilex glabra compacta	Inkberry Holly - Compact	24-36" Tall	B&B, HT. 4', W 4'
CSd	34	Cornus sericea	Red Twig Dogwood	24-36" Tall	B&B, HT. 4', W 4'
SI	7	Salix integra 'Hakuro-nishiki'	Dappled Willow	24-36" Tall	B&B, HT. 4', W 4'
*Rpjm	20	Rhododendron RPJM	Rhododendron 'PJM'	24-36" Tall	B&B, HT. 4', W 4'
*IkM	20	Ilex x meserveae	Blue Princess Holly	24-36" Tall	B&B, HT. 5', W 5'
SNbl	3	Sambucus nigra 'Eva' Black Lace	Black Elder	24-36" Tall	B&B, HT. 4', W 3'
RRr	5	Rosa radrazz	Knockout Rose	18-24" Tall	Cont. no.3 - 3'Tall, 3'Wide
HPI	23	Hydrangea paniculata 'Limelight'	Limelight Panicle Hydrangea	24-36" Tall	B&B, HT. 5', W 5'
CAd	7	Cotoneaster horizontalis	Rock Cotoneaster	18-24" Tall	B&B, HT.3', W 6'
POd	10	Physocarpus opulifolius 'Diabolo'	Diablo Ninebark	24-36" Tall	B&B, HT. 4', W 4'
VC	21	Viburnum carlesii	Carlyle viburnum	24-36" Tall	B&B, HT. 5', W 6'

G R A S S E S / P E R E N N I A L S / G R O U N D C O V E R S					
BB	21	Andropogon Gerardii	Big Blue Stem Andropogon	18-24" Tall	Cont. #3, HT. 4', W 6'
LM	46	Liriope muscari	Big Blue Lilyturf	12-16" Tall	Cont. no.3 - 3'Tall, 3'Wide
NxF	18	Nepeta x fraassenii	Nepeta - Walkers Low Catmint	6-12" Tall	Cont. no.3 - 18" Tall, 1-4'Wide

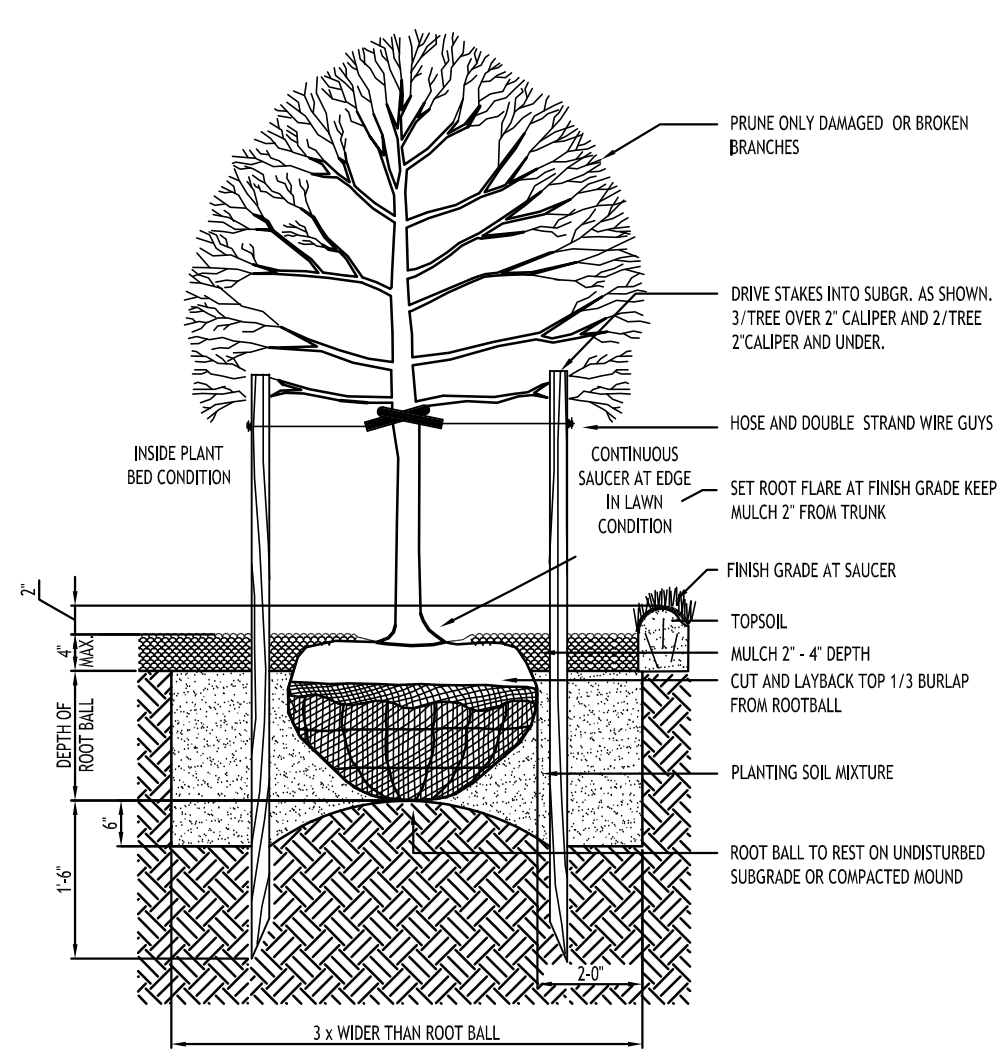
* EVERGREEN SHRUB



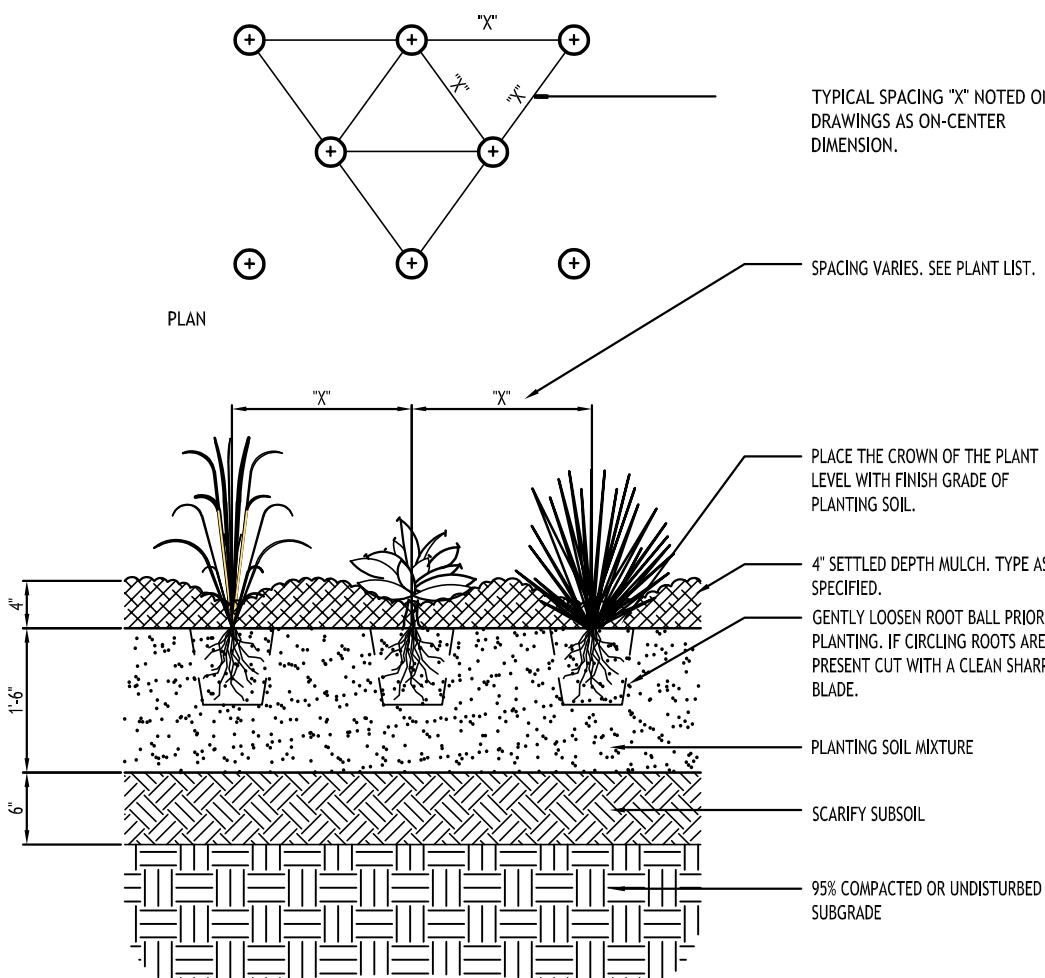
STD. EVERGREEN PLANTING



DECIDUOUS TREE PLANTING - MULTI - STEM

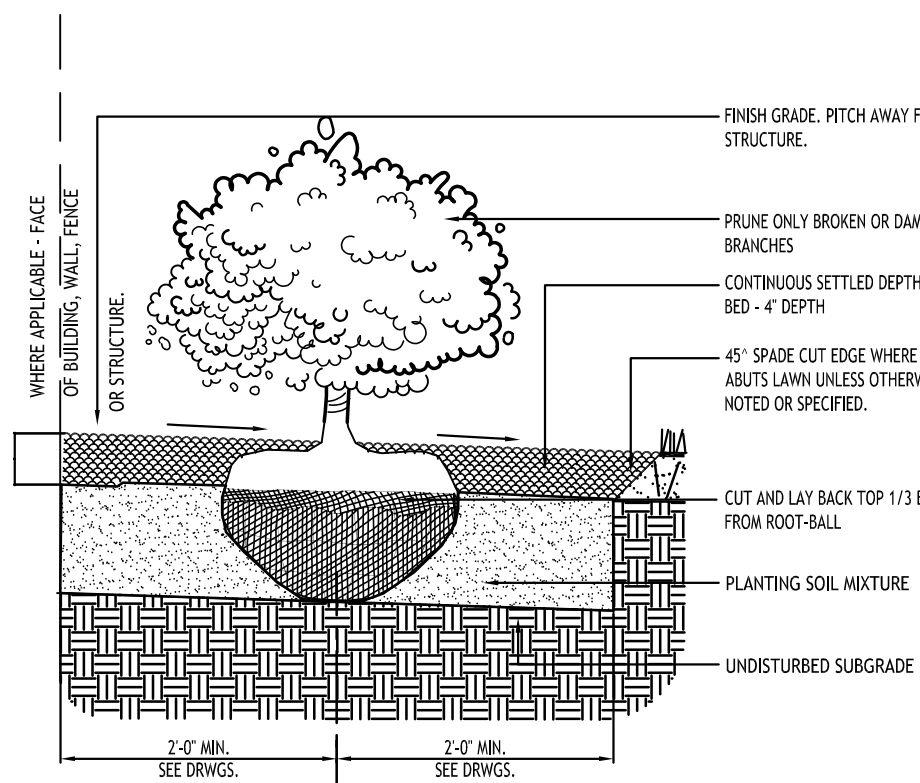


STD. DECIDUOUS TREET PLANTING



SECTION
NOTE: PLANT BULBS IN TRENCHES AND BOUQUET PLANTING GROUPS.

GROUND COVER PLANT SPACING



STD. SHRUB PLANTING

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CARMINA WOOD

DESIGN

Buffalo | Utica | Greensboro

Legacy Village Senior Housing

3900 Maple Road

Amherst, NY

REVISIONS:
No. Description
Date



Robert C. Walter, RLA
Registered Landscape Architect
Member American Society of Landscape Architects
2765 Dodge Road, East Amherst, NY 14051-2113
Phone: 716-364-5564
RCWlandscapearchitect@gmail.com

DRAWING NAME:

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& Details

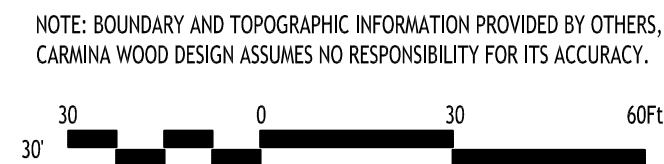
Date: 9/22/25
Drawn By: P. Sheedy
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DRAWING NO.

L-101

Project No: 25-4116

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Lighting Plan

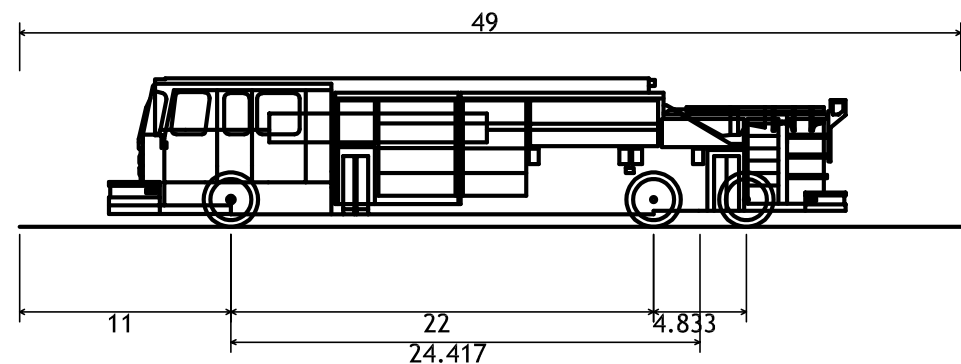
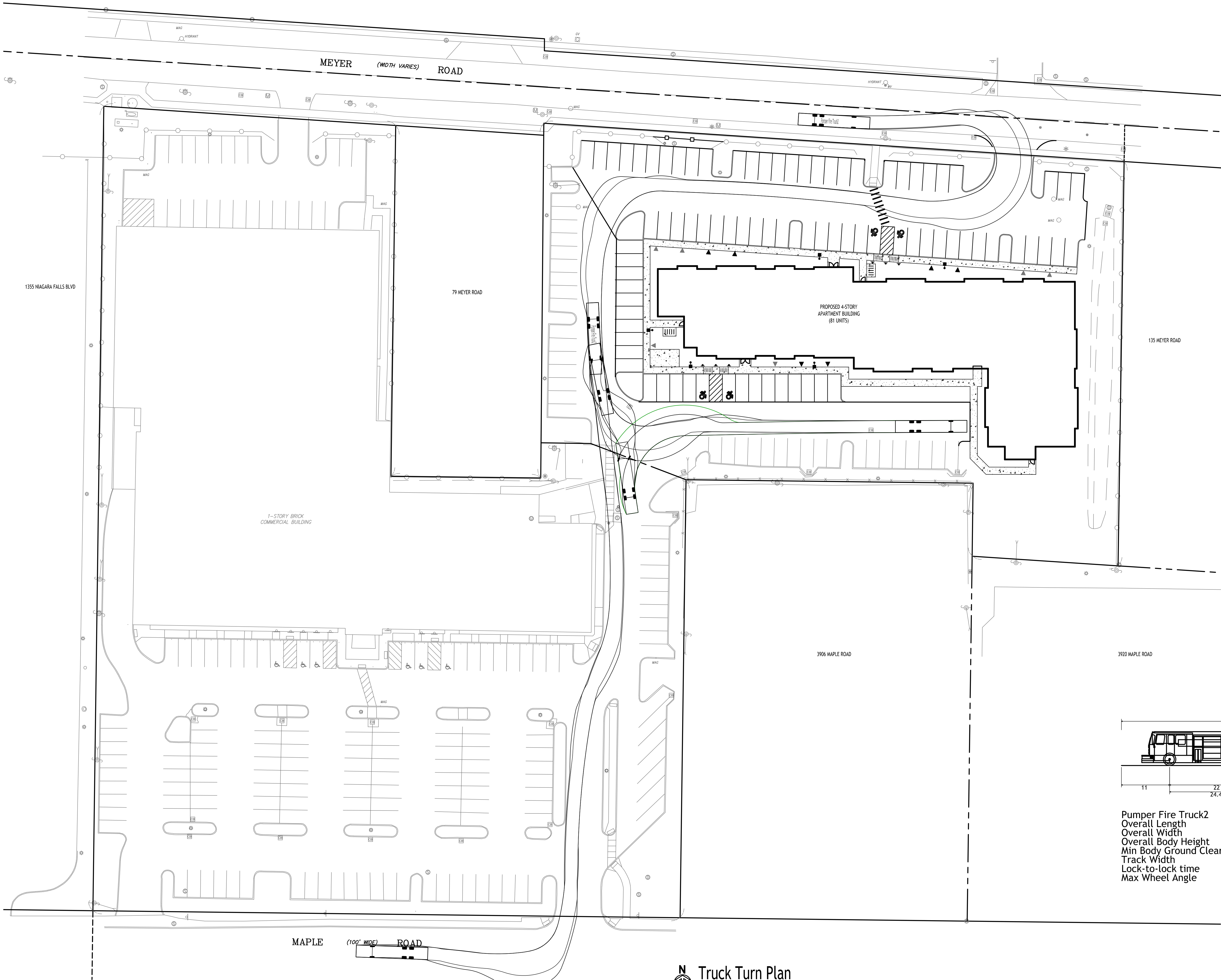
DRAWING NO.

LD

Project No: 25-4116

Legacy Village Senior Housing
3900 Maple Road
Amherst, NY

Buffalo | Utica | Greensboro



Pumper Fire Truck2
Overall Length 49.000ft
Overall Width 8.167ft
Overall Body Height 7.745ft
Min Body Ground Clearance 0.656ft
Track Width 8.167ft
Lock-to-lock time 5.00s
Max Wheel Angle 45.00°

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Truck Turn Plan
SCALE: 1"=30'



DRAWING NAME:

Truck Turn
Plan

Date: 9/22/25
Drawn By: P. Sheedy
Scale: As Noted

DRAWING NO.

CT-100

Project No: 25-4116