

March 23, 2026

**Via E-Mail and Hand Delivery**

Town of Amherst Town Board  
5583 Main Street  
Williamsville, New York 14221  
ATTN: Daniel Ulatowski, Code Enforcement Officer

Re: Proposed Site Plan Approval of  
770 John James Audubon Parkway  
Amherst, New York 14072

Ladies and Gentlemen:

On behalf of 770 JJAP LLC, (the “Applicant”), we are submitting this Letter of Intent along with the enclosed documentation for Major Site Plan approval for the Property known as 770 John James Audubon Parkway, Amherst, New York (SBL No. 41.05-3-9) (the “Property”) pursuant to the Town of Amherst Zoning Code (“Code”) Chapter 203-15-14.

**Exhibits**

The documentation being submitted with this Letter of Intent consists of the following:

**Exhibit “A”** – Site Plan and Area Map

**Exhibit “B”** - Boundary Survey of Property

**Exhibit “C”** – Utility Plan

**Exhibit “D”** - Lighting Plan

**Exhibit “E”** – Landscaping Plan

**Exhibit “F”** - Prior SEQRA Finding Statement & Completed Full Environmental Assessment Form (“FEAF”) prepared pursuant to the State Environmental Quality Review Act (“SEQRA”).

**Exhibit “G”** - Application for Major Site Plan Approval

\*The Application fees are enclosed with the original copies of this Letter of Intent.

**I. PROJECT DETAILS**

Requestor: 770 JJAP LLC  
50 Fountain Plaza, Suite 500  
Buffalo, NY 14202

Contact: Marc Romanowski, Esq.  
Rupp Pfalzgraf LLC  
Buffalo, New York 14202  
Tel: 716-854-3400  
Email: [romanowski@RuppPfalzgraf.com](mailto:romanowski@RuppPfalzgraf.com)

Project Location: 770 John James Audubon Parkway  
Amherst, New York 14228

Parcel ID No. Of Property: 41.05-3-9

Landowner: 770 JJAP LLC  
50 Fountain Plaza, Suite 500  
Buffalo, NY 14202

Zoning District: New Community District – General Commercial (“NCD-GC”)

**II. PROJECT DESCRIPTION**

The proposed project consists of the development of a 160-unit townhome residential community, as depicted in **Exhibit “A.”** The subject property is presently vacant and contains no existing improvements. This project represents a component of the broader Muir Woods development, which has been planned, reviewed, and constructed over a number of years. In accordance with conditions imposed under Amended Finding Statement No. 51 & 77 (**Exhibit “F”**), the Applicant has submitted an application to amend the existing finding statement to allow for a fourth development alternative permitting construction of the proposed 160-unit townhome community on this portion of the property. Said application to amend the finding statement is anticipated to be heard by the Town of Amherst Planning Board on April 16, 2026.

The proposed townhome community is fully consistent with the Town’s established planning objectives, the surrounding residential context, applicable development intensities, and the environmental impacts previously evaluated by the Town Board under SEQRA. To further demonstrate mitigation of potential environmental impacts, three hard copies of the Stormwater Pollution Prevention Plans (SWPPPs) are being submitted directly to the Planning Department as part of this application, in accordance with staff direction.

As demonstrated below, approval of the requested Major Site Plan Application will promote a coherent and orderly land-use pattern and advance the Town’s goals of providing diverse and needed housing opportunities.

### III. CODE ANALYSIS

As the Applicant is seeking Major Site Plan approval, we provide the applicable Code provisions for approval of an amended plan along with our responses thereto below:

#### A. Bulk Standards

*Code § 203-7-1-6.A Minimum Parking Requirements. Attached dwellings require 2 parking spaces per dwelling unit.*

**RESPONSE:** The project proposes 160 attached townhome units with 320 parking spaces, satisfying the applicable minimum parking requirements. **See Exhibit “A”.**

*Code § 203-7-2-2.A. Landscaping, Buffer, and Screening - General Provisions. All developments subject to site plan review in accordance with § 8-7 shall meet the requirements of this Section. A separate landscape plan shall be submitted and approved, approved with conditions or denied as a part of this review procedure.*

**RESPONSE:** The proposed site plan complies with all applicable landscaped area requirements. The required landscaped areas adjacent to buildings, including required widths and types of plantings, have been provided in full and are illustrated on the detailed landscaping plans submitted as part of **Exhibit “E.”**

*Code § 203-7-2-3.A(2). Required Landscaped Area Adjacent to Buildings. A landscaped area with a minimum average width of three feet shall be provided between each and every side of the proposed principal use building and any off-street parking or internal access road with the exception of building entrances/exits, drive-throughs, loading docks and covered pedestrian walkways, as defined by § 4-8-6F. A minimum of 50 percent of this landscaped area shall be planted with small trees, shrubs, perennials or combinations thereof. The balance of the landscaped area not planted with trees, shrubs or perennials shall be lawn or groundcover.*

**RESPONSE:** The proposed site plan maintains an average width of over 3 feet of buffer on each side of each proposed structures which consists of compatible trees and plantings. See **Exhibit “E”** for the detailed landscaping plan attached hereto.

*Code § 203-7-3-2 Site Lighting – Applicability. A site lighting plan shall be required during review of any nonresidential or multifamily site and development plan. The contents of the site lighting plan shall be established by the Planning Director.*

**RESPONSE:** The proposed project is the creation of 160 single family townhomes that will be divided into individual lots and sold. As such, a site lighting plan is not required as part of this submission. However, in order to provide a thorough analysis of the Project, a site lighting plan is attached hereto as **Exhibit “D”.**

B. Major Site Plan

*Code § 203-8-7-7. Site Plan Review Criteria. During review of a minor or major site plan the Planning Director or Planning Board, as applicable, shall ensure that the site plan is consistent with this Ordinance and generally consistent with the policies of the Comprehensive Plan.*

**RESPONSE:** The proposed site plan is consistent with the Town of Amherst Zoning Code and consistent with the policies of the Town’s Comprehensive Plan. The proposed plan is consistent with several provisions of the Town’s Comprehensive Plan, including, among others, Sections 3.3.1, 3.3.7, and 10.3. Additionally, the Project advances the goals of the New Community District by providing well-planned residential development that supports orderly growth, housing diversity, and efficient land use. The proposed 160-unit townhome community is part of the larger Muir Woods development area, which has been planned, reviewed, and developed over several years in accordance with Town planning objectives and prior SEQRA findings.

*Code §203-8-7-8. Additional Review Criteria for Residential Site Plans. When reviewing a minor or major residential site plan, the Planning Director or Planning Board, as applicable, shall consider the following factors in addition to those described in § 8-7-7:*

*A. The adequacy of usable space for active and passive recreation including pedestrian connections;*

**RESPONSE:** The Project provides adequate usable open space for passive recreation and pedestrian circulation. The design incorporates and enhances the existing Amherst Bike Path segment located on the Property, improving connectivity for residents and the broader community. In addition, adjacent lands within the larger Muir Woods development are intended to remain open and natural, providing recreational and visual amenities accessible to residents. See **Exhibit “A” and Exhibit “E”**.

*B. Adequacy of open space lands for public ownership and use offered for dedication or other disposition to the town or other public entity; and*

**RESPONSE:** The Project supports the Town’s goal of open space linkage by integrating the Amherst Bike Path into the development and coordinating improvements as part of the final design. The preservation of adjacent natural areas within the Muir Woods development further contributes to open space availability without compromising development objectives. See **Exhibit “E”**.

*C. Adequacy of school sites and facilities.*

**RESPONSE:** The proposed townhome development is consistent with the Town’s Mixed Residential classification and is intended to serve a range of household types, including retirees, empty nesters, and smaller households. As such, the Project is not anticipated to generate impacts on school facilities beyond those previously evaluated under SEQRA for the broader development area.

*D. The extension of roadways provided to adjacent property.*

**RESPONSE:** The site plan is designed to integrate with the existing and planned roadway network serving the Aspen Heights development and John James Audubon Parkway. The internal circulation system provides safe and efficient access while maintaining compatibility with surrounding development and planned infrastructure. See **Exhibit “A”**.

*Code §203-8-7-9. Findings for Site Plan Approval. In rendering a final decision, the Planning Director or Planning Board, as applicable, shall consider and make findings that:*

*A. The proposed site plan is consistent with the development plan if one is required.*

**RESPONSE:** The proposed site plan is consistent with the previously approved development framework for the Muir Woods area as identified in the Amended Finding Statement 51 and with the residential use anticipated for this Property under the Town’s Comprehensive Plan. See **Exhibit “F”**.

*B. The proposed site plan is consistent with the purpose and specific requirements of this Ordinance and generally consistent with the policies of the Comprehensive Plan;*

**RESPONSE:** The Project complies with the purpose and requirements of the Town of Amherst Zoning Code and aligns with Comprehensive Plan policies supporting mixed residential development in transitional areas served by arterial and collector roadways.

*C. Adequate services and utilities will be available prior to occupancy; and*

**RESPONSE:** Adequate public services and utilities will be available to serve the Project prior to occupancy. Utility infrastructure is in place with the creation of Aspen Heights on the adjoining property. The site plan provides for all major utilities, including, sanitary sewer, water distribution, storm drainage, and roadway illumination in accordance with Town specifications. See **Exhibit “C”** and **Exhibit “D”**.

*D. The site plan is consistent with all other applicable laws.*

**RESPONSE:** The Project complies with all applicable local, state, and federal laws, including SEQRA, and remains within the development intensities previously evaluated and accepted by the Town. See **Exhibit “F”**.

**C. Conclusion**

Based upon the foregoing analysis, the proposed site plan fully comply with the applicable provisions of the Town of Amherst Zoning Code and Regulations. As demonstrated above, the Project satisfies the criteria for Major Site Plan Review and bulk standards, is consistent with the Town’s Comprehensive Plan, and aligns with the intent and purpose of the NCD-GC zoning

classification.

The proposed development provides an appropriate residential density, a well-connected and efficient internal circulation system, adequate pedestrian and recreational amenities, and properly designed infrastructure and utilities in accordance with Town standards. All required design, connectivity, safety, and utility provisions have been addressed, and the Project remains within the development intensities and environmental parameters previously reviewed and accepted under SEQRA for the Muir Woods development area.

Accordingly, the Applicant respectfully submits that the Project meets all applicable Code requirements and approval findings, and therefore warrants favorable consideration and approval of the requested Major Site Plan application.

#### **IV. STATE ENVIRONMENTAL QUALITY REVIEW ACT “SEQRA”**

Article 8 of New York Environmental Conservation Law and 6 NYCRR Part 617 (collectively, “SEQRA”) requires state and local government agencies to consider environmental impacts of proposed actions during discretionary decision-making. The Town has made previous made determinations with regard to SEQRA in the previous Amended Finding Statement No. 51 and No. 77. The current proposed project is consistent with the original development proposed and approved by the Town Board. However, to provide a thorough analysis of the Project to ensure that the current proposed project would not cause any additional environmental impacts, the Applicant has prepared Part I the Full Environmental Assessment Form (“FEAF”), which is attached hereto as **Exhibit “F”**.

#### **V. 239-M REFERRAL**

New York General Municipal Law § 239-m requires that certain types of projects, such as those seeking site plan approval of a property located within 500’ of a State or County Road, be referred to the County Planning Board for review prior to local action. Because the proximity of the Interstate 990, the Proposed Action must be referred to the Erie County Planning Board.

#### **VI. CONCLUSION**

The proposed development is consistent with the Town of Amherst Zoning Code and Comprehensive Plan. It advances established planning objectives by providing a well-designed residential community that supports orderly growth, housing diversity, and efficient land use. The project integrates pedestrian infrastructure, including connections to the Amherst Bike Path, and is designed with appropriate open space, internal circulation, utilities, and public infrastructure.

The application demonstrates compliance with all applicable site plan and subdivision review criteria, including roadway design, connectivity, pedestrian safety, utility placement, stormwater management, and emergency access. All proposed streets, intersections, sidewalks, and utilities meet Town standards and accepted engineering practices. Additionally, from an environmental standpoint, the project remains well below the scope and development intensities previously evaluated under SEQRA for the Property.

Based on the comprehensive code analysis and supporting documentation, the Applicant concludes that the proposed site plan fully satisfy all applicable requirements and respectfully requests favorable recommendations by the Planning Board and approval by the Town Board.

Please feel free to contact me at 716-854-3400 or via email at [romanowski@RuppPflazgraf.com](mailto:romanowski@RuppPflazgraf.com) if you have any questions regarding this Letter of Intent, the enclosed project documentation, or the proposed site plan application.

Respectfully yours,



Marc A. Romanowski

Encs.

# **EXHIBIT A**

# Townhomes at Muir Woods

## 770 John James Audubon Parkway Amherst, New York

### AGENCIES

#### ENGINEERING DEPARTMENT

NAME/TITLE: JEFFERY BURROUGHS, P.E. - TOWN ENGINEER  
 COMPANY/DEPT: TOWN OF AMHERST ENGINEERING DEPARTMENT  
 ADDRESS: 1100 NORTH FOREST ROAD  
 WILLIAMSVILLE, NEW YORK 14221  
 TELEPHONE: 716-631-7154

#### PLANNING & ZONING DEPARTMENT

NAME/TITLE: DANIEL HOWARD - PLANNING DIRECTOR  
 COMPANY/DEPT: TOWN OF AMHERST PLANNING DEPARTMENT  
 ADDRESS: 5583 MAIN STREET  
 WILLIAMSVILLE, NEW YORK 14221  
 TELEPHONE: 716-631-7051

#### BUILDING DEPT.

NAME/TITLE: BERKE, MARK S. - COMMISSIONER OF BUILDING  
 COMPANY/DEPT: TOWN OF AMHERST BUILDING DEPT.  
 ADDRESS: 5583 MAIN ST.  
 AMHERST, NEW YORK 14221  
 TELEPHONE: 716-631-7080

#### ECDOH

NAME/TITLE:  
 COMPANY/DEPT: ERIE COUNTY DEPARTMENT OF HEALTH  
 ADDRESS: 503 KENSINGTON AVE  
 BUFFALO, NEW YORK 14214  
 TELEPHONE: 716-961-6854

#### NYSDEC

NAME/TITLE:  
 COMPANY/DEPT: NEW YORK STATE DEPT. OF ENVIRONMENTAL  
 CONSERVATION  
 ADDRESS: 700 DELAWARE AVE.  
 BUFFALO, NEW YORK 14209  
 TELEPHONE: 716-851-7070

### UTILITIES

#### NATURAL GAS

COMPANY/DEPT.: NATIONAL FUEL GAS CORP.  
 ADDRESS: 6363 MAIN STREET  
 WILLIAMSVILLE, NEW YORK 14221  
 TELEPHONE: 716-857-7000

#### TELEPHONE COMPANY

COMPANY/DEPT: VERIZON  
 ADDRESS: 65 FRANKLIN STREET  
 BUFFALO, NEW YORK 14203  
 TELEPHONE: 716-840-8748

#### CABLE COMPANY

COMPANY/DEPT: TIME WARNER  
 ADDRESS: 789 CHURCH ROAD  
 WEST SENECA, NEW YORK  
 TELEPHONE: 716-558-8615

#### ELECTRIC COMPANY

COMPANY/DEPT: NATIONAL GRID  
 ADDRESS: 144 KENSINGTON AVENUE  
 BUFFALO, NEW YORK 14214  
 TELEPHONE: 716-236-2738

#### WATER

COMPANY/DEPT: ERIE COUNTY WATER AUTHORITY  
 ADDRESS: 3030 UNION ROAD  
 CHEEKTOWAGA, NEW YORK 14227  
 TELEPHONE: 716-684-1510

#### DIG SAFELY NEW YORK

TELEPHONE: 1-800-962-7962

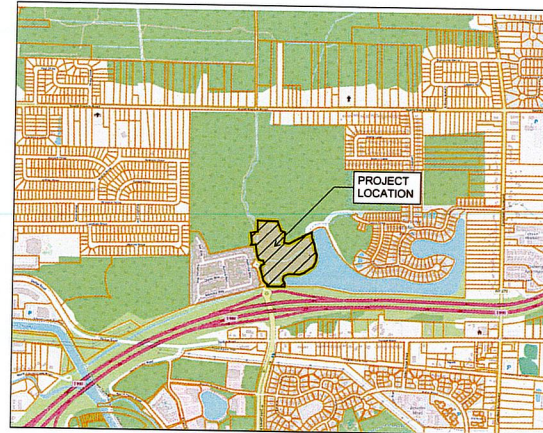
### DESIGN CONSULTANTS

#### PROJECT SURVEYOR

NAME/TITLE:  
 COMPANY/DEPT: GPI ENGINEERING, LANDSCAPE,  
 ARCHITECTURE & SURVEYING, LLP  
 ADDRESS: 4950 GENESEE STREET, SUITE 100  
 BUFFALO, NEW YORK 14225  
 TELEPHONE: 716-633-4844

### OWNER/DEVELOPER

NAME: 770 JJAP LLC  
 ADDRESS: 50 FOUNTAIN PLAZE, SUITE 500  
 BUFFALO NY, 14202  
 CONTACT: ERIK WAGNER  
 TELEPHONE: (716) 631-8000



LOCATION MAP  
 NOT TO SCALE

DRAWING NO.	DRAWING TITLE
-	COVER SHEET
-	LAND SURVEY (PREPARED BY GPI ENGINEERING)
C-001	EROSION CONTROL PLAN
C-002	EROSION CONTROL DETAILS
C-100	SITE PLAN
C-101	ENLARGED SITE PLAN
C-102	ENLARGED SITE PLAN
C-103	ENLARGED SITE PLAN
C-104	PARCEL PLAN
C-105	SITE DETAILS
C-200	GRADING PLAN
C-201	ENLARGED GRADING PLAN
C-202	ENLARGED GRADING PLAN
C-203	ENLARGED GRADING PLAN
C-300	DRAINAGE PLAN
C-301	ENLARGED DRAINAGE PLAN
C-302	ENLARGED DRAINAGE PLAN
C-303	ENLARGED DRAINAGE PLAN
C-304	BIO-RETENTION 1 PLAN & DETAIL
C-305	BIO-RETENTION 2 PLAN & DETAIL
C-306	BIO-RETENTION 3 PLAN & DETAIL
C-307	BIO-RETENTION 4 PLAN & DETAIL
C-308	BIO-RETENTION 5 PLAN & DETAIL
C-309	STORM DRAINAGE DETAILS
C-400	UTILITY PLAN
C-401	ENLARGED UTILITY PLAN
C-402	ENLARGED UTILITY PLAN
C-403	ENLARGED UTILITY PLAN
C-404	SANITARY SEWER DETAILS
C-405	SANITARY SEWER DETAILS
C-406	WATER DETAILS
C-407	WATER DETAILS
C-408	UTILITY NOTES
L-100	OVERALL LANDSCAPE PLAN
L-101	ENLARGED LANDSCAPE PLAN
L-102	ENLARGED LANDSCAPE PLAN
L-103	ENLARGED LANDSCAPE PLAN
L-104	LANDSCAPE DETAILS PLANT SCHEDULE
LP-100	OVERALL LIGHTING PLAN
LP-101	ENLARGED LIGHTING PLAN
LP-102	ENLARGED LIGHTING PLAN
LP-103	ENLARGED LIGHTING PLAN
LP-104	LIGHTING DETAILS

REVISIONS:	
No.	Description

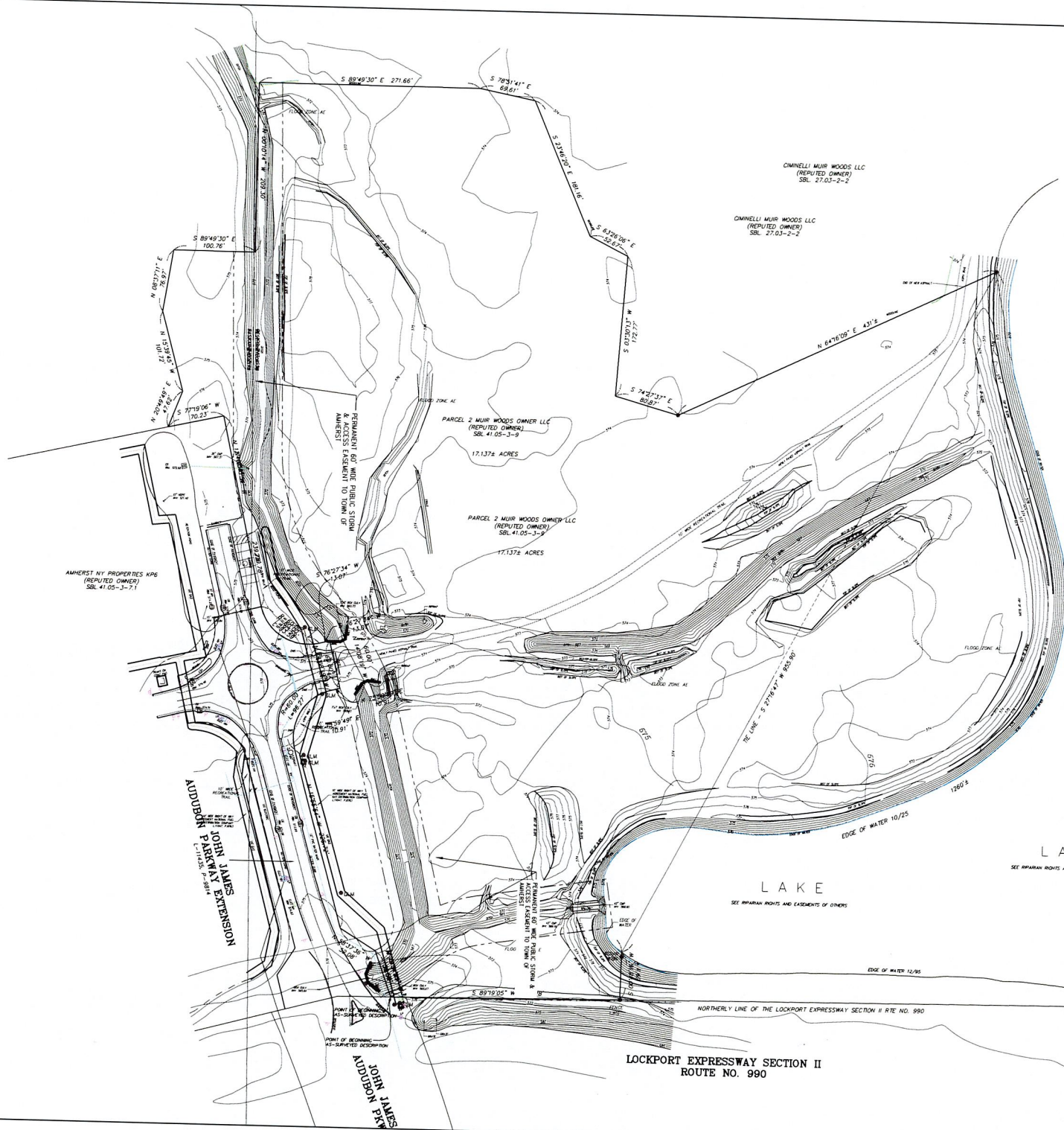
**CARMINAWOOD  
 DESIGN**

March 2026

Townhomes at Muir Woods  
 770 John James Audubon Parkway  
 Amherst, New York

NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE.  
 SET OF 21, 5/16" REBAR

NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 1200B PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW.



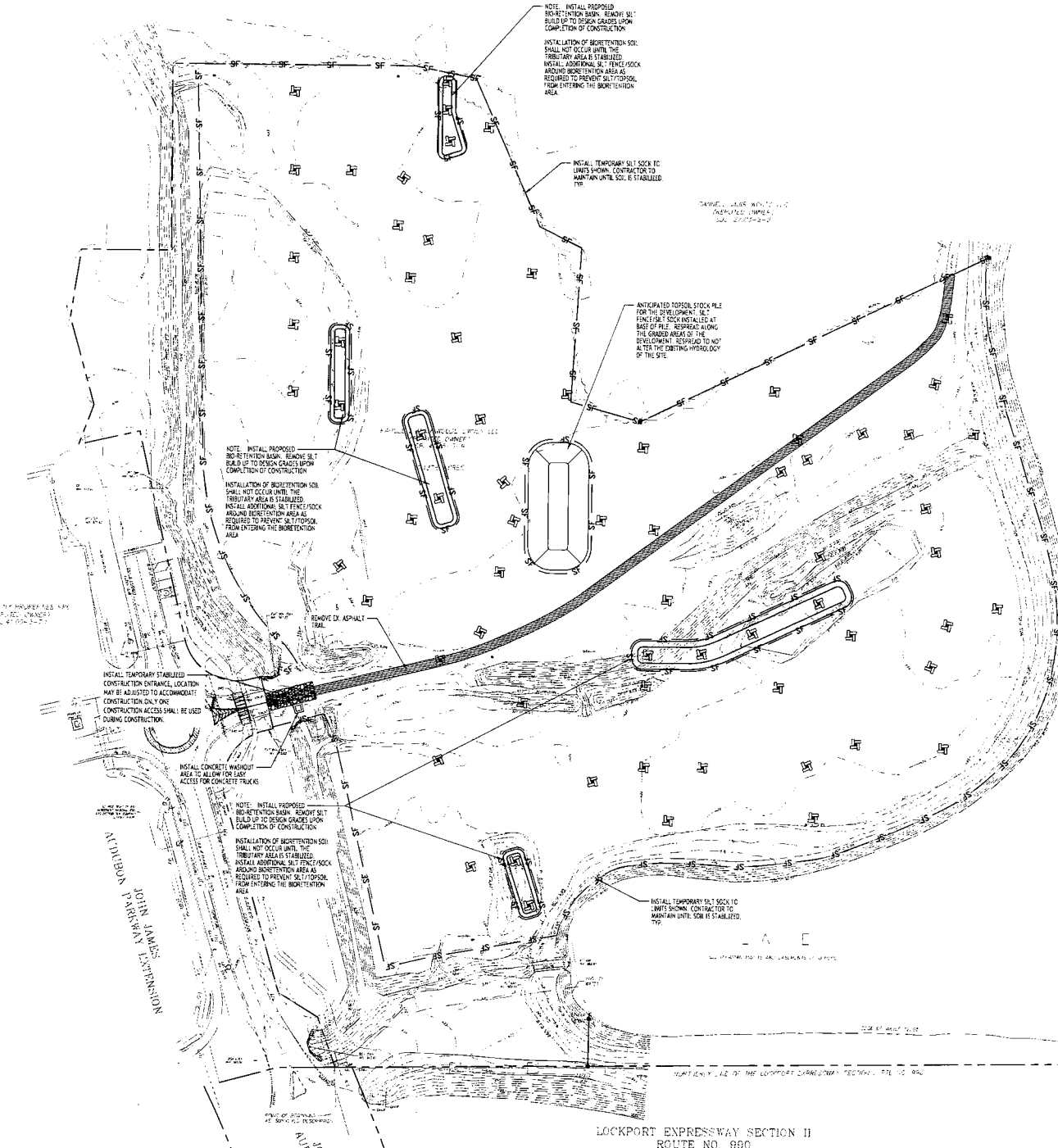
DATE	REVISION/TITLE

TOPOGRAPHIC MAP  
 PART OF LOTS 70 & 76, TOWNSHIP 12, RANGE 7  
 HOLLAND LAND COMPANY'S SURVEY  
 TOWN OF AMHERST, ERIE COUNTY, NEW YORK

**GPI**  
 GPI ENGINEERING, LANDSCAPE  
 ARCHITECTURE & SURVEYING, LLP  
 ENGINEERING • SURVEYING • LANDSCAPE ARCHITECTURE  
 400 BOND STREET SUITE 100  
 BUFFALO, NEW YORK 14203  
 (716) 833-6800 FAX 833-6800

Job No. 2013062-SITE B Date: NOVEMBER 25, 2025  
 Scale: 1" = 60' TAX No. 41.05-3-9

Amherst, New York  
 770 John James Audubon Parkway  
 Amherst, New York 14206  
 Tel: 716.477.1200  
 Fax: 716.477.1201  
 www.carminawood.com



NOTE: INITIAL PROPOSED BIoretention BASIN. REMOVE SILT BUILD UP TO DESIGN GRADES UPON COMPLETION OF CONSTRUCTION.

INSTALLATION OF BIoretention SOIL SHALL NOT OCCUR UNTIL THE TRIENARY AREAS IS STABILIZED. INSTALL ADDITIONAL SILT FENCE SOCK AROUND BIoretention AREA AS REQUIRED TO PREVENT SILT/TOPSOIL FROM ENTERING THE BIoretention AREA.

INSTALL TEMPORARY SILT SOCK TO LIMITS SHOWN. CONTRACTOR TO MAINTAIN UNTIL SOIL IS STABILIZED.

REMOVE EX. ASPHALT PAVEMENT.

ANTICIPATED TOPSOIL STOCKPILE FOR THE DEVELOPMENT. SILT FENCE SOCK INSTALLED AT BASE OF SILET. REINSTATE ALONG THE GRADE AREA OF THE DEVELOPMENT. REINSTATE TO NOT ALTER THE EXISTING HYDROLOGY OF THE SITE.

NOTE: INITIAL PROPOSED BIoretention BASIN. REMOVE SILT BUILD UP TO DESIGN GRADES UPON COMPLETION OF CONSTRUCTION.

INSTALLATION OF BIoretention SOIL SHALL NOT OCCUR UNTIL THE TRIENARY AREAS IS STABILIZED. INSTALL ADDITIONAL SILT FENCE SOCK AROUND BIoretention AREA AS REQUIRED TO PREVENT SILT/TOPSOIL FROM ENTERING THE BIoretention AREA.

INSTALL TEMPORARY STABILIZED CONSTRUCTION ENTRANCE. LOCATION MAY BE ADJUSTED TO ACCOMMODATE CONSTRUCTION ONLY ONE CONSTRUCTION ACCESS SHALL BE USED DURING CONSTRUCTION.

INSTALL CONCRETE WASHOUT AREA TO ALLOW FOR EASY ACCESS FOR CONCRETE TRUCKS.

NOTE: INITIAL PROPOSED BIoretention BASIN. REMOVE SILT BUILD UP TO DESIGN GRADES UPON COMPLETION OF CONSTRUCTION.

INSTALLATION OF BIoretention SOIL SHALL NOT OCCUR UNTIL THE TRIENARY AREAS IS STABILIZED. INSTALL ADDITIONAL SILT FENCE SOCK AROUND BIoretention AREA AS REQUIRED TO PREVENT SILT/TOPSOIL FROM ENTERING THE BIoretention AREA.

INSTALL TEMPORARY SILT SOCK TO LIMITS SHOWN. CONTRACTOR TO MAINTAIN UNTIL SOIL IS STABILIZED.

LOCKPORT EXPRESSWAY SECTION II  
 ROUTE NO. 890

**N DEMOLITION & EROSION CONTROL PLAN**  
 SCALE: 1"=60'

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHER. CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

**SEQUENCE OF MAJOR ACTIVITIES**

THE CONTRACTOR WILL BE RESPONSIBLE FOR IMPLEMENTING THE FOLLOWING EROSION CONTROL AND STORM WATER MANAGEMENT CONTROL MEASURES. THE CONTRACTOR MAY DESIGNATE THESE TASKS TO CERTAIN SUBCONTRACTORS AS HE SEES FIT. BUT THE CONTRACTOR WILL BE RESPONSIBLE FOR IMPLEMENTING THESE CONTROLS AND ENSURING THEIR PROPER FUNCTIONING REMAIN WITH THE CONTRACTOR. THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:

- A. INSTALL STABILIZED CONSTRUCTION ENTRANCE
- B. INSTALL PERIMETER SILT FENCE/STOCK SOCK IN THE LOCATIONS SHOWN ON THE DEMOLITION AND EROSION CONTROL PLAN SHEET.
- C. CLEAR & GRAB SITE
- D. INSTALLATION OF BIoretention BASINS
- E. COMMENCE SITE GRADING
- F. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS CEASED FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY SEEDDED AND WATERED
- G. CONSTRUCTION OF BUILDINGS
- H. INSTALLATION OF PROPOSED UTILITIES
- I. FINALLY PAVEMENT SURFACE PREPARATION
- J. CONTRACT ALL CURBS, DRAINAGE INLETS, STORM SEWER PIPES AND STORM SEWER MANHOLES AS SHOWN ON PLANS. INSTALL TEMPORARY INLET PROTECTION AT THE LOCATION OF ALL INLETS
- K. DUST CONTROL
- L. REMOVE INLET PROTECTION AROUND INLETS AND MANHOLES NO MORE THAN 48 HOURS PRIOR TO PLACING STABILIZED BASE COURSE
- M. INSTALL BASE MATERIAL AS REQUIRED FOR PAVEMENT
- N. CARRY OUT FINAL GRADING AND SEEDING AND PLANTING
- O. CLEAN STORM SYSTEM FOLLOWING CONSTRUCTION. CLEAN UNDERGROUND DETENTION BASIN AS PER MANUFACTURER'S RECOMMENDATIONS
- P. REMOVE SILT FENCE/STOCK SOCK ONLY AFTER ALL PAVING IS COMPLETE AND EXPOSED SURFACES ARE STABILIZED
- Q. REMOVE TEMPORARY CONSTRUCTION DENTS ONLY PRIOR TO PAVEMENT CONSTRUCTION IN "T" JUNCTION AREAS

**EROSION CONTROL NOTES**

1. THE FOLLOWING EROSION CONTROL PROCEDURES SHALL BE ADHERED TO BY THE CONTRACTOR
2. INSTALL TEMPORARY SILT SOCK BARRIERS AS DIRECTED BY THE OWNER AND AT ALL EXISTING STORMWATER CATCH BASINS WITHIN THE WORK AREA TO PREVENT STORMWATER INFILTRATION. ALL SILT SOCK BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS
3. TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR RE-USE AS DIRECTED BY THE OWNER. ALL LOCAL ORDINANCES REGARDING THE SALE OF TOPSOIL MUST BE FOLLOWED. TOPSOIL MAY NOT BE REUSED WITHOUT A PERMIT.
4. ALL SILT SOCK BARRIERS SHALL BE REPLACED WHENEVER THEY BECOME CLOGGED OR IMPROPER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS
6. THE CONTRACTOR MUST CONTROL DUST DURING CONSTRUCTION. DURING EARTHWORK OPERATIONS, WATER SPRAYING EQUIPMENT SHALL BE PROVIDED BY THE CONTRACTOR, AND SPREAD WATER AS NECESSARY AND AS DIRECTED BY THE OWNER IN ORDER TO CONTROL DUST
7. DIRT OR DEBRIS LEFT ON LOCAL PUBLIC ROADS AS A RESULT OF THE CONSTRUCTION PROJECT SHALL BE REMOVED AND ROAD SURFACES CLEANED BY THE CONTRACTOR ON A DAILY BASIS
8. ALL DRIVEABLE AREAS (EXCEPT AREAS TO BE PAVED OR BUILT UPON) SHALL BE TOPDRESSED TO A MINIMUM 4" DEPTH AND SEEDED IMMEDIATELY AFTER FINAL GRADING TAKES PLACE AND AS SOON AS PHYSICALLY POSSIBLE
9. THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF DOWNSTREAM STORM SEWERS, DITCHES, AND COLLECTORS. SILT BUILDUP FOUND TO BE A RESULT OF THE SITE CONSTRUCTION WORK SHALL BE REMOVED FROM DOWNSTREAM COLLECTORS BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER OR THE TOWN/CITY
10. ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES AND MATERIALS SHALL BE IN PLACE PRIOR TO BEGINNING EARTHWORK OPERATIONS AND SHALL BE MAINTAINED UNTIL THE NEW SLOPES ARE STABILIZED WITH SEEDING AND/OR SLOPE PROTECTION AS DIRECTED BY THE ENGINEER
11. INSTALL TEMPORARY SILT SOCK AROUND THE BASE OF STOCKPILES. STOCKPILES NOT BEING ACTIVELY USED FOR MORE THAN SEVEN (7) DAYS SHALL BE STABILIZED
12. THE PROFESSIONAL CERTIFYING COMPLIANCE TO NYSDOT PHASE II STORMWATER REGULATION REQUIREMENTS MUST INSPECT AT A MINIMUM WEEKLY AND WHEN DISTURBING MORE THAN 3 ACRES THREE (3) TIMES A WEEK, AND SHALL PROVIDE THESE INSPECTION REPORT WITH A WRITTEN CERTIFICATION OF CONSTRUCTION COMPLIANCE TO THE TOWN OF AMHERST (BUREAU 1)
13. THE ENGINEER OF RECORD FOR THIS PROJECT CERTIFIES THAT THESE DESIGN PLANS MEET THE REQUIREMENTS AND ARE IN COMPLIANCE WITH THE NEW YORK STORMWATER MANAGEMENT DESIGN MANUAL AND PHASE II STORMWATER REGULATION REQUIREMENTS

**DEMOLITION NOTES**

1. ALL PERIMETER SILT SOCK TO BE INSTALLED PRIOR TO CONSTRUCTION ACTIVITY BEGINNING
2. CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT THOSE ITEMS TO REMAIN, SUCH AS TREES, PROPERTY CORNER NGS, UTILITY POLES, VALVES, HYDRANTS, CURBS, MANHOLES AND CATCH BASINS
3. TEMPORARY SILT SOCK TO BE INSTALLED AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE. MAINTAIN UNTIL VEGETATION IS ESTABLISHED AND PAVEMENT IS INSTALLED
4. AS NECESSARY, COVERED DUMPSTERS SHALL BE PROVIDED ON-SITE AS REQUIRED FOR CONSTRUCTION WASTE
5. REMOVE ALL TREES AND STUMPS AS SHOWN AND REMOVE OFF SITE. CONTRACTOR TO PROTECT ALL TREES/BRUSH NOT DISTURBED BY CONSTRUCTION ACTIVITY. LOCATIONS OF TREES SHOWN ON PLAN ARE APPROXIMATE. CONTRACTOR TO CONFIRM LOCATION PRIOR TO CONSTRUCTION
6. CONTRACTOR TO COORDINATE WITH TOWN LANDSCAPE ARCHITECT WHICH TREES SHALL BE REMOVED AND WHICH SHALL REMAIN AND BE PROTECTED DURING CONSTRUCTION

**RESTORATION NOTES**

1. THE ADJACENT AREAS DISTURBED OR DAMAGED DURING CONSTRUCTION MUST BE RESTORED IN KIND TO THE SATISFACTION OF THE OWNER
2. WHEN RESTORING LAWN AREAS ADJACENT TO NEW CONSTRUCTION, ON-SITE MATERIAL MAY BE USED TO BACKFILL THE AREA WITHIN SIX INCHES OF THE FINISHED SURFACE. ON-SITE MATERIAL SHALL BE THOROUGHLY COMPACTED TO FIFTY PERCENT OF GRADE CLUMP. TREE ROOTS PIECES OF ASPHALT OR OTHER EXISTING MATERIALS, 6" STONES LARGER THAN 1" INCH IN SIZE
3. ALL DISTURBED UN-SUBJECT AREAS SHALL RECEIVE FOUR INCHES OF TOPSOIL, SEED & MULCH & SHALL BE WATERED UNTIL A HEALTHY STRAND OF GRASS IS OBTAINED
4. WHEN ADJACENT ASPHALT, CONCRETE OR PAVING STONE AREAS ARE DISTURBED AS PART OF THE CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO REPLACE THE DAMAGED OR EXCAVATED AREA. THE PERIMETER OF THE DISTURBED AREA SHALL BE SAVED OFF FULL DEPTH SO THAT ALL LINES ARE STRAIGHT & TRUE. PAVING STONES SHALL BE REPLACED IN WHOLE UNITS ONLY. IF A REPLACEMENT PAVING STONE IS TO MATCH THE EXISTING ONE IN SIZE, SHAPE & COLOR, ASPHALT SHALL BE COMPACTED TO A SMOOTH FINISH & SHALL BE FLUSH WITH THE EXISTING ADJACENT AREA THAT IS TO REMAIN

**GENERAL NOTES**

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF AMHERST SPECIFICATIONS WHERE APPLICABLE AND/OR SUBJECT TO THE LATEST REVISIONS BY THE TOWN ENGINEER
2. ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL LOCATIONS BEFORE BEGINNING WORK AS REQUIRED BY APPLICABLE LAWS & REGULATIONS
3. ALL FILL WITHIN THE RIGHT-OF-WAY & UTILITY AREAS IS TO BE COMPACTED TO 95% AND PROCTOR REQUIRED IN CUTS. IT IS TO BE COMPLETED PRIOR TO UTILITY & ROADWAY CONSTRUCTION
4. STUMPS & BRUSH SHALL NOT BE BURIED IN THE TOWN
5. ANY AREAS NOT REQUIRING FILL OR RE-GRADING SHALL NOT BE STRIPPED OFF
6. ALL AREAS THAT HAVE BEEN STRIPPED ARE TO RECEIVE A MINIMUM OF 4 INCHES OF TOPSOIL, GRADED & SEED
7. NO TOPSOIL IS TO LEAVE THE SITE AFTER THE TOWN RECEIVES DEDICATION

**TOWN OF AMHERST APPROVAL BOX:**

REVISIONS:

No.	Description	Date

DRAWING NAME:  
**Demolition & Erosion Control Plan**

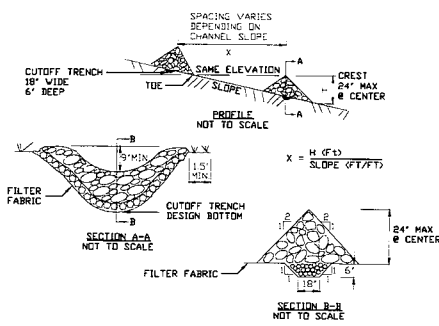
Date: 03.13.26  
 Drawn By: G. K. Hayes  
 Scale: As Noted

DRAWING NO.  
**C-001**  
 Project No.: 25-4080



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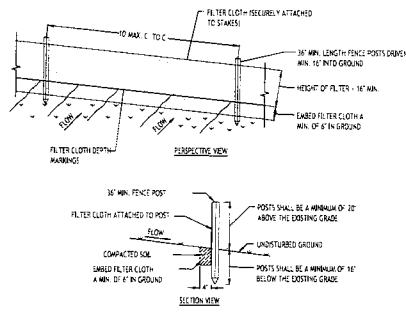
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**CONSTRUCTION SPECIFICATIONS**

- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
- SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
- EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
- PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
- ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE. MAXIMUM DRAINAGE AREA 2 ACRES.

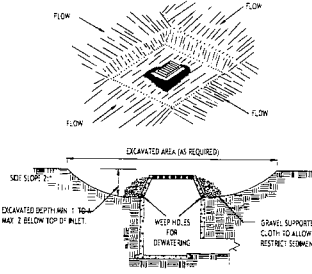
**STONE CHECK DAM DETAIL**  
NOT TO SCALE



**CONSTRUCTION SPECIFICATIONS**

- WOVEN FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER 1/2" OR 1" TYPE OR HARDWOOD.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER FABRIC, STABILIZED 1/2" OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BLUES' DEVELOP IN THE SILT FENCE.

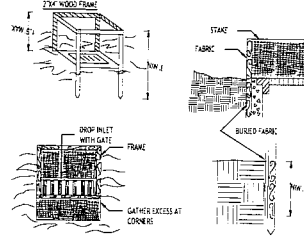
**SILT FENCE DETAIL**  
NOT TO SCALE



**CONSTRUCTION SPECIFICATIONS**

- CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
- GRADE APPROACH TO THE INLET UNIFORM AROUND THE BASIN.
- WEED HOLES SHALL BE PROTECTED BY GRAVEL.
- UPPER STABILIZATION OF CONTRIBUTING DRAINAGE AREA. SEAL WEED HOLES. FILL BASIN WITH STABLE SOIL TO FINAL GRADE. COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDING. MAXIMUM DRAINAGE AREA 1 ACRE.

**INLET PROTECTION DETAIL 1**  
NOT TO SCALE

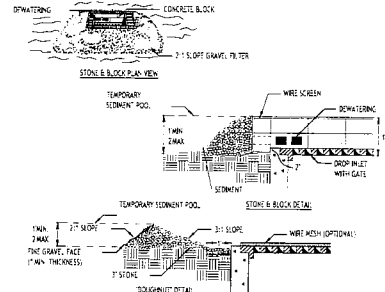


**CONSTRUCTION SPECIFICATIONS**

- FILTER FABRIC SHALL HAVE AN EDGE OF 40-60# BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2" X 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES DOWN BY AROUND INLET 3 FEET AWAY AND DRIVE A MINIMUM 16 INCHES DEEP. STAKES GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2" X 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER LOW STABILITY. MAXIMUM DRAINAGE AREA 1 ACRE.

**INLET PROTECTION DETAIL 2**  
NOT TO SCALE

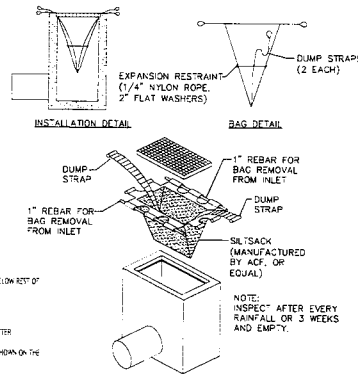
NOTE: INSTALL ONE OF THE INLET PROTECTION OPTIONS SHOWN PRIOR TO CONSTRUCTION



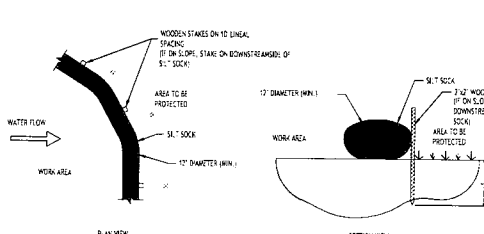
**CONSTRUCTION SPECIFICATIONS**

- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DOWNSTREAM. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
- HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
- USE CLEAN STONE OR GRAVEL 1/2" MINIMUM IN DIAMETER PLACED 2 INCHES BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
- FOR STONE STRUCTURES ONLY, A 2" FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 1/2" BLOCK STONE AS SHOWN ON THE DRAWINGS. MAXIMUM DRAINAGE AREA 1 ACRE.

**INLET PROTECTION DETAIL 3**  
NOT TO SCALE



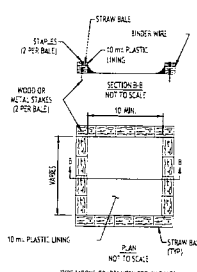
**SILT SACK DETAIL**  
NOT TO SCALE



**CONSTRUCTION SPECIFICATIONS**

- STONE SIZE - USE 2" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 30 FEET (EXCEPT ON A SINGLE RESIDENT LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR ORIENTED TOWARD CONSTRUCTION ENTRANCES SHALL BE RIPPED ACROSS THE ENTRANCE. IF RIPPING IS IMPRACTICAL, A MOUNTABLE BEAM WITH 1" SLIPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOWING OR SEPARANT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT, SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEWAGE TREATMENT DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
- WHEN THE HYDROT RIGHT-OF-WAY, THE TEMPORARY CONSTRUCTION ENTRANCE SHALL CONSIST OF TEMPORARY ASPHALT.

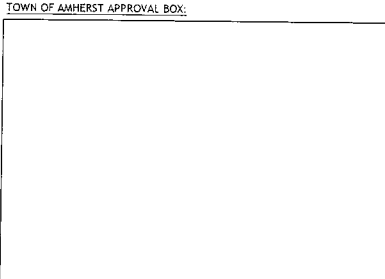
**SILT SOCK DETAIL**  
NOT TO SCALE



**NOTES**

- ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD.
- A CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
- MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF OR RECYCLED.
- HOLE'S DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED, REPAIRED, AND STABILIZED TO PREVENT EROSION.

**CONCRETE WASHOUT DETAIL**  
NOT TO SCALE



**TOWN OF AMHERST APPROVAL BOX:**

**CARMINAWOOD DESIGN**  
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**Townhomes at Muir Woods**  
 770 John James Audubon Parkway  
 Amherst, New York

NO.	DESCRIPTION

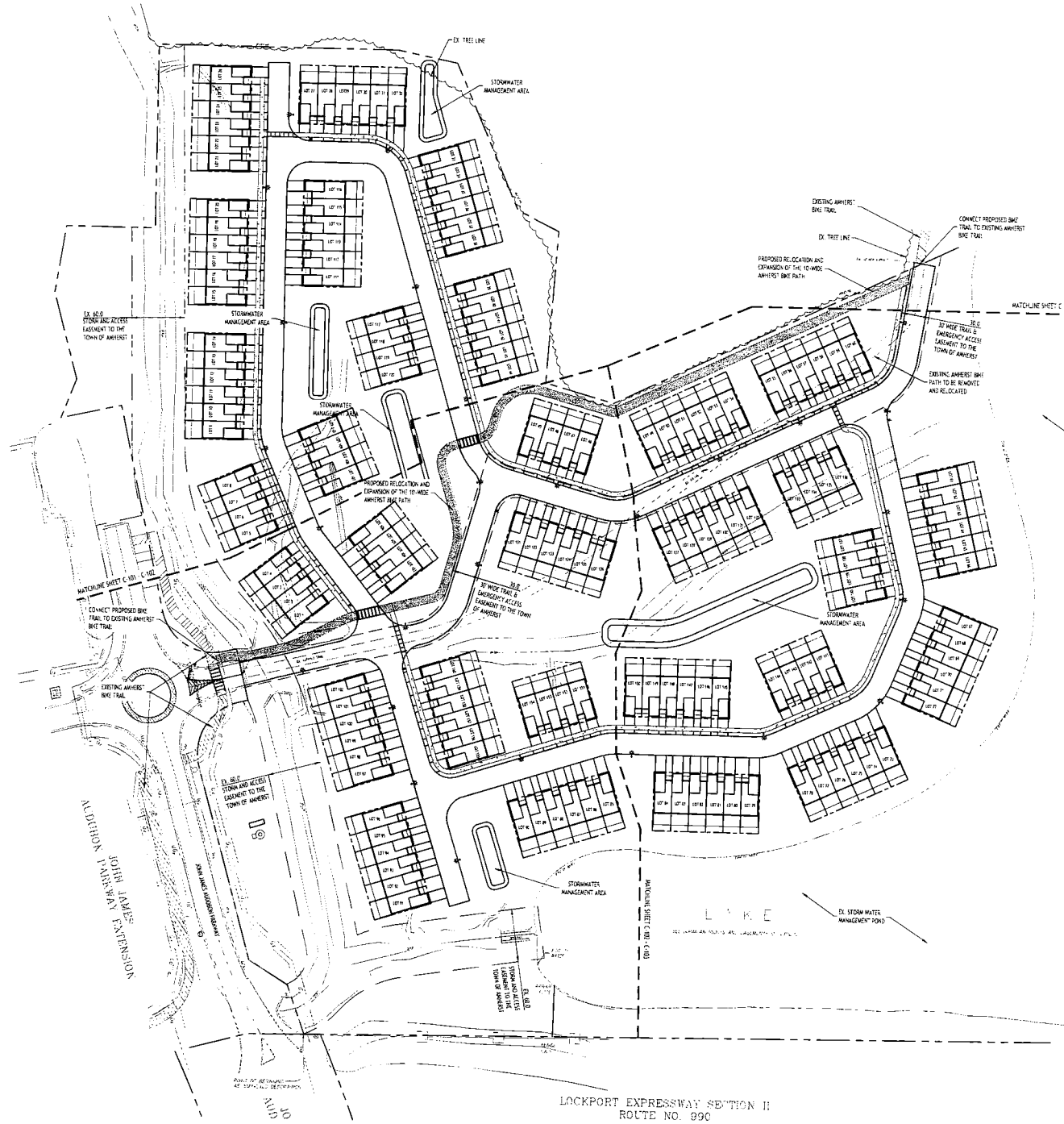


DRAWING NAME:  
**Demolition & Erosion Control Details**

Date: 03.13.24  
 Drawn By: D. Feys  
 Scale: As Noted

DRAWING NO.  
**C-002**  
 Project No: 25-4080

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Site Data		
SITE AREA - 17.14 AC		
TOWN'S NEW COMMUNITY DEVELOPMENT (NCD)		
PROJECT - PROPOSED 160 UNITS TOWNHOME PROJECT		
PARKING		
F OF SPACES - SEE CALCULATION BELOW	REQUIRED	PROVIDED
PARKING SPACE SIZE	310	330
	10 x 18	10 x 18
PARKING CALCULATION		
RESIDENTIAL		
REQD - 2 SPACES PER UNIT		
160 UNITS x 2 SPACES/UNIT = 320 SPACES REQD		

SITE LEGEND	
PROPERTY LINE	---
PROPOSED CONCRETE CURB	=====
PROPOSED SIDEWALK / CONCRETE PAD	-----
NUMBER OF PARKING SPACES	⊙
PROPOSED SIGN	▲
PROPOSED STANDARD DUTY ASPHALT PAVEMENT	▭
PROPOSED LIGHT POLE	⊕
PROPOSED WALL MOUNTED LIGHT	⊕

TOWN OF AMHERST APPROVAL BOX:

**Overall Site Plan**  
SCALE: 1"=60'

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

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Amherst, New York



DRAWING NAME:  
**Overall Site Plan**

Date: 03.13.24  
Drawn By: D. Feyes  
Scale: As Noted

DRAWING NO.:  
**C-100**

Project No: 25-4080

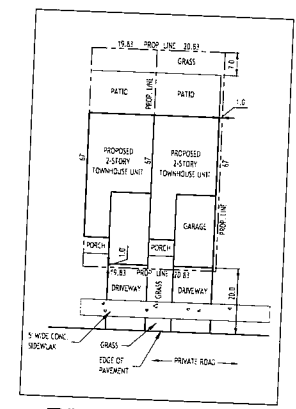
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**Enlarged Site Plan**  
SCALE: 1" = 30'

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

Site Data		
NET AREA - 17.14 AC		
TOWN: 4TH COMMUNITY DEVELOPMENT (MCD)		
PROJECT: PROPOSED 160 UNITS TOWNHOME PROJECT		
PARKING		
# OF SPACES - SEE CALCULATION BELOW	REQUIRED	PROPOSED
	310	310
PARKING SPACE SIZE:		
	10' x 18'	10' x 18'
PARKING CALCULATION:		
RESIDENTIAL		
REQD: 2.5 SPACES PER UNIT		
160 UNITS * 2 SPACES/UNIT = 320 SPACES REQD.		



**TYP. TOWNHOUSE LOT**  
SCALE: 1" = 20'

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

- DETAIL LEGEND** SEE SITE DETAIL SHEET
- ① TYPE 'A' CONCRETE CURB
  - ② STANDARD DUTY ASPHALT
  - ③ ASPHALT TRAIL
  - ④ EXTERIOR CONCRETE SLAB ON GRADE
  - ⑤ LIGHT POLE FOUNDATION
  - ⑥ CONCRETE SIDEWALK

- NOTE LEGEND**
- ▲ INSTALL STOP SIGN - M.U.T.C.D. SIGN NO. 81-18
  - ▲ LIMIT OF PAVEMENT
  - ▲ ROUNDUP CURB IN 3' OR MATCH EXISTING CURB
  - ▲ LANDSCAPED AREA - SEE LANDSCAPE PLAN. IF NO PLANTING, INSTALL TOPSOIL & SEED
  - ▲ SAME-LEVEL LINE, MATCH EXISTING EDGE OF PAVEMENT
  - ▲ IF WIDE WHITE PAVEMENT STRIPES & 3" SPACING (CROSSWALK LINES)
  - ▲ 10' WIDE PROPOSED CROSSWALK (TYPE 1.6 - W/20' W/4" EPOXY PAINT)
  - ▲ INSTALL 'WIELD' SIGN - M.U.T.C.D. SIGN NO. 81-20

**TOWN OF AMHERST APPROVAL BOX:**

REVISIONS:

No.	Description



DRAWING NAME:  
**Enlarged Site Plan**

Date: 03-13-26  
Drawn By: D. Fryes  
Scale: As Noted

DRAWING NO.  
**C-101**  
Project No: 25-4080

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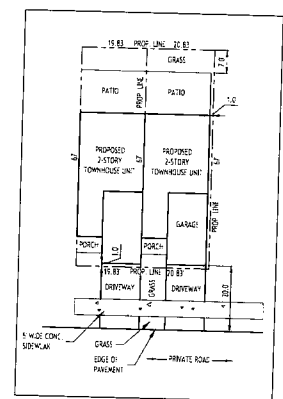
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MCCLUBBON PARKWAY EXIT  
JOHN JAMES  
AUDUBON PARKWAY



**Enlarged Site Plan**  
SCALE: 1"=30'

Site Data		
SITE AREA - 17.14 AC		
TOWN: NEW COMMUNITY DEVELOPMENT INC.		
PROJECT: PROPOSED 160 UNITS TOWNHOMES PROJECT		
PARKING		
# OF SPACES - SEE CALCULATION BELOW	REQUIRED	PROVIDED
PARKING SPACE SIZE	310	320
	10 x 18	10 x 18
PARKING CALCULATION		
RESIDENTIAL	REQUIRED	PROVIDED
REQ'D: 2 SPACE PER UNIT		
160 UNITS x 2 SPACES/UNIT = 320 SPACES REQ'D		



**TYP. TOWNHOUSE LOT**  
SCALE: 1"=20'

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

- DETAIL LEGEND** SEE SITE DETAIL SHEET
- ① TYPE 'A' CONCRETE CURB
  - ② STANDARD DUTY ASPHALT
  - ③ ASPHALT TRAIL
  - ④ EXTERIOR CONCRETE SLAB ON GRADE
  - ⑤ LIGHT POLE FOUNDATION
  - ⑥ CONCRETE SIDEWALK

- NOTE LEGEND**
- ▲ INSTALL STOP SIGN - W.C. C.D. SIGN NO. 81-18
  - ▲ LIMIT OF PAVEMENT
  - ▲ RADIUS CURB IN 2' OR MATCH EXISTING CURB
  - ▲ LANDSCAPED AREA - SEE LANDSCAPE PLAN. IF NO PLANTINGS, INSTALL TOPSOIL & SEED
  - ▲ SAME CUT LINE, MATCH EXISTING EDGE OF PAVEMENT
  - ▲ 4" WIDE WHITE PAVEMENT STRIPES @ 5' SPACING (ACROSSWALK LINES)
  - ▲ 12" WIDE PROPOSED CROSSWALK (TYPE 1.5 W/ID W/AL EXPOSURE PAINT)
  - ▲ INSTALL 'YELLOW' SIGN, W.C. C.D. SIGN NO. 81-20

- SITE LEGEND**
- PROPERTY LINE
  - PROPOSED CONCRETE CURB
  - PROPOSED SIDEWALK / CONCRETE PAD
  - NUMBER OF PARKING SPACES
  - PROPOSED SIGN
  - PROPOSED STANDARD DUTY ASPHALT PAVEMENT
  - PROPOSED LIGHT POLE
  - PROPOSED WALL MOUNTED LIGHT
- NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
- 

**TOWN OF AMHERST APPROVAL BOX:**



DRAWING NAME:  
**Enlarged Site Plan**

Date: 01.13.24  
Drawn By: D. Feyes  
Scale: As Noted

DRAWING NO.  
**C-102**

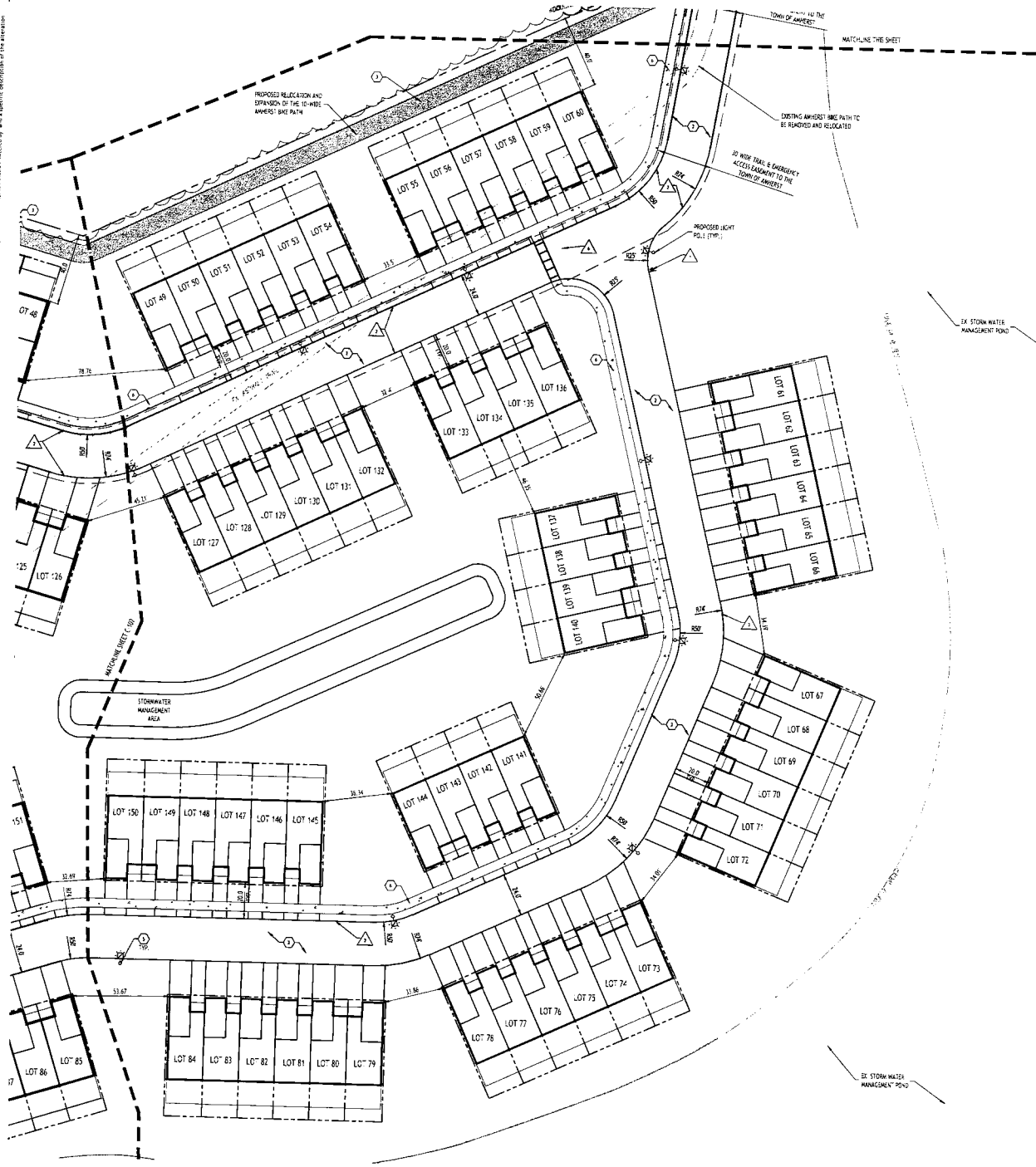
Project No: 25-4080

**CARMINA WOOD**  
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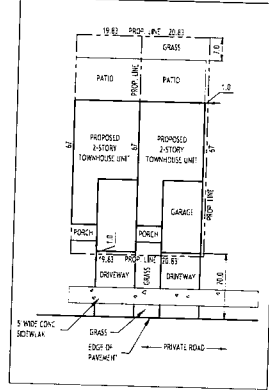
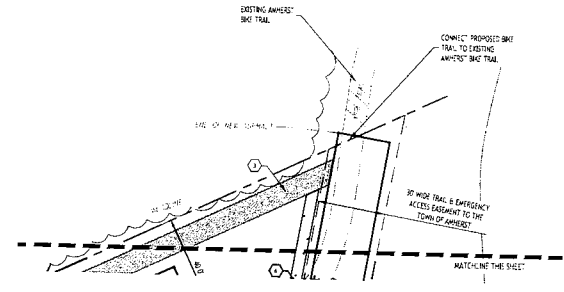
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770 John James Audubon Parkway  
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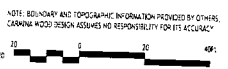


**N** Enlarged Site Plan  
SCALE: 1"=30'



**TYP. TOWNHOUSE LOT**  
SCALE: 1"=20'

Site Data	
SITE AREA = 17.14 AC	
ZONING = NEW COMMUNITY DEVELOPMENT (NCD)	
PROJECT = PROPOSED 10 UNITS TOWNHOME PROJECT	
<b>PARKING</b>	
# OF SPACES - SEE CALCULATION BELOW	REQUIRED
110	110
PARKING SPACE SIZE	
10 x 18	10 x 18
PARKING CALCULATION	
RESIDENTIAL	
REQ'D = 2 SPACE PER UNIT	
10 UNITS x 2 SPACES/UNIT = 20 SPACES REQ'D	



NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

- DETAIL LEGEND** SEE SITE DETAIL SHEET
- 1 TYPE "W" CONCRETE CURB
  - 2 STANDARD DUTY ASPHALT
  - 3 ASPHALT TRAIL
  - 4 EXTERIOR CONCRETE SLAB ON GRADE
  - 5 LIGHT POLE FOUNDATION
  - 6 CONCRETE SIDEWALK

- NOTE LEGEND**
- 1 INSTALL STOP SIGN - ALL T.C.D. SIGN NO. R-118
  - 2 LIMIT OF PAVEMENT
  - 3 ROUNDTOP CURB IN 2' OR MATCH EXISTING CURB
  - 4 LANDSCAPED AREA - SEE LANDSCAPE PLAN. IF NO PLANTINGS, INSTALL TOPSOIL & SEED
  - 5 SANGUCLUT LINE, MATCH EXISTING EDGE OF PAVEMENT
  - 6 4" WIDE WHITE PAVEMENT STRIPES @ 5' SPACING (PERSONWALK LINES)
  - 7 10' WIDE PROPOSED CROSSWALK (TYPE 1.5, 10' W/2' W/2' EXTERIOR PAINT)
  - 8 INSTALL "FIELD" SIGN - ALL T.C.D. SIGN NO. R-120

- SITE LEGEND**
- PROPERTY LINE
  - PROPOSED CONCRETE CURB
  - PROPOSED SIDEWALK - CONCRETE PAD
  - NUMBER OF PARKING SPACES
  - PROPOSED SIGN
  - PROPOSED STANDARD DUTY ASPHALT PAVEMENT
  - PROPOSED LIGHT POLE
  - PROPOSED WALL MOUNTED LIGHT

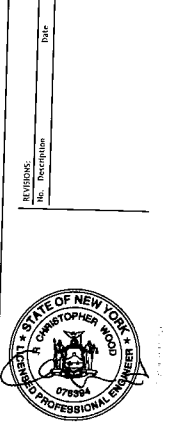
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**TOWN OF AMHERST APPROVAL BOX:**

**CARMINA WOOD**  
DESIGN  
Buffalo | Utica | Greensboro

**Townhomes at Muir Woods**  
770 John James Audubon Parkway  
Amherst, New York



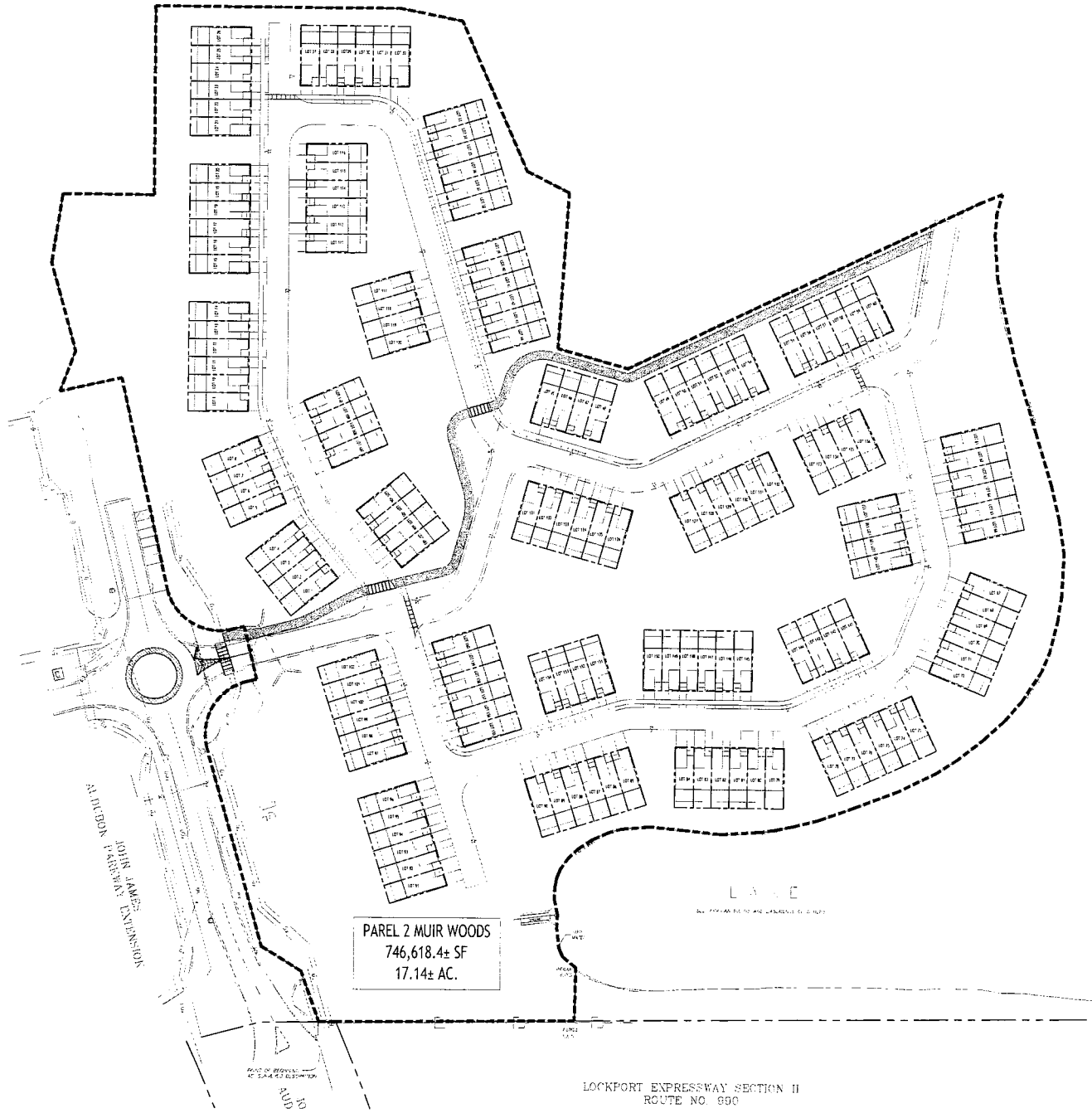
DRAWING NAME:  
**Enlarged Site Plan**

Date: 03.13.26  
Drawn By: S. Fayes  
Scale: As Noted

DRAWING NO.  
**C-103**

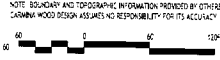
Project No: 25-4080

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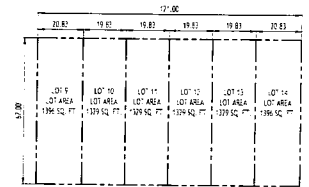
PAREL 2 MUIR WOODS  
746,618.4± SF  
17.14± AC.

**Parcel Plan**  
SCALE: 1"=60'

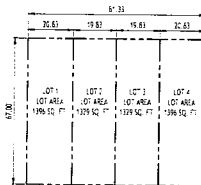


NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

Site Data		
SITE AREA - 17.14 AC		
ZONED: NEW COMMUNITY DEVELOPMENT (NCD)		
PROJECT: PROPOSED 160 UNITS TOWNHOME PROJECT		
SUBSIS:	REQUIRED:	PROPOSED:
# OF SPACES - SEE CALCULATION BELOW	321	321
PARKING SPACE SIZE:	10 x 18	10 x 18
PARKING CALCULATED:		
RESIDENTIAL:		
REQD: 1.2 SPACE PER UNIT		
160 UNITS x 2 SPACES/UNIT =	320 SPACES REQD	



**TYP. 6-UNIT TOWNHOUSE CLUSTER**  
SCALE: 1"=30'



**TYP. 4-UNIT TOWNHOUSE CLUSTER**  
SCALE: 1"=30'

TOWN OF AMHERST APPROVAL BOX:

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**Townhomes at Muir Woods**  
770 John James Audubon Parkway  
Amherst, New York

PLANNING No.	Description	DATE



DRAWING NAME:  
**Parcel Plan**

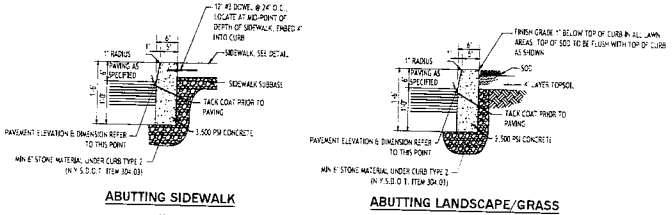
Date: 03.13.24  
Drawn By: D. Eyles  
Scale: As Noted

DRAWING NO.  
**C-104**

Project No: 25-4080

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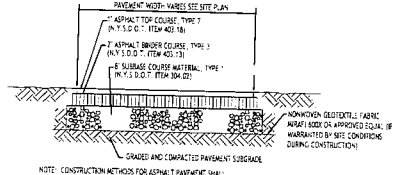


**ABUTTING SIDEWALK**

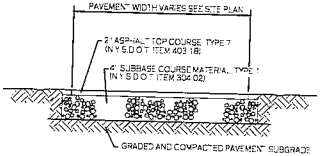
**ABUTTING LANDSCAPE/GRASS**

- NOTES:
- CONTROL JOINTS TO BE 2' DEEP AT 15'-0\"/>

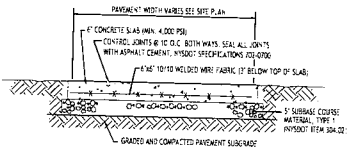
**TYPE "A" CONCRETE CURB - 1**



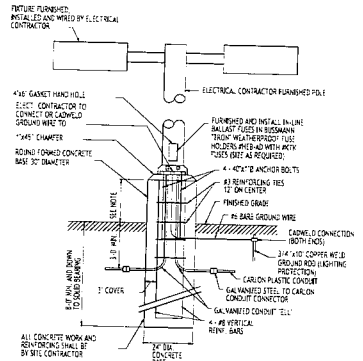
**STANDARD DUTY ASPHALT SECTION - 2**



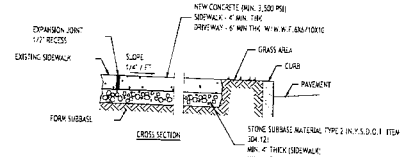
**ASPHALT TRAIL SECTION - 3**



**EXTERIOR CONCRETE SLAB-ON-GRADE SECTION - 4**



**LIGHT POLE FOUNDATION - 5**



**CONCRETE SIDEWALK - 6**

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 Amherst, New York

REVISIONS:

No.	Description	Date



DRAWING NAME:  
**Site Details**

Date: 03.13.24  
 Drawn By: D. Feyen  
 Scale: As Noted

DRAWING NO.:

**C-105**

Project No: 25-4080

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**Overall Grading Plan**  
SCALE: 1"=60'

**PROPOSED GRADING LEGEND**

PROPOSED CENTERLINE	— 100 —
PROPOSED FOOT CURELUMEN	— 100 —
PROPOSED TOP OF CURB OR CURB ELEV.	100.00
PROPOSED ELEV. SIGN	■ 100
PROPOSED GEODESIC SURVEY	○ 100
PROPOSED TARD SIGN	● 100
PROPOSED MANHOLE	● 100

TOWN OF AMHERST APPROVAL BOX:

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770 John James Audubon Parkway  
Amherst, New York



DRAWING NAME:  
**Overall Grading Plan**

Date: 03.13.26  
Drawn By: D. Feyes  
Scale: As Noted

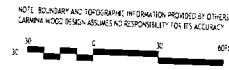
DRAWING NO.  
**C-200**

Project No: 25-4080

As the Engineer, I hereby certify that the information provided in this drawing was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of New York. I am not providing any services in any other state. I am not providing any services in any other state. I am not providing any services in any other state.



**Enlarged Grading Plan**  
SCALE: 1"=30'

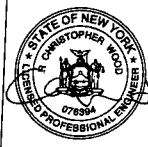


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**PROPOSED GRADING LEGEND**

PROPOSED CONTOUR	— 0.1
PROPOSED SPOT ELEVATION	○ 4.5
PROPOSED TOP SECTION OF CURB ELEV.	□ 100.00
PROPOSED CURB BARR.	■ CB
EXISTING GRADING ELEV.	○ 1.0
PROPOSED HARD DATA	● YD
PROPOSED SIGNALL.	● AC

TOWN OF AMHERST APPROVAL BOX:



DRAWING NAME:  
**Enlarged  
Grading Plan**

Date: 03.13.26  
Drawn By: D. Hayes  
Scale: As Noted  
DRAWING NO.  
**C-201**  
Project No: 25-4080

**CARMINA WOOD**  
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PROPOSED GRADING LEGEND

PROPOSED ELEVATION	107
PROPOSED SPOT ELEVATION	100.00
PROPOSED TOP BOTTOM OF CURB ELEV.	100.00 100.00
PROPOSED GATE ELEV.	100
PROPOSED CURB ELEV.	100
PROPOSED SIDEWALK	100
PROPOSED DRIVEWAY	100
PROPOSED DRIVEWAY	100

TOWN OF AMHERST APPROVAL BOX:

Enlarged Grading Plan  
SCALE: 1"=30'

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**Townhomes at Muir Woods**  
770 John James Audubon Parkway  
Amherst, New York



DRAWING NAME:  
Enlarged  
Grading Plan

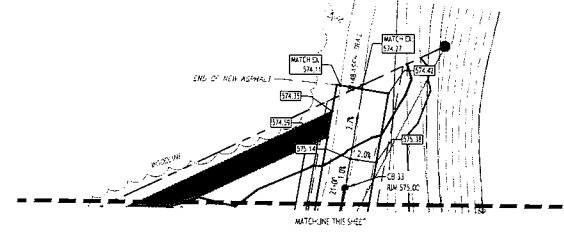
Date: 03.13.24  
Drawn By: D. Feyes  
Scale: As Noted

DRAWING NO.  
**C-202**

Project No: 25-408G

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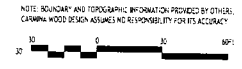


PROPOSED GRADING LEGEND

PROPOSED CONTOUR	10'
PROPOSED SPOT ELEVATION	574.21
PROPOSED TOP OF CURB LEVEL	14 100 X 14 100.00
PROPOSED EXISTING ROAD	CE
EXISTING CURB/CLUMP	CE
PROPOSED LAND DRAIN	LD
PROPOSED MANHOLE	M

TOWN OF AMHERST APPROVAL BOX:

**Enlarged Grading Plan**  
SCALE: 1"=30'



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770 John James Audubon Parkway  
Amherst, New York

DATE: \_\_\_\_\_  
BY: \_\_\_\_\_



DRAWING NAME:  
**Enlarged Grading Plan**

Date: 03.13.26  
Drawn By: E. Feyes  
Scale: As Noted

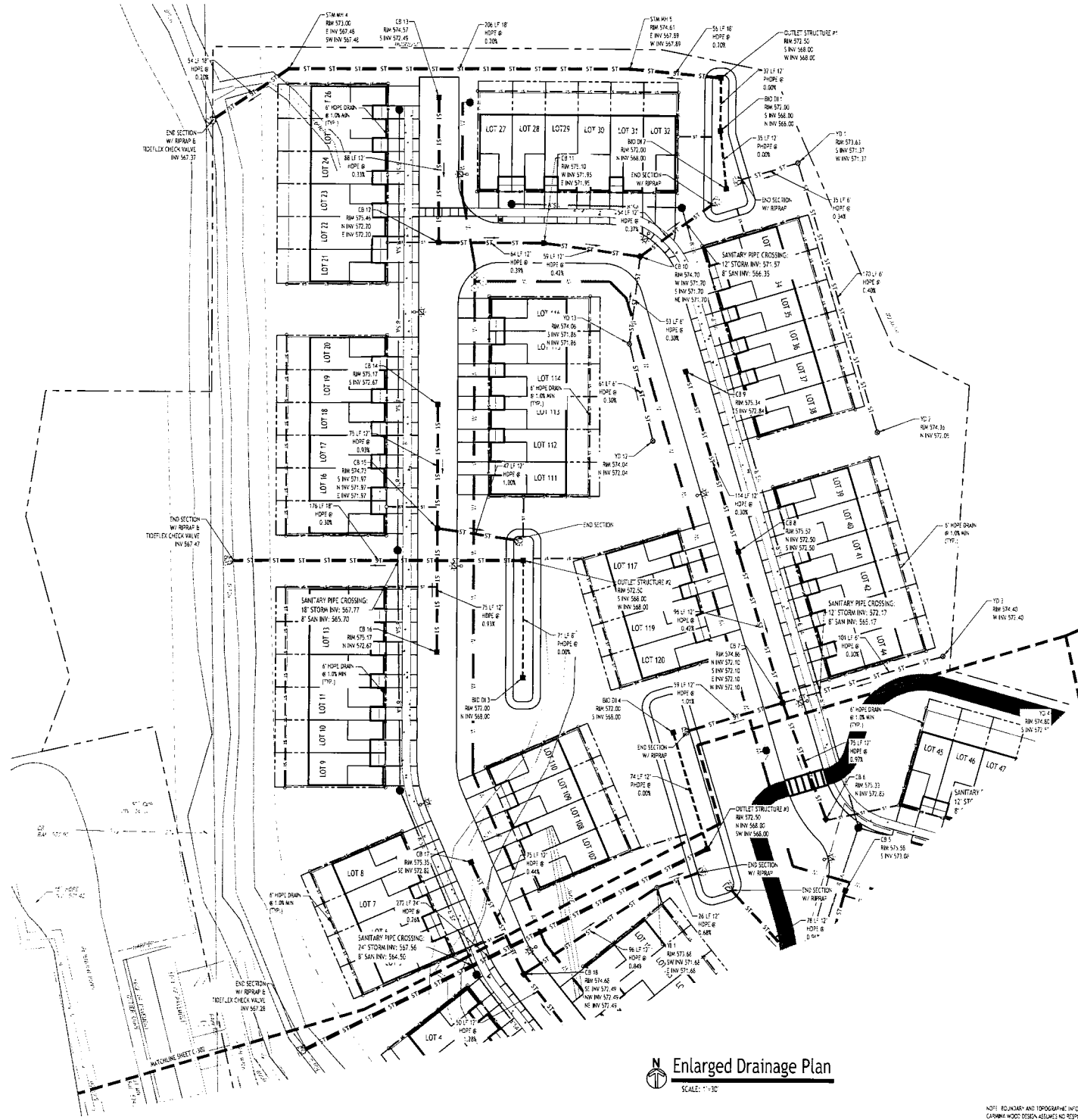
DRAWING NO.  
**C-203**

Project No: 25-4080

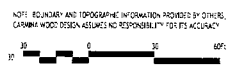


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**Enlarged Drainage Plan**  
SCALE: 1"=30'



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**PROPOSED STORM LEGEND**

PROPOSED STORM SEWER	ST
PROPOSED SANITARY SEWER	8" SA
PROPOSED WATERLINE	6" W
PROPOSED CATCH BASIN	CB
PROPOSED MANHOLE	YO OR YH
PROPOSED HYDRANT ASSEMBLY	HA

TOWN OF AMHERST APPROVAL BOX:

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**Townhomes at Muir Woods**  
770 John James Audubon Parkway  
Amherst, New York

REVISION:	Date:
No.	Description:



DRAWING NAME:  
**Enlarged Drainage Plan**

Date: 03.13.26  
Drawn By: B. Foyes  
Scale: As Noted

DRAWING NO.  
**C-301**

Project No: 25-4080

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**PROPOSED STORM LEGEND**

PROPOSED STORM SEWER	ST
PROPOSED SANITARY SEWER	8" SA
PROPOSED WATERLINE	8" W
PROPOSED CATCH BASIN	CB
PROPOSED YARD DRAIN OR INLET	YD OR YI
PROPOSED MANHOLE	MH
PROPOSED HYDRAULIC ASSEMBLY	

TOWN OF AMHERST APPROVAL BOX:

**Enlarged Drainage Plan**  
SCALE: 1"=30'

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REVISIONS:	Date:
No.	Description:



DRAWING NAME:  
**Enlarged Drainage Plan**

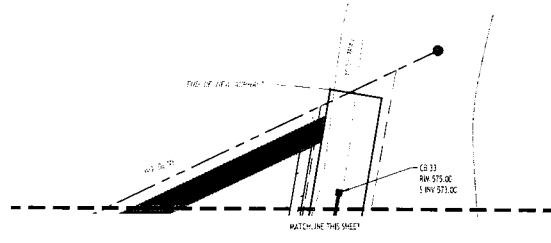
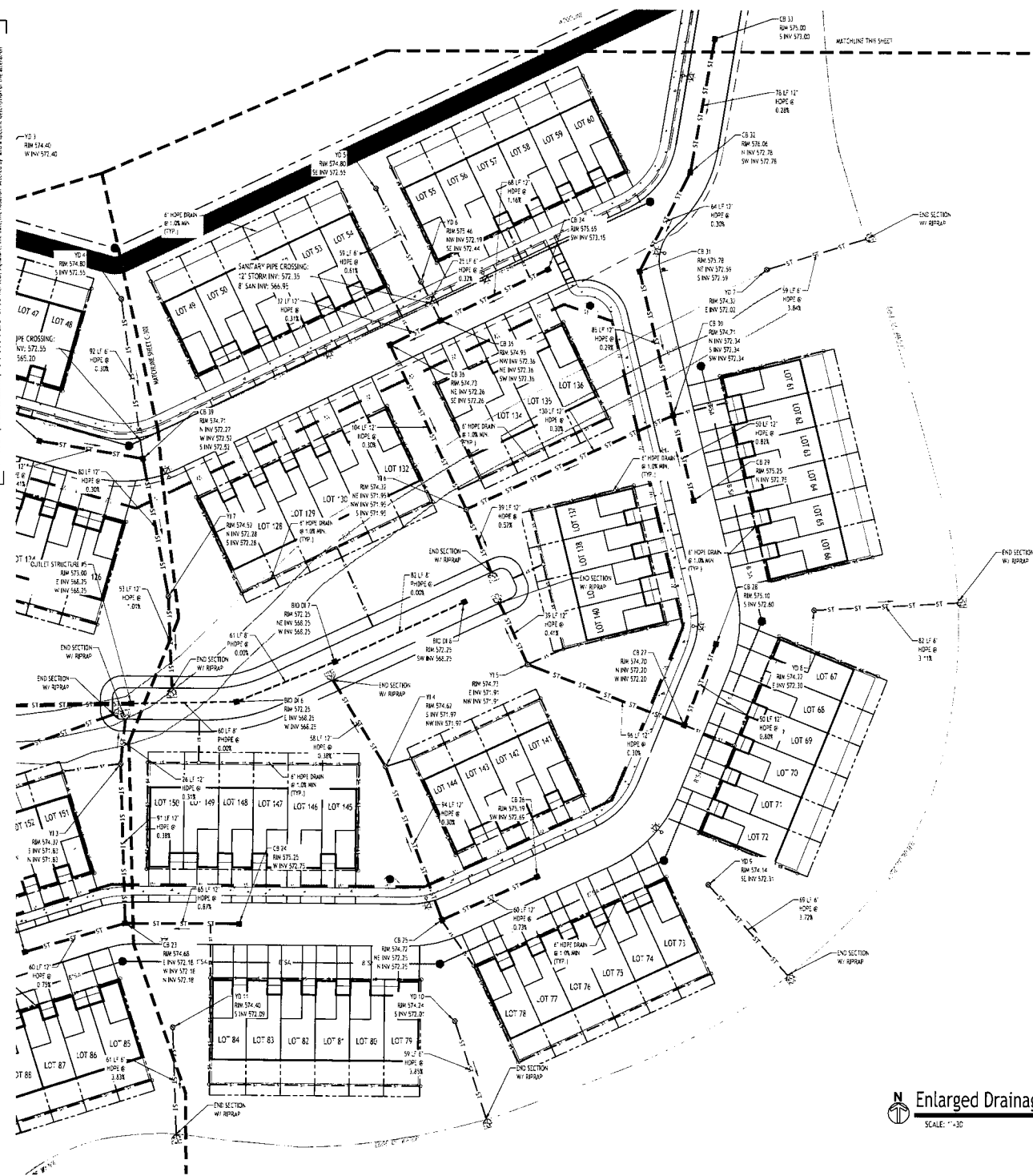
Date: 03.13.26  
Drawn By: D. Feyes  
Scale: As Noted

DRAWING NO.  
**C-302**

Project No: 25-4080

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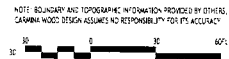
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**PROPOSED STORM LEGEND**

PROPOSED STORM SEWER	— ST —
PROPOSED SANITARY SEWER	— 8" SA —
PROPOSED WATERLINE	— 8" W —
PROPOSED CATCH BASIN	■ CB
PROPOSED MANHOLE OR INLET	⊗ MH OR YI
PROPOSED MANHOLE	● MH
PROPOSED HYDRANT ASSEMBLY	⊙ HA

**Enlarged Drainage Plan**  
 SCALE: 1"=30'



TOWN OF AMHERST APPROVAL BOX:

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 770 John James Audubon Parkway  
 Amherst, New York

Date: \_\_\_\_\_  
 Title: \_\_\_\_\_  
 Name: \_\_\_\_\_



DRAWING NAME:  
**Enlarged Drainage Plan**

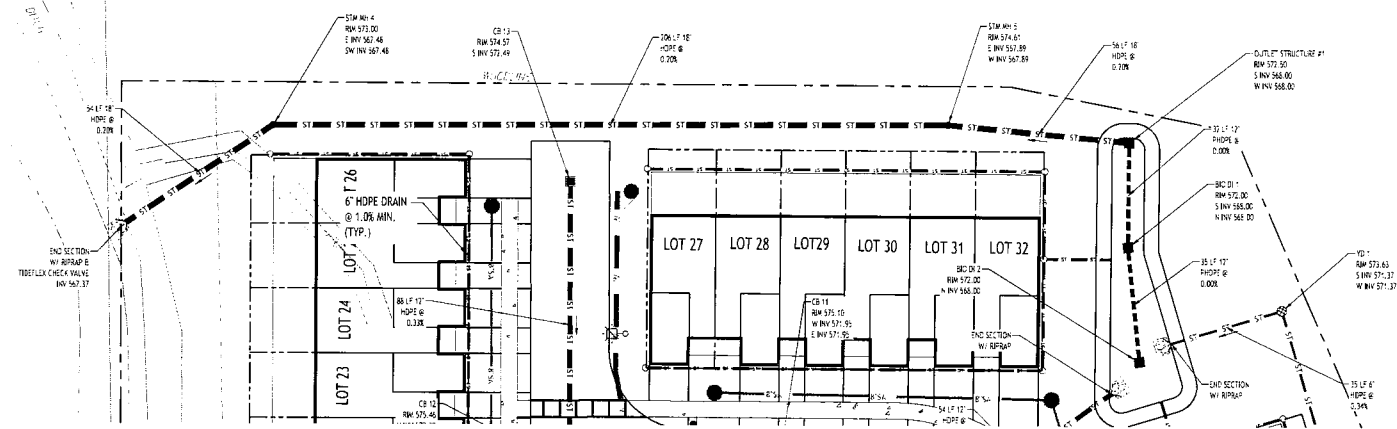
Date: 03.13.24  
 Drawn By: D. Feyes  
 Scale: As Noted

DRAWING NO.  
**C-303**

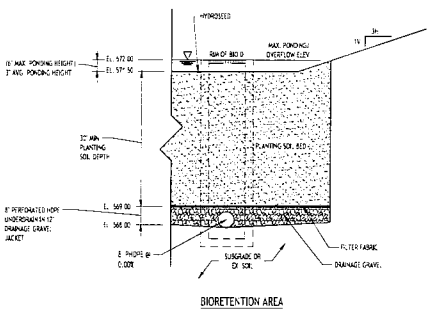
Project No: 25-4080

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**N BIO-RETENTION #1 PLAN & DETAIL**  
 SCALE: 1"=20'



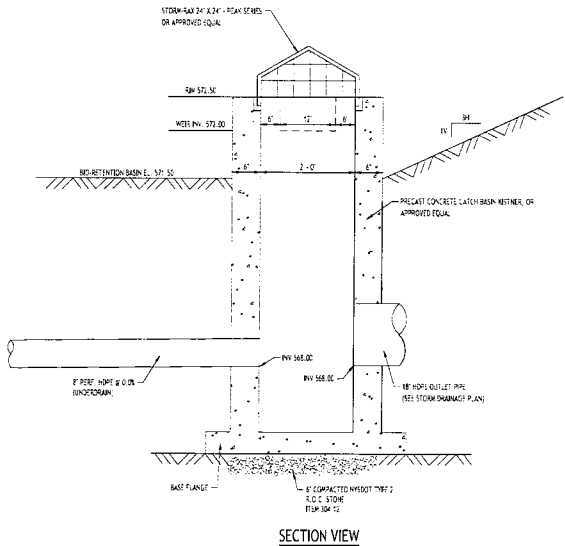
**BIORETENTION AREA #1 - #4 - TYPICAL SECTION**  
 NOT TO SCALE

**NOTES**  
 1. FILLER FABRIC TO BE NONWOVEN CLASS C, NOMIN 180 G/SM OR APPROVED EQUIVALENT.  
 2. DRAINAGE GRAVEL TO MEET ASTM D-1585, 50 TO 100 G/SM TO 2\"/>

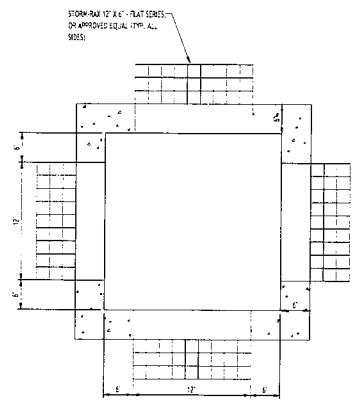
**NOTE: PLANTING SOIL SHALL BE LOAM/SAND AND CONTAIN A MINIMUM OF 3% TO SOIL SAND BY VOLUME AND LESS THAN 1% CLAY. SOIL SHOULD BE FREE FROM STONES, STUMPS, ROOTS OF OTHER WOODY MATERIAL OVER 1\"/>**

**CONTRACTORS SHALL BE:**  
 PH RANGE: 5.3 - 7.0  
 ORGANIC MATTER: 3 - 4 %  
 NITROGEN: 0.15% PER ACRE IN  
 PHOSPHORUS: 75 LBS PER ACRE IN  
 POTASSIUM: 60 LBS PER ACRE IN  
 SOILS SHALL BE TESTED WITH  
 CLAY: 10 TO 20%  
 SALT: 30 TO 50%  
 SAND: 35 TO 60%

Bio-retention area seeding spec (Northeast Wetland Grass Seed Mix):		
Species	Yield	Percent by Volume
Crested Dog-tail	4000 lbs/acre	10.0
Large-flowered	4000 lbs/acre	10.0
Arrowweed	4000 lbs/acre	10.0
Common	4000 lbs/acre	10.0
Downy	4000 lbs/acre	10.0

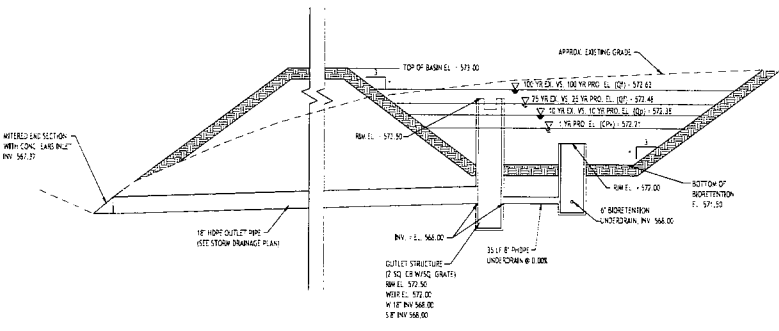


SECTION VIEW

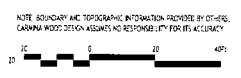


PLAN VIEW

**BIO-RETENTION BASIN #1 OUTLET STRUCTURE**  
 NOT TO SCALE



**BIORETENTION #1 SECTION DETAIL**  
 NOT TO SCALE



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 No. \_\_\_\_\_ Description \_\_\_\_\_ Date \_\_\_\_\_

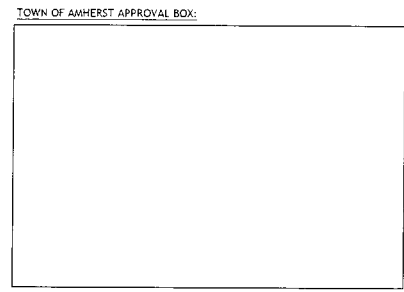


DRAWING NAME:  
**Bio-Retention #1**  
**Plan & Detail**

Date: 03.13.26  
 Drawn By: D. Feyes  
 Scale: As Noted

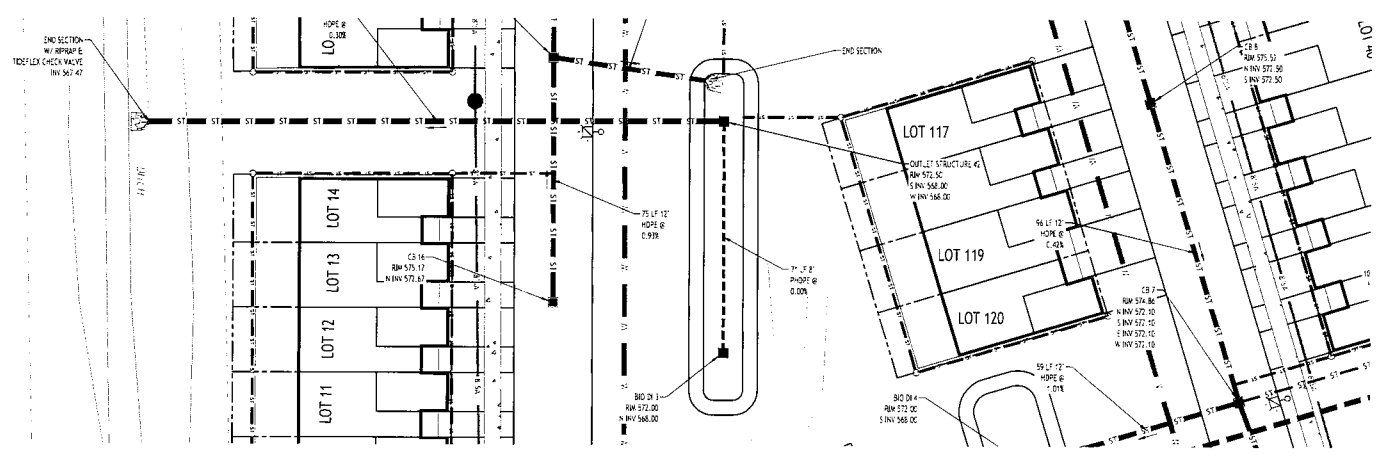
DRAWING NO.  
**C-304**

Project No: 25-4080

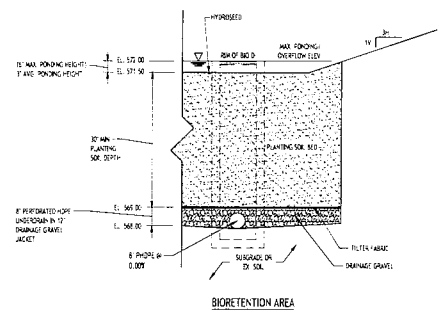


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C. CARMINA WOOD DESIGN



**N BIO-RETENTION #2 PLAN & DETAIL**  
 SCALE: 1"=20'

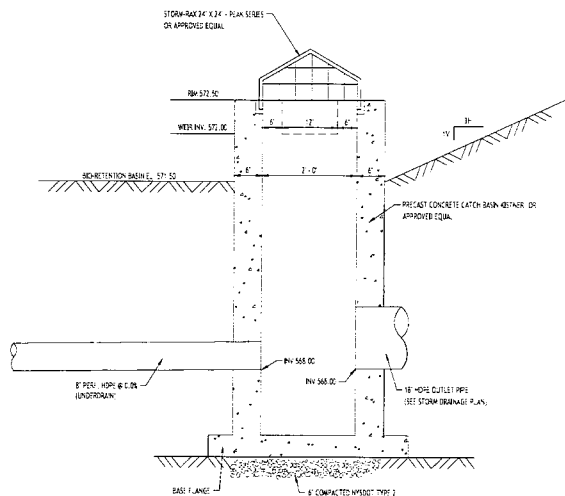


**BIORETENTION AREA #1 - #4 - TYPICAL SECTION**  
NOT TO SCALE

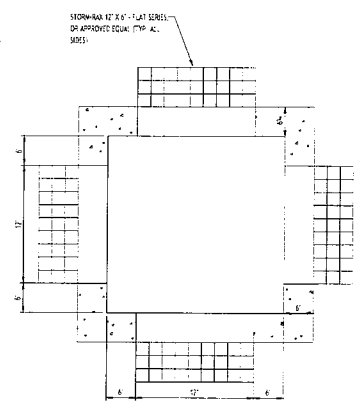
- NOTES:**
1. FILL TO BE LABORED TO MEET HIGHWAY CLASS C, AINAP 160-N OR APPROVED EQUIVALENT
  2. DRAINAGE GRAVEL TO MEET AASHTO M-41, HOSUP 561-D 21 TO 0.25"
  3. CONTRACTOR TO PROVIDE PLANTING SOIL SUBMITTAL SPECIFICATION FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION
- NOTE:** PLANTING SOIL SHALL BE LEAN SAND AND CONTAINING A MINIMUM OF 3% TO 6% SAND BY VOLUME AND LESS THAN 2% CLAY. SOIL SHOULD BE WITHIN 1000' OF A SOURCE WITH THE ABILITY TO BE AT LEAST 6" FEET DEEP. SOIL SHOULD BE FREE FROM STONES, STUMPS, ROOTS OR OTHER WOODY MATERIAL OVER 1" IN DIAMETER. PLACEMENT OF THE PLANTING SOIL SHOULD BE IN LIFTS OF 12" TO 18" LOOSELY COMPACTED.
- COMPLETED SHALL BE:**
- PH NUTRIENT: 5.7-1-00
  - ORGANIC MATTER: 1.5-4.0%
  - PHOSPHORUS: 20.00 PERCENT MAX.
  - POTASSIUM: 75.00 PERCENT MAX.
  - PHOSPHORUS: 20.00 PERCENT MAX.
  - SOIL SALTS: 500 PPM
  - CLAY: 10 TO 20%
  - SILT: 30 TO 60%
  - SAND: 30 TO 60%

**Bioretention area seeding spec (Northeast Wetland Grass Secc Mix):**

Seed Species	Quantity	Percent by No. of Seeds
Creeping Bentgrass	4000	83.0
Hard Fescue	1000	20.0
Redtop	1000	20.0
Annual Ryegrass	4000	83.0
Perennial Ryegrass	4000	83.0

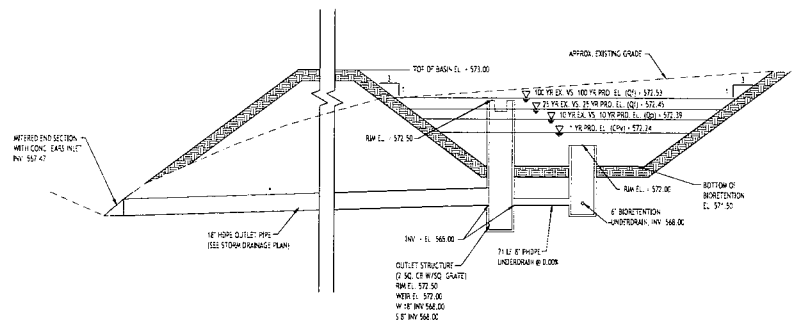


**SECTION VIEW**

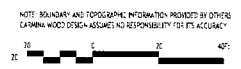


**PLAN VIEW**

**BIO-RETENTION BASIN #2 OUTLET STRUCTURE**  
NOT TO SCALE



**BIO-RETENTION #2 SECTION DETAIL**  
NOT TO SCALE



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**CARMINA WOOD**  
 DESIGN  
 Buffalo | Utica | Greensboro

**Townhomes at Muir Woods**  
 770 John James Audubon Parkway  
 Amherst, New York

REVISIONS: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 By: \_\_\_\_\_



DRAWING NAME:  
**Bio-Retention #2**  
**Plan & Detail**

Date: 03.13.26  
 Drawn By: D. Foyes  
 Scale: As Noted

DRAWING NO.  
**C-305**

Project No: 25-4080

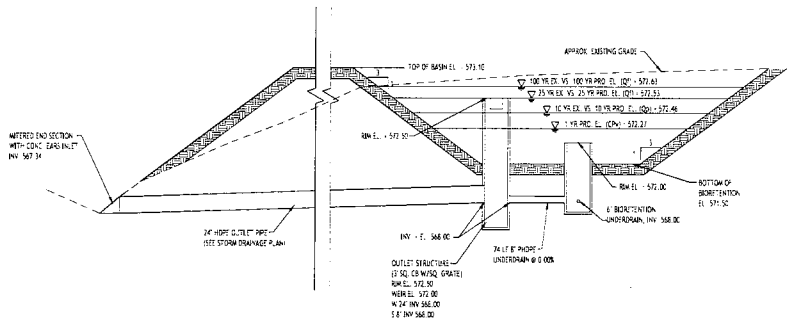
TOWN OF AMHERST APPROVAL BOX:

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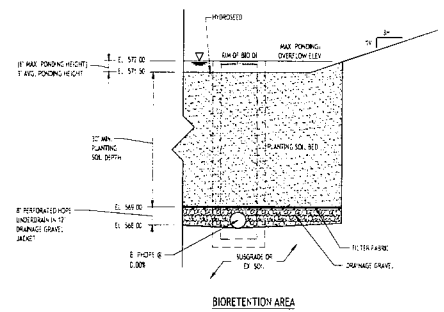
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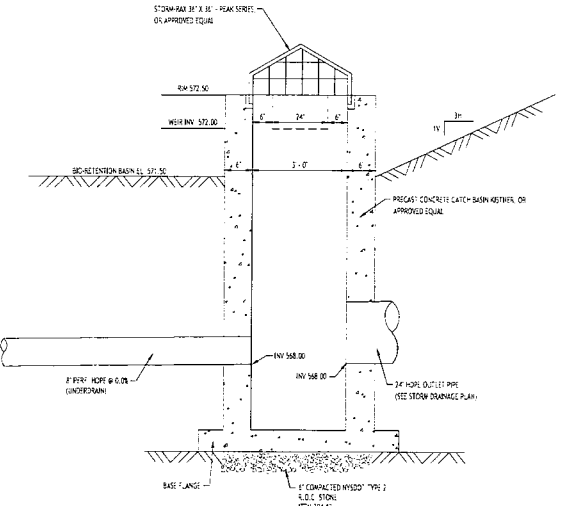
**N BIO-RETENTION #3 PLAN & DETAIL**  
SCALE: 1"=20'



**BIO-RETENTION #3 SECTION DETAIL**  
NOT TO SCALE



**BIORETENTION AREA #1 - #4 - TYPICAL SECTION**  
NOT TO SCALE

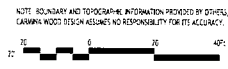


**BIO-RETENTION BASIN #3 OUTLET STRUCTURE**  
NOT TO SCALE

- NOTES:**
1. FILTER FABRIC TO BE NON-WOVEN CLASS C, HEAVY 150# GDS APPROVED EQUIVALENT.
  2. DRAINAGE CANALS TO MEET ASTM D4434, 40# GDS, SIZE 2" X 10" @ 12" ON CENTER.
  3. CONTRACTOR TO PROVIDE PLANTING SOIL, SUBMITTAL FOR APPROVAL FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- NOTE: PLANTING SOIL SHALL BE LOAM/CLAY AND CONTAINING A MINIMUM OF 1% TO 2% SAND BY WEIGHT AND LESS THAN 2% CLAY. SOIL SHOULD BE FREE FROM STONES, STUMPS, ROOTS OR OTHER WOODY MATERIAL, OVER 1" IN DIAMETER. PLACEMENT OF THE PLANTING SOIL SHOULD BE IN LIFT OF 12" TO 14" LOOSELY COMPACTED.**
- CHARACTERISTICS SHALL BE:**  
 PH: 6.0 TO 7.0  
 ORGANIC MATTER: 1.5 - 4.0%  
 MACRO-NUTRIENT: AS PER LOCAL AGRICULTURAL EXTENSION SERVICE  
 CATION EXCHANGE CAPACITY: 15 TO 25  
 SALT: 10 TO 20  
 SAND: 15 TO 40%

Seed Species	Quantity	Reference No. of Seed
Common Bluegrass	Agrostis capillaris	31.0
Smooth Bromegrass	Poa trivialis	11.0
Wheatgrass	Aeluropus pratensis	11.0
Annual Ryegrass	Lolium multiflorum	4.5
Perennial Ryegrass	Panicum dactyloides	4.5

TOWN OF AMHERST APPROVAL BOX:



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770 John James Audubon Parkway  
Amherst, New York

DATE: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_



DRAWING NAME:  
**Bio-Retention #3  
Plan & Detail**

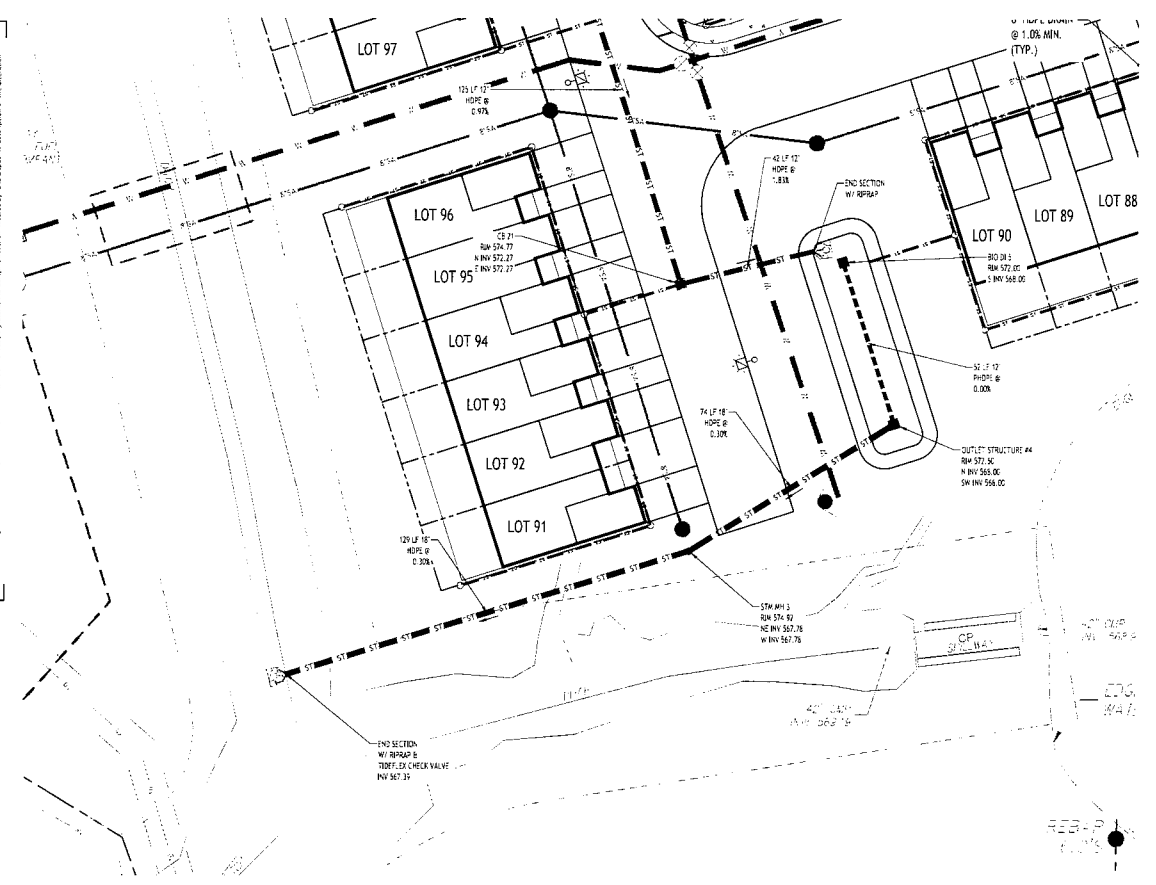
Date: 03.13.26  
 Drawn By: D. Feyer  
 Scale: As Noted

DRAWING NO.  
**C-306**

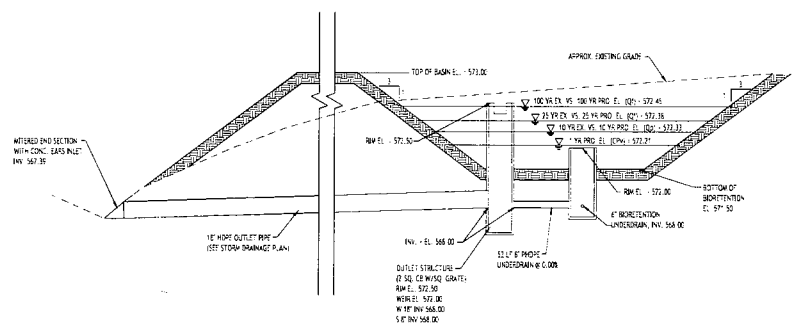
Project No: 25-4080

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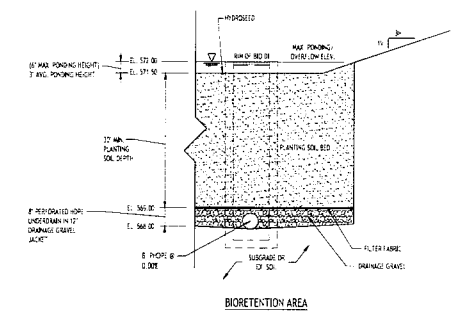
© CARMINA WOOD DESIGN



**N BIO-RETENTION #4 PLAN & DETAIL**  
SCALE: 1"=20'



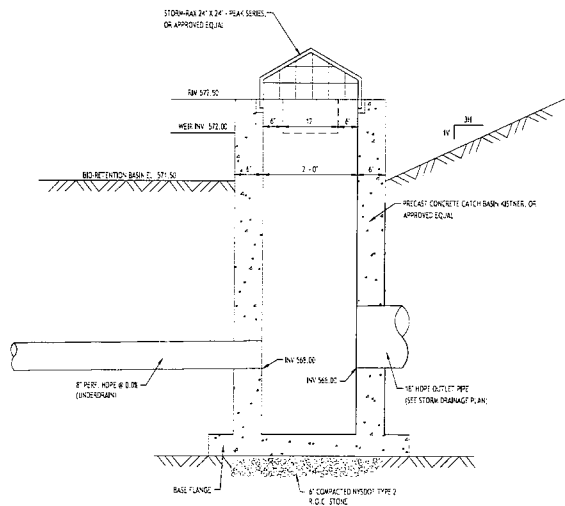
**BIO-RETENTION #4 SECTION DETAIL**  
NOT TO SCALE



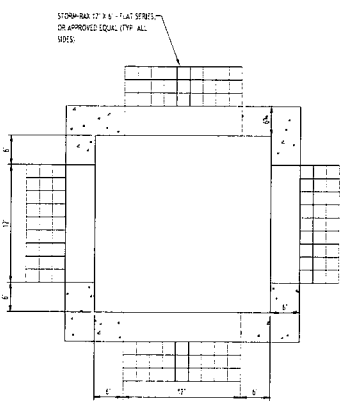
**BIO-RETENTION AREA #1 - #4 - TYPICAL SECTION**  
NOT TO SCALE

**NOTES:**  
 1. FILTER FABRIC TO BE 100% POLYPROPYLENE (NON-WOVEN) CLASS C 100' TENSILE STRENGTH APPROVED EQUIVARIANT.  
 2. DRAINAGE GRAVEL: 1/2" TO 1/4" (ASTM #4) NO. 57, 50% C 27.1% C 7.2%  
 3. CONTRACTOR TO PROVIDE PLANTING SOIL. SUBMITTAL FOR APPROVAL FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.  
 4. PLANTING SOIL: SHALL BE 100% ORGANIC AND CONTAIN A MINIMUM OF 10% TO 20% SAND BY VOLUME AND 25% TO 35% CLAY. SOIL SHOULD FALL WITHIN SPEC TYPE SA OR SA WITH FEASIBLE "TYO" LEAD TO 1/2" PERCENT. SOIL SHOULD BE FREE FROM STONES, TWIGS, ROOTS OR OTHER WOOD MATERIAL OVER 1" IN DIAMETER. PLACEMENT OF THE PLANTING SOIL SHOULD BE IN LIFTS OF 1/2" TO 1" DEEPLY COMPACTED.  
 5. CHARACTERISTICS SHALL BE:  
 ORGANIC MATTER: 1.5 - 4.0%  
 AVAILABLE NITROGEN: 0.05%  
 AVAILABLE PHOSPHORUS: 0.01%  
 AVAILABLE POTASSIUM: 0.10%  
 AVAILABLE SULFUR: 0.01%  
 AVAILABLE ZINC: 0.01%  
 AVAILABLE COPPER: 0.01%  
 AVAILABLE MANGANESE: 0.01%  
 AVAILABLE BORON: 0.01%  
 AVAILABLE MOLYBDENUM: 0.01%  
 AVAILABLE CHLORINE: 0.01%  
 AVAILABLE SILICON: 0.01%  
 AVAILABLE ALUMINUM: 0.01%  
 AVAILABLE IRON: 0.01%  
 AVAILABLE SODIUM: 0.01%  
 AVAILABLE CALCIUM: 0.01%  
 AVAILABLE MAGNESIUM: 0.01%  
 AVAILABLE POTASSIUM: 0.01%  
 AVAILABLE PHOSPHORUS: 0.01%  
 AVAILABLE NITROGEN: 0.01%  
 AVAILABLE SULFUR: 0.01%  
 AVAILABLE ZINC: 0.01%  
 AVAILABLE COPPER: 0.01%  
 AVAILABLE MANGANESE: 0.01%  
 AVAILABLE BORON: 0.01%  
 AVAILABLE MOLYBDENUM: 0.01%  
 AVAILABLE CHLORINE: 0.01%  
 AVAILABLE ALUMINUM: 0.01%  
 AVAILABLE IRON: 0.01%  
 AVAILABLE SODIUM: 0.01%  
 AVAILABLE CALCIUM: 0.01%  
 AVAILABLE MAGNESIUM: 0.01%

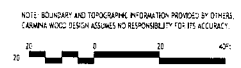
Bio-retention area seeding spec (Northeast Wetland Grass Seed Mix):		
Species	Ratio	Percent by No. of Seeds
Common Broomrape	Agrostis capillaris	10.0
Blue Broomrape	Poa trivialis	10.0
Wetland Grass	Andropogon furcatus	10.0
Blue Broomrape	Lolium multiflorum	10.0
Wetland Grass	Festuca rubra	10.0



**BIO-RETENTION BASIN #4 OUTLET STRUCTURE**  
NOT TO SCALE



**PLAN VIEW**



**CARMINA WOOD DESIGN**  
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770 John James Audubon Parkway  
Amherst, New York

DATE: \_\_\_\_\_  
 BY: \_\_\_\_\_  
 NO. \_\_\_\_\_



DRAWING NAME:  
**Bio-Retention #4 Plan & Detail**

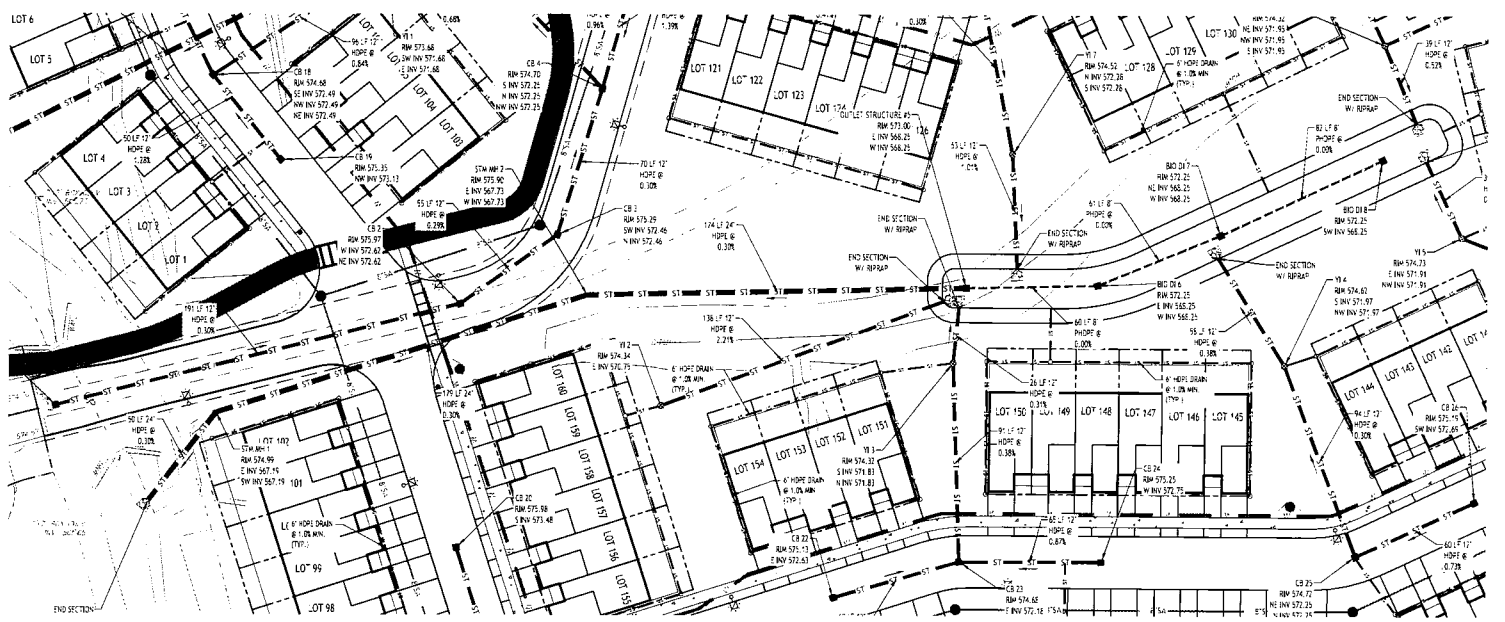
Date: 03.13.24  
 Drawn By: D. Feyes  
 Scale: As Noted

DRAWING NO.  
**C-307**

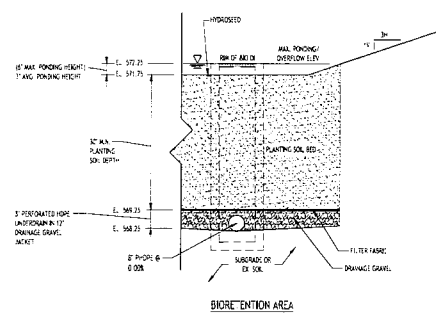
Project No: 25-4080

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**N BIO-RETENTION #5 PLAN & DETAIL**  
SCALE: 1"=30'



**BIORETENTION AREA #5 - TYPICAL SECTION**  
NOT TO SCALE

**NOTES**

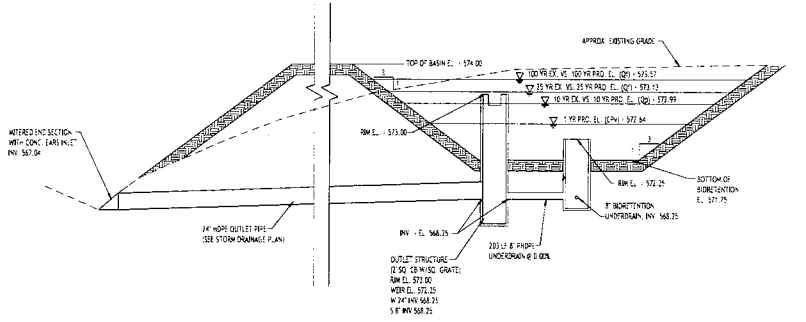
1. FILTER FABRIC TO BE NON-WOVEN CLASS C W/ 100% OPEN AREA
2. DRAINAGE GRAVEL TO MEET ASTM #41. NO. 55. SEE 2.2.2 TO 2.2.7
3. CONTRACTOR TO PROVIDE PLANTING SOIL SUBMITTA, SPECIFICATION FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

NOTE: PLANTING SOIL SHALL BE LOAN SANDS NOT CONTAINING A MINIMUM OF 1% TO 2% SAND BY VOLUME AND LESS THAN 2% CLAY. SOIL SHOULD FALL WITHIN LOESS TYPICAL ON PA WITH PERMEABILITY OF AT LEAST 10 FEET PER DAY. SOIL SHOULD BE FREE FROM TOXICITY, TUMORS, ROOTS OR OTHER HAZARDOUS MATERIAL OVER 1/8" IN DIAMETER. PLACEMENT OF THE PLANTING SOIL SHOULD BE A MINIMUM OF 12" TO 18" LOOSELY COMPACTED.

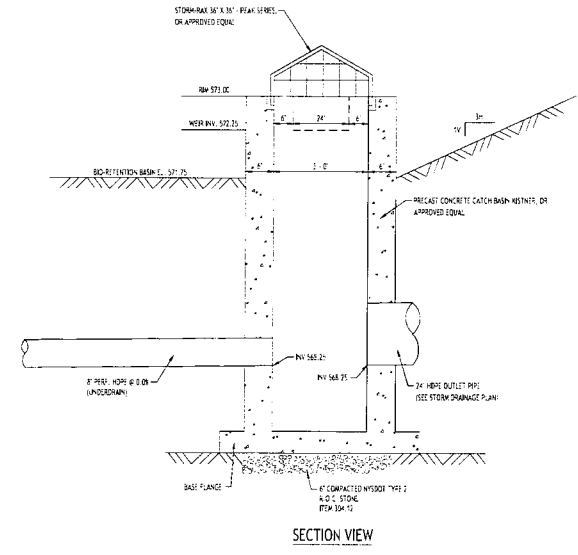
CHARACTERISTICS SHALL BE:  
 PH RANGE: 5.5 TO 6.5  
 ORGANIC MATTER: 1.0 TO 4.0%  
 AVAILABLE N: 30.0 TO 45.0 PPM  
 AVAILABLE P: 10.0 TO 15.0 PPM  
 AVAILABLE K: 100 TO 200 PPM  
 CLAY: 10 TO 20%  
 S&: 10 TO 20%  
 SAND: 70 TO 80%

**Bio-retention area seeding spec (Northeast Wetland Grass Seed Mix):**

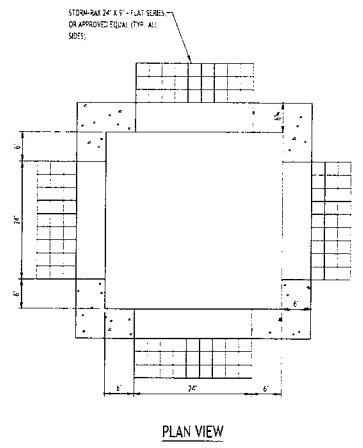
Seed Mixture	Values	Percent by Volume
Common Berberis	Agrimonia	3.0
Red-top	Polypogon	10.0
Red-top	Alopecurus	11.0
Red-top	Lolium	4.0
Red-top	Panicum	4.0



**BIO-RETENTION #5 SECTION DETAIL**  
NOT TO SCALE



**SECTION VIEW**



**PLAN VIEW**

**BIO-RETENTION BASIN #5 OUTLET STRUCTURE**  
NOT TO SCALE

TOWN OF AMHERST APPROVAL BOX:

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

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**Townhomes at Muir Woods**  
770 John James Audubon Parkway  
Amherst, New York

DATE	
DESCRIPTION	



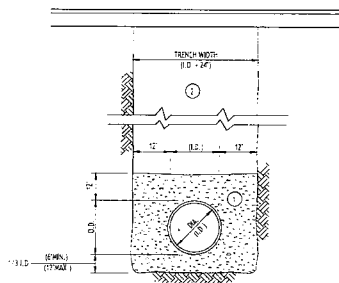
DRAWING NAME:  
**Bio-Retention #5  
Plan & Detail**

Date: 03.13.24  
 Drawn By: D. Foyes  
 Scale: As Noted

DRAWING NO.  
**C-308**

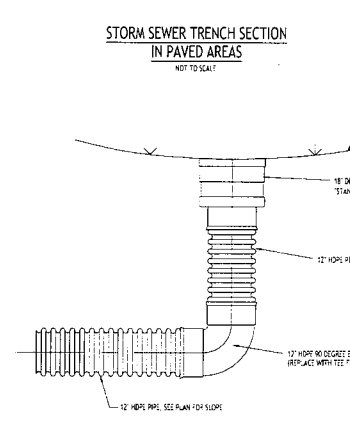
Project No: 25-4080

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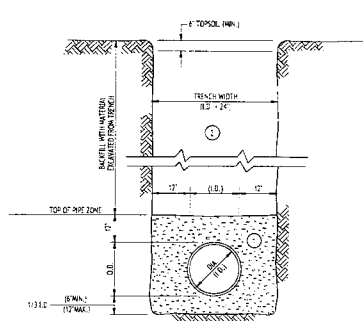


NOTES:  
 A. PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.  
 B. TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.  
 C. TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY UNITS.  
 D. AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHIELDED TRENCH AREAS.

- MATERIALS**
- PIPE BEDDING MATERIAL: HYSDOT, 1985 EDITION
- 1. NO. 1 CRUSHED STONE OR CRUSHED GRAVEL, WITH A GRADATION CONFORMING WITH HYSDOT SECTION 703.40. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE (1) INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 4" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
  - 2. NO SLAG SHALL BE ALLOWED FOR MATERIAL.
  - 3. TYPE 2 CRUSHED STONE OR CRUSHED GRAVEL, WITH A GRADATION CONFORMING WITH HYSDOT SECTION 703.42.02. TYPE 1 THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN TWO (2) INCHES AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 4" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
  - 4. NO SLAG SHALL BE ALLOWED FOR MATERIAL.

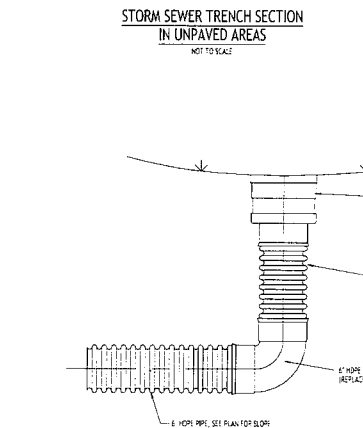


**TYPICAL YARD INLET DETAIL**  
NOT TO SCALE

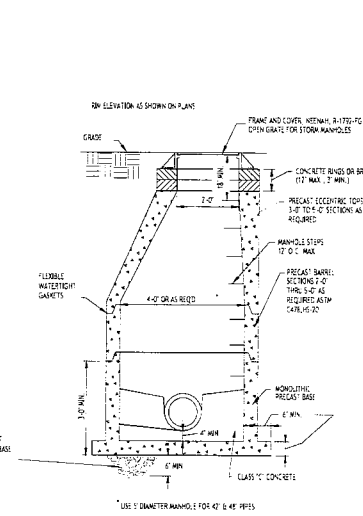


NOTES:  
 A. PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.  
 B. TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.  
 C. TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY UNITS.  
 D. AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHIELDED TRENCH AREAS.

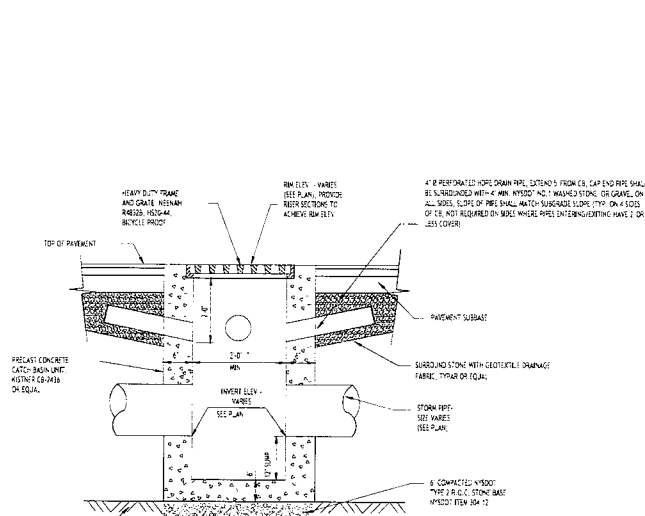
- MATERIALS**
- PIPE BEDDING MATERIAL: HYSDOT, 1985 EDITION
- 1. NO. 1 CRUSHED STONE OR CRUSHED GRAVEL, WITH A GRADATION CONFORMING WITH HYSDOT SECTION 703.40. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE (1) INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 4" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
  - 2. NO SLAG SHALL BE ALLOWED FOR MATERIAL.
  - 3. TYPE 2 CRUSHED STONE OR CRUSHED GRAVEL, WITH A GRADATION CONFORMING WITH HYSDOT SECTION 703.42.02. TYPE 1 THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN TWO (2) INCHES AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 4" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
  - 4. NO SLAG SHALL BE ALLOWED FOR MATERIAL.



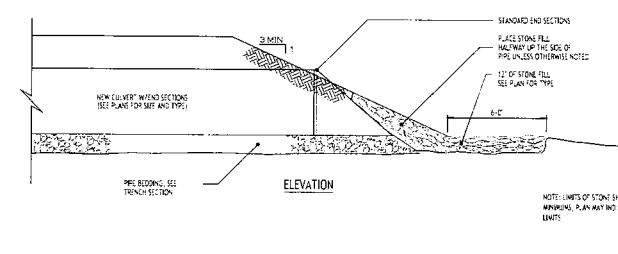
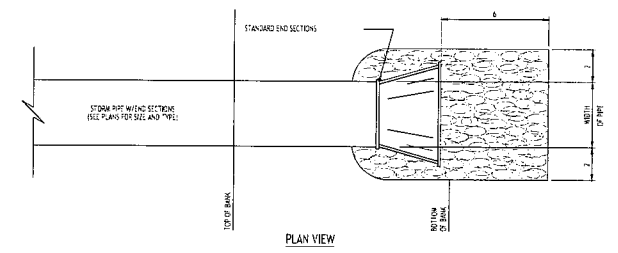
**TYPICAL YARD DRAIN DETAIL**  
NOT TO SCALE



**TYPICAL STORM MANHOLE DETAIL**  
NOT TO SCALE



**TYPICAL PRECAST CATCH BASIN**  
NOT TO SCALE



**TYPICAL PIPE OUTLET W/ END SECTION & RIP RAP**  
NOT TO SCALE

TOWN OF AMHERST APPROVAL BOX:

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**Townhomes at Muir Woods**  
770 John James Audubon Parkway  
Amherst, New York

REVISIONS:	Date
No. Description	



DRAWING NAME:  
Storm  
Drainage Details

Date: 03.13.24  
 Drawn By: D. Feyes  
 Scale: As Noted

DRAWING NO.  
**C-309**

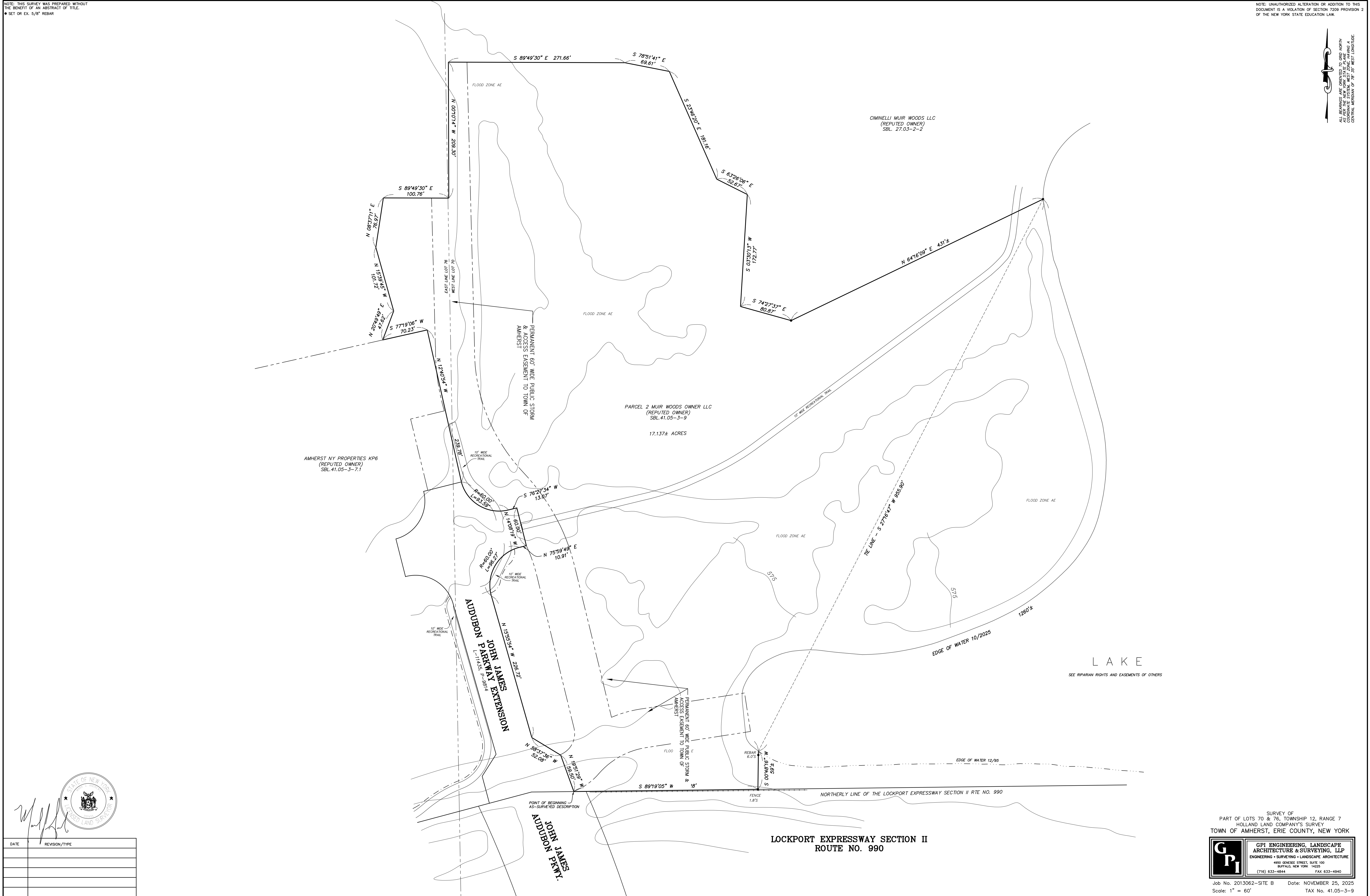
Project No: 25-4080

# **EXHIBIT B**

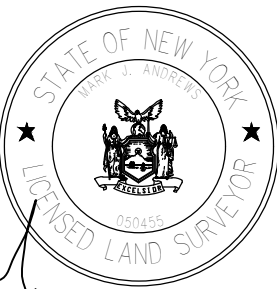
NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE.  
 SET OR EX. 5/8" REBAR

NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209 PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

ALL BEARINGS ARE ORIENTED TO GRID NORTH  
 COORDINATE SYSTEM: NAD 83  
 CENTRAL MERIDIAN OF 79° 55' WEST LONGITUDE



DATE	REVISION/TYPE



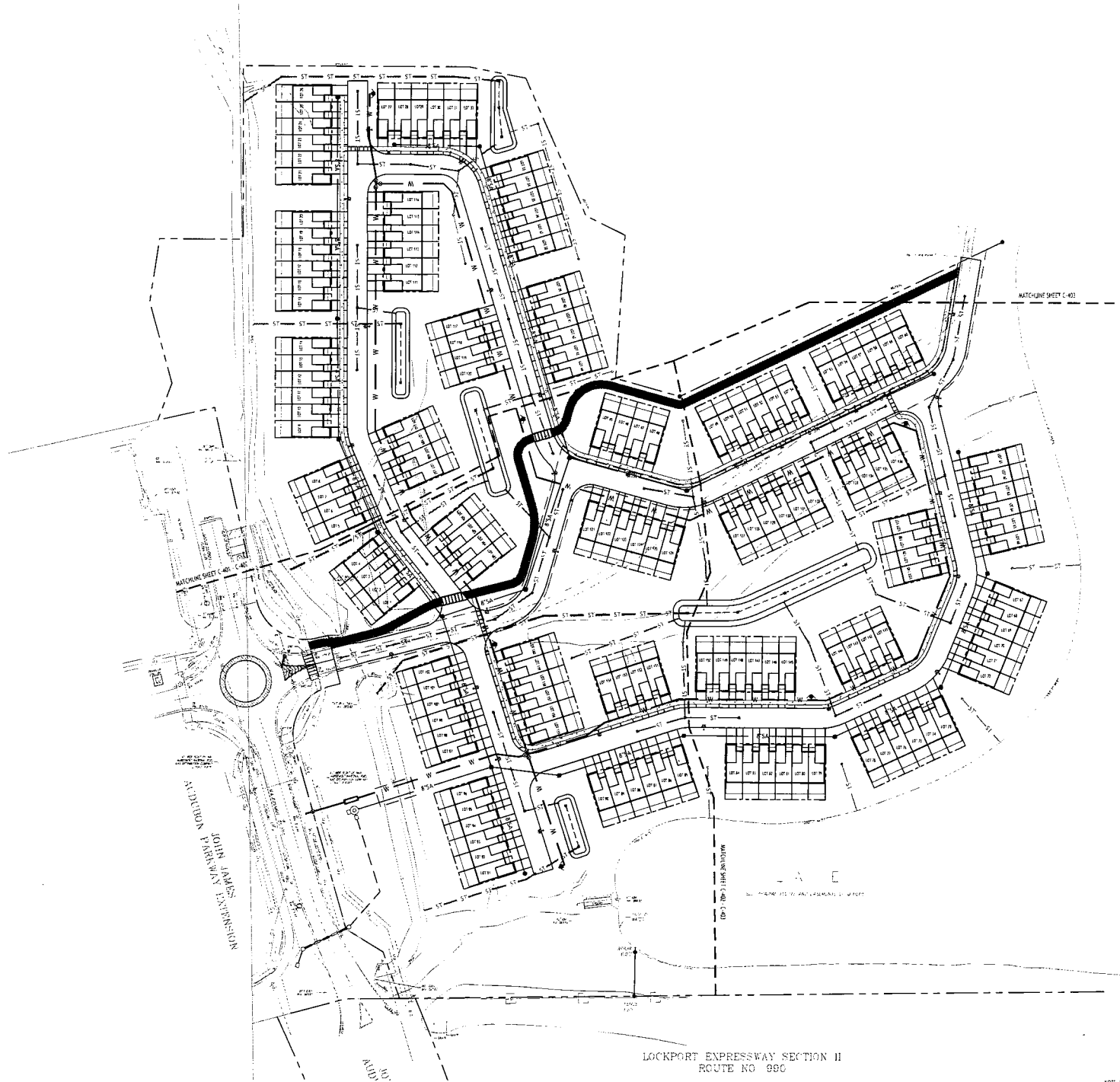
SURVEY OF  
 PART OF LOTS 70 & 76, TOWNSHIP 12, RANGE 7  
 HOLLAND LAND COMPANY'S SURVEY  
 TOWN OF AMHERST, ERIE COUNTY, NEW YORK

**GPI** ENGINEERING, LANDSCAPE ARCHITECTURE & SURVEYING, LLP  
 ENGINEERING • SURVEYING • LANDSCAPE ARCHITECTURE  
 4950 GENESEE STREET, SUITE 100  
 BUFFALO, NEW YORK 14225  
 (716) 633-6844 FAX 633-6840

Job No. 2013062-SITE B Date: NOVEMBER 25, 2025  
 Scale: 1" = 60' TAX No. 41.05-3-9

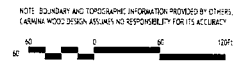
# **EXHIBIT C**

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LOCKPORT EXPRESSWAY SECTION II  
ROUTE NO 99C

**Overall Utility Plan**  
SCALE: 1"=40'



NOTE: ELEVATION AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

- UTILITY NOTES:**
1. ALL SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE TOWN OF AMHERST SPECIFICATIONS AND DETAILS, AND THE COUNTY DEPARTMENT OF HEALTH RULES AND REGULATIONS.
  2. PRIOR STARTING ANY WORK ASSOCIATED WITH OR NEAR EXISTING SANITARY MAINS, THE CONTRACTOR SHALL MEET WITH THE TOWN OF AMHERST TO DISCUSS AND AGREE TO THE WORK.
  3. PIPES SHALL BE PLACED AND SATISFACTION BY COMPACTED PRIOR TO INSTALLATION OF UTILITIES, AND MUST BE APPROVED BY THE SUPERVISING PROJECT ENGINEER.
  4. ALL SANITARY SEWER IS TO CONSTRUCTION IS TO CONFORM TO TOWN OF AMHERST SEWER DISTRICT RULES AND REGULATIONS.
  5. ALL OTHER REQUIRED PERMITS BY THE STATE OF NEW YORK COUNTY OF ESSEX AND TOWN OF AMHERST ARE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER.
  6. COORDINATE GAS & ELEC. METER BANK LOCATIONS ON BUILDINGS WITH W.E.P. PLANS & UTILITY CO'S.
  7. COORDINATE LOCATION OF CITY & TELEPHONE SERVICE TO BUILDINGS WITH W.E.P. PLANS AND UTILITY CO'S.
  8. A MINIMUM OF 10 FEET HORIZONTAL AND 18 INCHES OF VERTICAL SEPARATION MUST BE MAINTAINED BETWEEN ALL SANITARY SEWER AND WATER SERVICES.

**PROPOSED UTILITY LEGEND**

PROPOSED STORM SEWER	— S' —
PROPOSED SANITARY SEWER	— S' SA —
PROPOSED WATER LINE	— W' —
PROPOSED CATCH BASIN	■ CB
PROPOSED YARD DRAIN OR INLET	⊙ YD OR VI
PROPOSED MANHOLE	● MH
PROPOSED HYDRANT ASSEMBLY	⊙ H
PROPOSED GATE VALVE	⊙ GV

NOTE: FOR PROPOSED MAIN BOXES, CLEANOUTS, ETC., INSTALL A 3,000 PSI CONCRETE COLLAR AROUND THE ITEM AT GRADE. THE COLLAR SHALL BE A MINIMUM OF 8" WIDER, ON ALL SIDES, THAN THE BOX, CLEANOUT, ETC. THE COLLAR SHALL BE A MINIMUM OF 6" THICK.

TOWN OF AMHERST APPROVAL BOX:

**Townhomes at Muir Woods**  
770 John James Audubon Parkway  
Amherst, New York

REVISIONS:	Date:
No. Description	

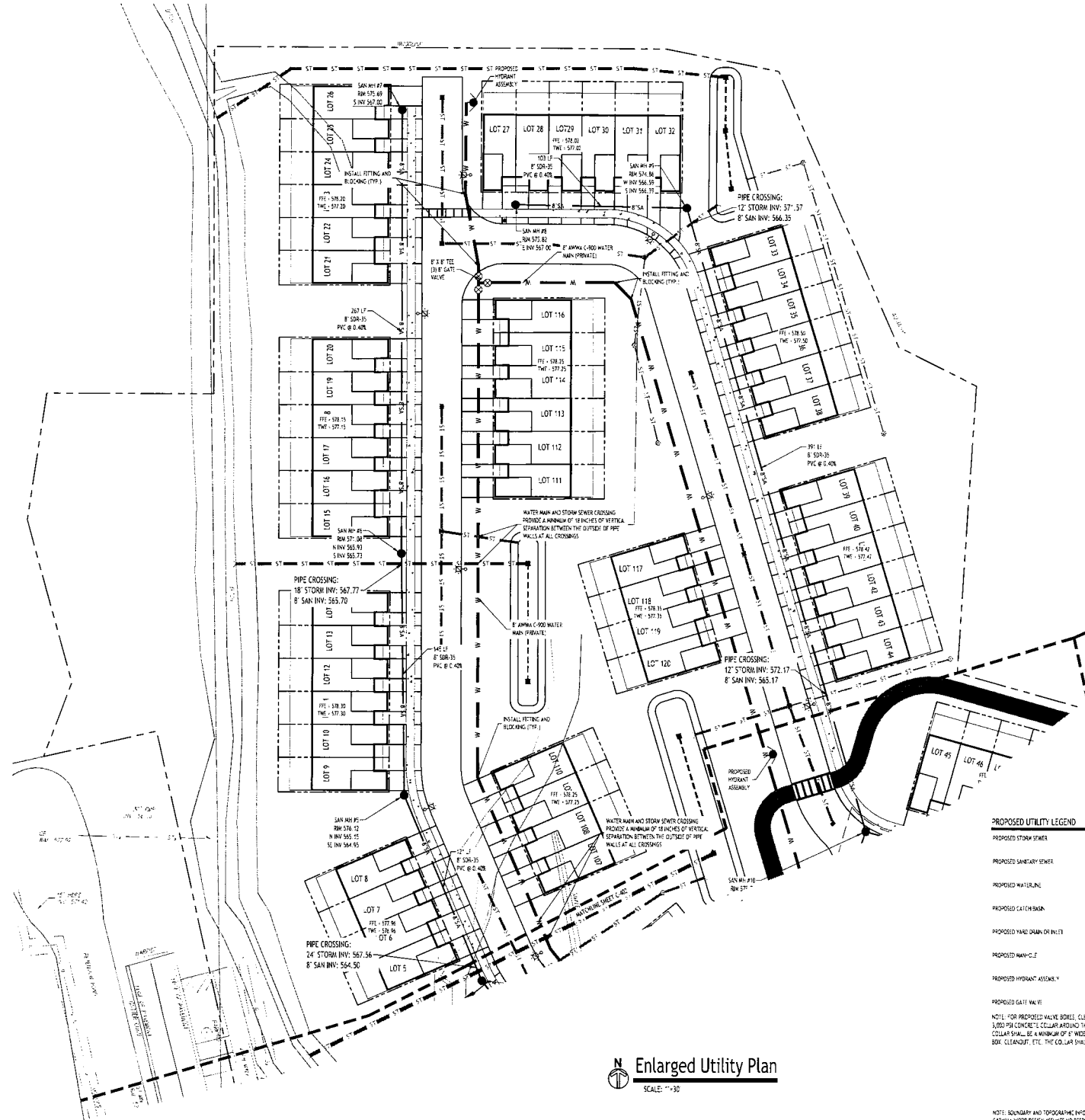


DRAWING NAME:  
**Overall Utility Plan**

Date: 03.13.24  
Drawn By: D. Fayer  
Scale: As Noted

DRAWING NO.  
**C-400**  
Project No: 25-4080

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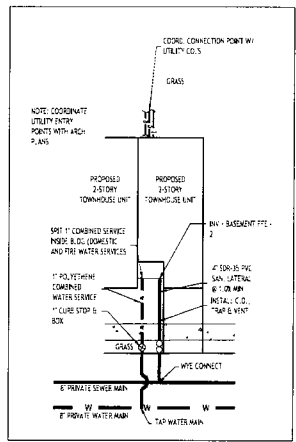
**Enlarged Utility Plan**  
SCALE: 1"=30'

**PROPOSED UTILITY LEGEND**

PROPOSED STORM SEWER	— ST —
PROPOSED SANITARY SEWER	— S —
PROPOSED WATERLINE	— W —
PROPOSED CATCH BASIN	■ CB
PROPOSED YARD DRAIN OR INLET	⊗ YD OR VI
PROPOSED MANHOLE	● MH
PROPOSED HYDRANT ASSEMBLY	⊙
PROPOSED GATE VALVE	⊕ GV

NOTE: FOR PROPOSED VALVE BOXES, CLEANOUTS, ETC., INSTALL A 3,000 PSI CONCRETE COLLAR AROUND THE ITEM AT GRADE. THE COLLAR SHALL BE A MINIMUM OF 8" WIDE, OR ALL SIDES, THAN THE BOX, CLEANOUT, ETC. THE COLLAR SHALL BE A MINIMUM OF 6" THICK.

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



**TYP. TOWNHOUSE UTILITY LAYOUT**  
SCALE: 1"=20'

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

- UTILITY NOTES:**
- ALL SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE TOWN OF AMHERST SPECIFICATIONS AND DETAILS, AND ESSEX COUNTY DEPARTMENT OF HEALTH RULES AND REGULATIONS.
  - PRIOR TO STARTING ANY WORK ASSOCIATED WITH OR NEAR EXISTING SANITARY MAINS, THE CONTRACTOR SHALL MEET WITH THE TOWN OF AMHERST TO OBTAIN AND AGREE TO THE WORK.
  - UTILITIES SHALL BE PLACED AND SATISFACTORILY CONNECTED PRIOR TO INSTALLATION OF UTILITIES AND MUST BE APPROVED BY THE SUPERVISING PROJECT ENGINEER.
  - ALL SANITARY SEWER CONSTRUCTION IS TO CONFORM TO TOWN OF AMHERST "SEWER BODIES" RULES AND REGULATIONS.
  - ALL OTHER REQUIRED PERMITS BY THE STATE OF NEW YORK, COUNTY OF ESSEX AND TOWN OF AMHERST ARE THE RESPONSIBILITY OF THE CONTRACTOR/PROFESSIONAL.
  - COORDINATE GAS & ELEC. WATER MAIN LOCATIONS ON BUILDINGS WITH A.P. PLANS & UTILITY CO.'S.
  - COORDINATE LOCATION OF CTV & TELEPHONE SERVICE TO BUILDINGS WITH A.P. PLANS AND UTILITY CO.'S.
  - A MINIMUM OF 10 FEET HORIZONTAL AND 18 INCHES OF VERTICAL SEPARATION MUST BE MAINTAINED BETWEEN ALL SANITARY SEWER AND WATER SERVICES.

TOWN OF AMHERST APPROVAL BOX:

REVISIONS:	DATE:
No. Description	



DRAWING NAME:  
**Enlarged Utility Plan**

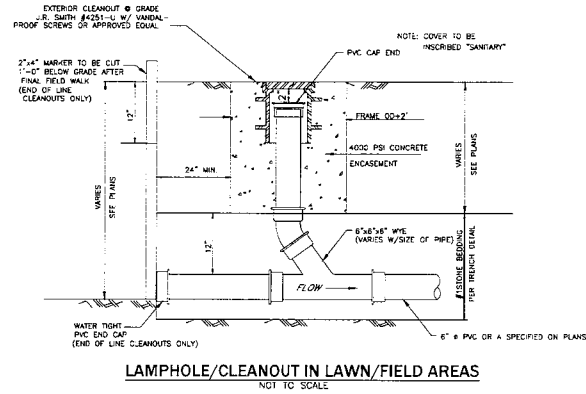
Date: 03.13.24  
Drawn By: D. Feyes  
Scale: As Noted

DRAWING NO.  
**C-401**  
Project No.: 25-4080

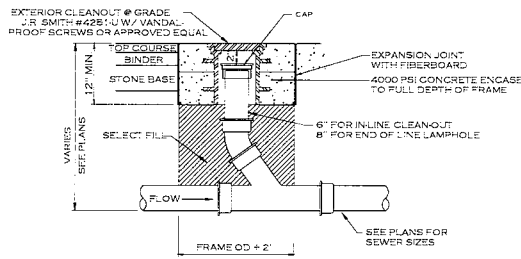




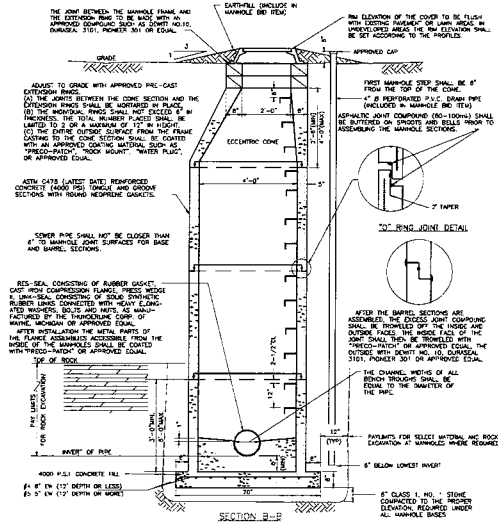
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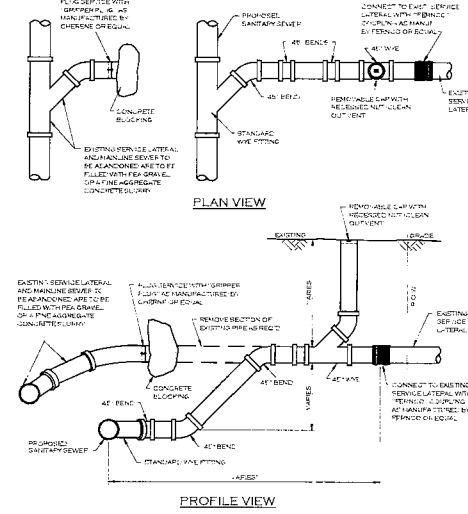
Lamphole/Cleanout in Lawn/Field Areas  
NOT TO SCALE



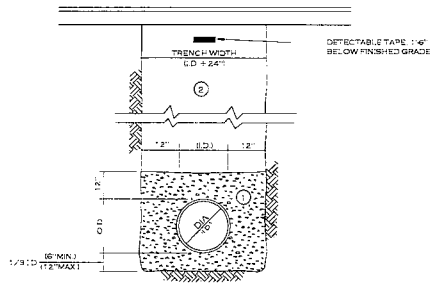
Lamphole/Cleanout in Pavement/Sidewalk  
NOT TO SCALE



MONOLITHIC, PRECAST BASE, MANHOLES  
4'-0" MANHOLE BASE FOR 16" Ø SEWERS OR LESS



TYPICAL HOUSE CONNECTION/ABANDONMENT DETAIL



- NOTES
- A PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS
  - B TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY Dewatering
  - C TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS
  - D AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS

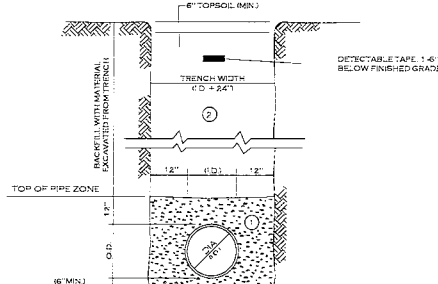
**MATERIALS**

**PIPE BEDDING MATERIAL (INVERT) TYPE 1BBS EDITION**

- 1 NO. 1 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYSDOT SECTION 709.02 THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER
- 2 TYPE 2 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYSDOT SECTION 709.02 TYPE 2 THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN TWO INCHES AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER

NO SLAG SHALL BE ALLOWED FOR MATERIAL 2

UTILITY TRENCH SECTION  
IN PAVED AREAS



- NOTES
- A PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS
  - B TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY Dewatering
  - C TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS
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- 2 BACKFILL MATERIAL SHALL BE NATIVE SOIL CONTAINING NO UNSUITABLE MATERIAL COMPACTED IN 6" LIFTS

UTILITY TRENCH SECTION  
IN UNPAVED AREAS

TOWN OF AMHERST APPROVAL BOX:



DRAWING NAME:  
Sanitary Sewer  
Details

Date: 03.13.26  
Drawn By: D. Feyer  
Scale: As Noted

DRAWING NO.

**C-404**

Project No: 25-4080

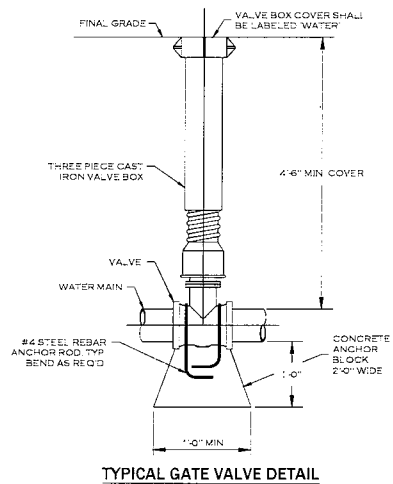
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Townhomes at Muir Woods  
770 John James Audubon Parkway  
Amherst, New York

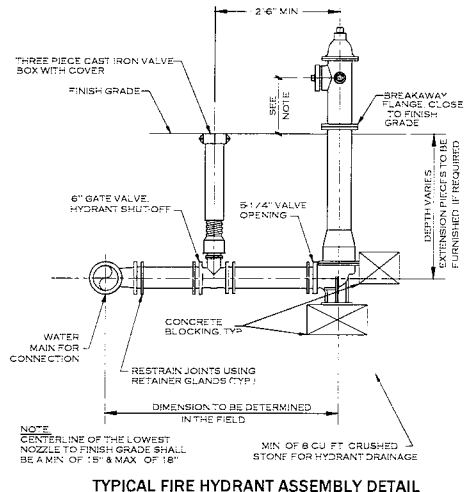


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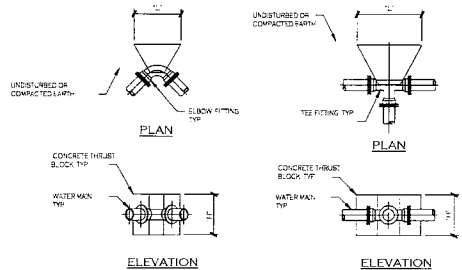
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TYPICAL GATE VALVE DETAIL



TYPICAL FIRE HYDRANT ASSEMBLY DETAIL



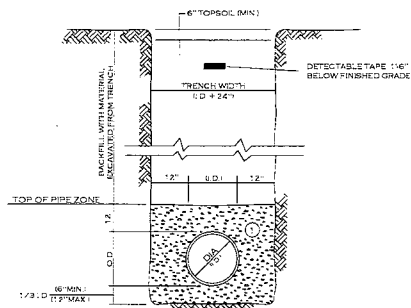
DIMENSION SCHEDULE

PIPE SIZE	TEE OR TAP SLEEVE
4"	1.5' 1.0'
6"	1.5' 2.5'
8"	1.5' 3.5'
10"	2.5' 3.5'
12"	3.5' 3.5'

DIMENSION SCHEDULE

PIPE SIZE	90° ELBOW	45° ELBOW	22.5° ELBOW	1.25' ELBOW
4"	1.5'	2.0'	1.0'	1.0'
6"	2.0'	2.5'	1.5'	1.0'
8"	2.5'	3.5'	2.0'	1.5'
10"	3.0'	4.5'	2.5'	3.0'
12"	3.5'	5.0'	3.0'	2.5'

THRUST BLOCK SCHEDULE

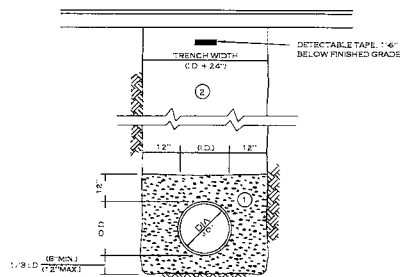


- NOTES
- PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS
  - TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING
  - TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS
  - AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS

MATERIALS

- PIPE BEDDING MATERIAL (NYS DOT LATEST EDITION)
- NO. 1 CRUSHED STONE WITH A GRADATION CONFORMING WITH NYS DOT SECTION 70302. THE CRUSHED STONE SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN 1" AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER
  - NO. 2 RUN OF CRUSHER STONE OR NO. 2 RUN OF CRUSHER GRAVEL WITH A GRADATION CONFORMING WITH NYS DOT SECTION 3042.02 TYPE 4 AND NYS DOT SECTION 70302. (COMPACTED IN 6" LIFTS TO 90% DENSITY) SHALL NOT BE ALLOWED FOR MATERIALS 1 AND 2

UTILITY TRENCH SECTION IN UNPAVED AREAS

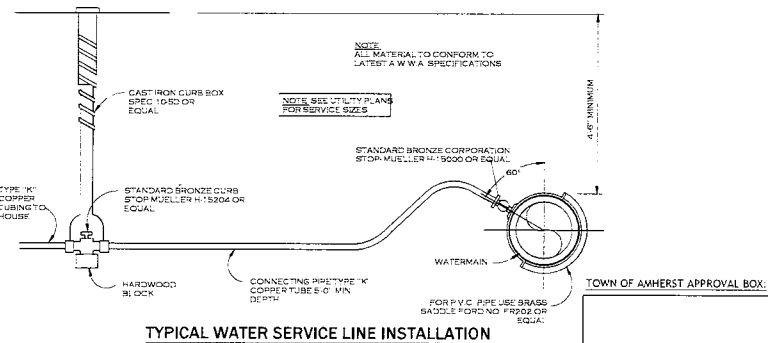


- NOTES
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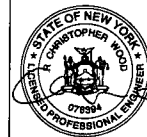
UTILITY TRENCH SECTION IN PAVED AREAS



TYPICAL WATER SERVICE LINE INSTALLATION

REVISIONS:

No.	Description	Date



DRAWING NAME:  
Water Details

Date: 03.13.26  
Drawn By: D. Foyes  
Scale: As noted

DRAWING NO.

C-406

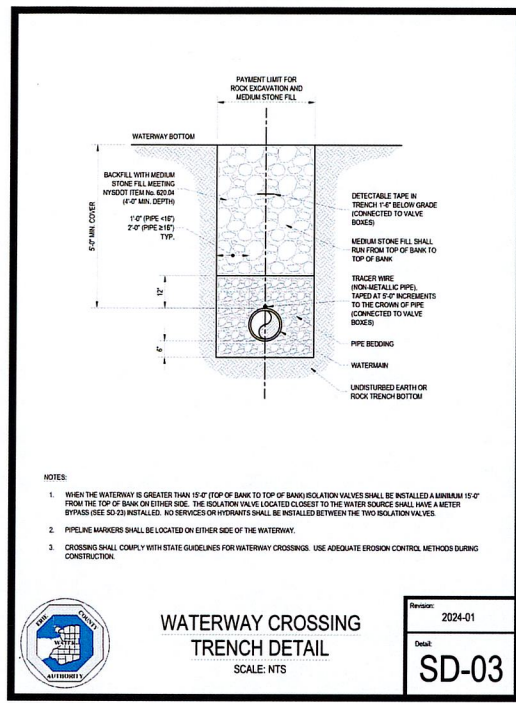
Project No: 25-4080

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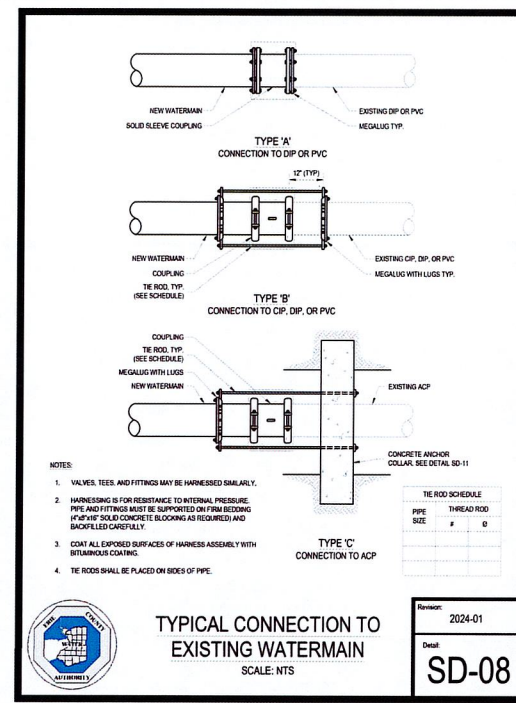
Townhomes at Muir Woods  
770 John James Audubon Parkway  
Amherst, New York

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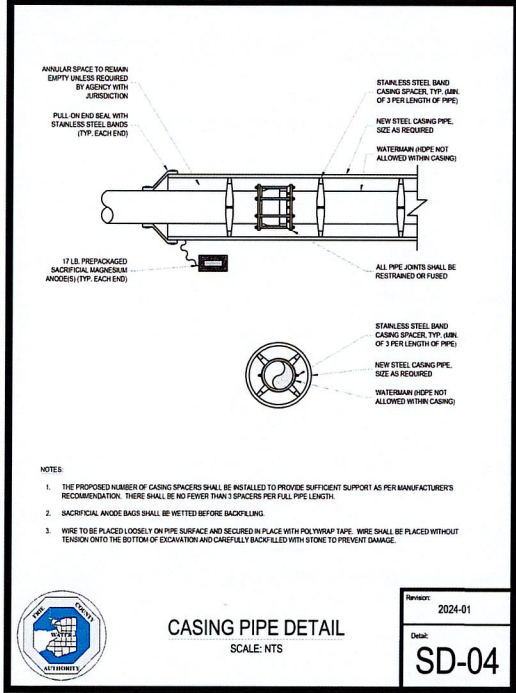
**WATERWAY CROSSING TRENCH DETAIL**  
SCALE: NTS

Revision: 2024-01  
Detail: **SD-03**



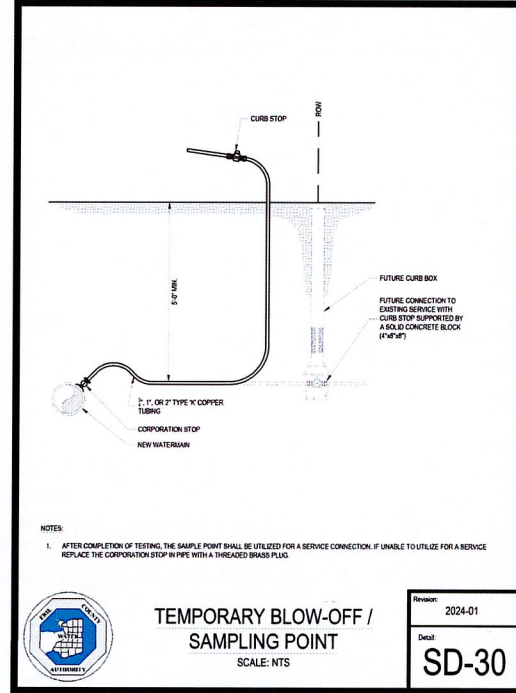
**TYPICAL CONNECTION TO EXISTING WATERMAIN**  
SCALE: NTS

Revision: 2024-01  
Detail: **SD-08**



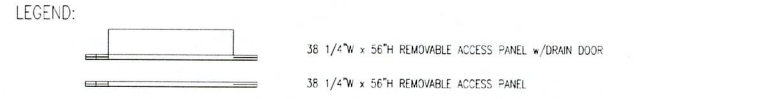
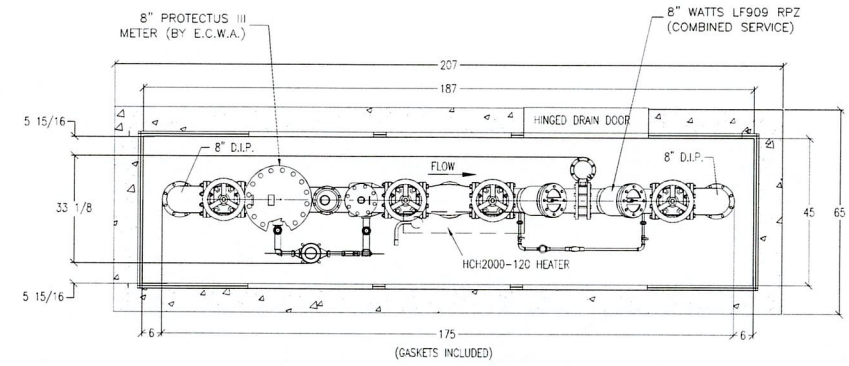
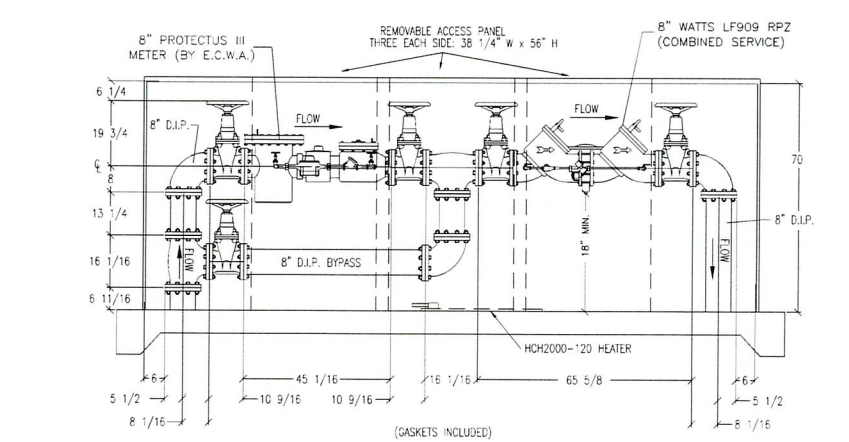
**CASING PIPE DETAIL**  
SCALE: NTS

Revision: 2024-01  
Detail: **SD-04**



**TEMPORARY BLOW-OFF / SAMPLING POINT**  
SCALE: NTS

Revision: 2024-01  
Detail: **SD-30**



**8" METER & RPZ INSULATED ENCLOSURE**  
N. T. S.

- NOTES:
- BACKFLOW PREVENTER DIMENSIONS FURNISHED BY WATTS.
  - ALL DIMENSIONS ARE IN INCHES.
  - WALL & INSULATION THICKNESS IS 1-1/2".
  - ROOF & INSULATION THICKNESS IS 3".
  - ENCLOSURE SHOWN IS SAFE-T-COVER MODEL 1000TS-ALC98-5.
  - EXTERIOR ENCLOSURE DIMENSIONS: 45"W x 187"L x 70" H.
  - CONCRETE PAD IS 65"W x 207"L x 6" THK W/W.F.F. 6X6/10X10.
  - METER SHOWN: 8" PROTECTUS III, SPOOL PIECE & METER SUPPLIED BY ERIE COUNTY WATER AUTHORITY, VERIFY DIMENSIONS PRIOR TO ORDERING.
  - RPZ SHOWN: 8" WATTS LF909 (COMBINED SERVICE).
  - CONTRACTOR TO INSTALL ELECTRIC SERVICE TO ENCLOSURE, COORDINATE SOURCE WITH OWNER.
  - INSTALL A 120V GFI OUTLET IN THE ENCLOSURE.
  - HEATERS TO HAVE THERMOSTAT CONTROL.

TOWN OF AMHERST APPROVAL BOX:

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Buffalo | Utica | Greensboro

**Townhomes at Muir Woods**  
770 John James Audubon Parkway  
Amherst, New York

REVISIONS:

No.	Description	Date



DRAWING NAME:  
**Water Details**

Date: 03.13.24  
Drawn By: D. Feyes  
Scale: As Noted

DRAWING NO.: **C-407**

Project No: 25-4080

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CARMIN WOOD DESIGN

3.03 AIR TESTS, INSPECTION AND INFILTRATION OR EXFILTRATION REQUIREMENTS

A. REQUIREMENTS

1 AFTER BACKFILLING AND PRIOR TO THE FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR WILL BE REQUIRED TO PERFORM THE FOLLOWING FOUR TESTS ON ALL SEWERS TO BE BUILT UNDER THIS PROJECT:

- A. AIR TESTS
- B. INSPECTION (LAMPING & INTERNAL)
- C. INFILTRATION OR EXFILTRATION
- D. DEFLECTION TEST (1" DIA. AND SMALLER)

2 NO MORE THAN 1,000 LINEAR FEET OF INSTALLED SEWER SHALL BE INSTALLED PRIOR TO TESTING

3 IN VIEW OF THE FACT THAT HOUSE LATERALS AND RISER PIPES OFTEN CONTRIBUTE CONSIDERABLE INFILTRATION, SUCH LATERALS AND RISER PIPES TO BE INSTALLED AND CAPPED, TIED AND BLOCKED AS THE WORK PROGRESSES AND PRIOR TO THE AIR TESTING OF THE LINES

4 THE CONTRACTOR'S TESTING PROCEDURES SHALL BE COMPLETED IN ACCORDANCE WITH OSHA STANDARDS FOR CONFINED SPACE ENTRY. THE CONTRACTOR WILL BE REQUIRED TO PROVIDE AND OPERATE ALL EQUIPMENT NECESSARY FOR FULL COMPLIANCE. EQUIPMENT SUCH AS GAS DETECTORS, SAFETY HARNESSES, VENTILATING BLOWERS, RESPIRATORS ETC. SHALL BE PROVIDED BY THE CONTRACTOR

5 AIR TESTS (REQUIRED FOR ALL DIA. UP TO AND INCLUDING 36")

1 THIS TEST SHALL BE PERFORMED NO EARLIER THAN 14 CALENDAR DAYS AFTER THE TRENCHES ARE BACKFILLED

2 THE PROCEDURES FOR AIR TESTING SHALL BE AS SPECIFIED HEREIN AND AS ORDERED BY THE ENGINEER. THE MINIMUM ALLOWABLE TIME FOR THE TEST PRESSURE TO DECREASE FROM 3.5 PS TO 3.0 PS SHALL BE NOT LESS THAN AS CALLED FOR IN THE FOLLOWING TABLE:

PIPE DIAMETER	MINIMUM ACCEPTABLE TIMES FOR LEAKS (DOWN INCHES)				
	UP TO 100'	100 TO 200'	200 TO 300'	300 TO 500'	500 TO 1000'
6"	2:50	2:50	2:50	2:50	2:51
8"	3:47	3:47	3:46	3:46	3:46
10"	4:43	4:43	4:39	4:39	4:39
12"	5:40	5:42	5:33	5:33	5:33
14"	6:36	7:50	7:45	7:45	7:45
16"	7:32	8:54	8:21	8:21	8:21
18"	8:30	10:30	10:18	10:18	10:18
20"	9:27	15:54	15:52	15:52	15:52
24"	11:24	22:48	22:11	22:11	22:11
27"	14:25	28:51	28:11	28:11	28:11
30"	17:48	35:37	35:25	35:25	35:25
33"	21:33	43:96	43:39	43:39	43:39
36"	25:39	51:17	51:55	51:55	51:55

3 PIPE LINES IN SIZES UP TO 36 INCHES IN DIAMETER CAN BE AIR TESTED FROM MANHOLE TO MANHOLE. FOR DISTANCES NOT TO EXCEED 500 FEET

4 IN WET TRENCHES WHERE PUMPING TO LOWER THE WATER TABLE IS IMPRACTICAL, APPROVED PERFORATED PIPE WITH APPROVED CAPS SHALL BE PLACED AT EACH MANHOLE TO EXTEND FROM A POINT 6 INCHES BELOW THE LOWEST INLET TO THE TOP OF THE GROUND. GROUND WATER ELEVATIONS WILL BE MEASURED AT EACH MANHOLE IN ORDER TO CALCULATE THE GROUND WATER PRESSURE ACTING ON THE PIPE EXTERIOR. THE INITIAL AIR TEST PRESSURE SHALL BE INCREASED AS NECESSARY TO OVERCOME THE CALCULATED GROUND WATER PRESSURE

5 THE TESTING PROCEDURE OUTLINED SHALL BE STRICTLY ADHERED TO DURING CONSTRUCTION

6 ALL TESTING EQUIPMENT SHALL BE SUPPLIED BY THE CONTRACTOR AT HIS EXPENSE. FOR THE CONTRACTOR'S INFORMATION, SOME OF THE MAJOR EQUIPMENT REQUIRED FOR AIR TESTS IS THE FOLLOWING:

- A. STOP WATCH GRADUATED IN TENTHS OF A SECOND
- B. COMPRESSION OF 50 TO 100 PSIG CAPACITY
- C. BULKHEADS FOR PIPE
- D. APPROXIMATELY 100 FEET OF 3/8" DIAMETER AIR HOSE
- E. PRESSURE GAUGE - 0 TO 5 PSIG GRADUATED IN 1/16" INCHES
- F. THREE 3/8" INCH DIAMETER CHECK VALVES

C. VISUAL INSPECTION

1 ALL SEWERS UNDER 36" IN DIAMETER SHALL BE LAMPED MANHOLE TO MANHOLE PRIOR TO FINAL ACCEPTANCE. THE LAMP SHALL HAVE AN OUTPUT OF BETWEEN 250 TO 500 CANDLEPOWER. LAMPING SHALL BE PERFORMED AFTER THE SEWER HAS BEEN FURNISHED AND THE MAJOR SURFACE WATER REFRACITION IF FIFTY PERCENT (50%) OF THE LAMP CANNOT BE SEEN FROM THE OTHER MANHOLE, THE CONTRACTOR WILL BE REQUIRED TO TELEVIEW THAT SECTION AT HIS EXPENSE

2 ALL PIPES 36" IN DIAMETER AND LARGER SHALL BE VISUALLY INSPECTED BY THE ENGINEER PRIOR TO INSTALLATION. ALL EQUIPMENT REQUIRED FOR THE INTERNAL INSPECTION SHALL BE FURNISHED BY THE CONTRACTOR. AFTER INSTALLATION IS TOTALLY COMPLETED, THE CONTRACTOR SHALL COMPLETE AN INTERNAL TELEVISION INSPECTION OF THE PIPE CONDUIT. THE TELEVISION INSPECTION SHALL BE COMPLETED WITH THE ENGINEER PRESENT AND THE FULL INSPECTION SHALL BE RECORDED ON A VHS TAPE. A COPY OF SAID TAPE SHALL BE PROVIDED TO THE ENGINEER. SOME ITEMS OF INSPECTION ARE AS FOLLOWS:

- A. PIPE FREE FROM OBSTRUCTIONS AND DEBRIS
- B. PIPE FREE FROM CRACKS
- C. PIPE JOINTS PROPERLY SEALED
- D. PIPE SURFACE IS SMOOTH AND FREE OF SAGS OR HIGH SPOTS
- E. HOODLIPS, OVERSIZES AND CONNECTIONS PROPERLY MADE
- F. CONCRETE PIPE WALLS FREE FROM STRUCTURAL DEFECTS
- G. PIPES AND JOINTS FREE FROM VISIBLE SIGNS OF LEAKAGE
- H. SPECIFIED COATINGS PROPERLY INSTALLED

3 PIPE SECTIONS AND JOINTS NOT MEETING ALL OF THE ABOVE REQUIREMENTS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE ENGINEER AT THE CONTRACTOR'S EXPENSE

D. INFILTRATION TESTS (APPLICABLE ONLY IF GROUND WATER IS ABOVE PIPE)

1 THIS TEST SHALL BE PERFORMED NO EARLIER THAN 14 CALENDAR DAYS AFTER THE TRENCHES ARE BACKFILLED

2 INFILTRATION TESTS FOR ALL SEWERS TO BE CONSTRUCTED UNDER THIS PROJECT SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF SEWER PER 24 HOURS. EACH INDIVIDUAL RUN OF SEWER FROM ONE MANHOLE TO THE NEXT MANHOLE SHALL COMPLY WITH THE ALLOWABLE RATE OF INFILTRATION. ALL EQUIPMENT FOR THE TEST SHALL BE FURNISHED BY THE CONTRACTOR

3 THE ALLOWABLE RATE OF INFILTRATION GIVEN IN GALLONS PER MILE IS NOT TO BE CONSTRUCTED AS A COMMITMENT ON THE PART OF THE OWNER TO ACCEPT AN ENTIRE LINE WHERE OVERALL INFILTRATION IS LESS THAN THE ALLOWABLE. WHILE ONE OR MORE RUNS CONTRIBUTE EXCESSIVE INFILTRATION

4 THE INFILTRATION TEST IS INTENDED TO MEASURE THE WATER TIGHTNESS OF A SEWER AS RELATED TO THE INFILTRATION OF GROUND WATER AND, THEREFORE, IS ONLY APPLICABLE IF THE WATER TABLE LEVEL IS TWO (2) FEET ABOVE THE TOP OF THE PIPE

A. APPROVED SOLID PIPE WITH AN APPROVED CAP SHALL BE PLACED AT EACH MANHOLE TO EXTEND FROM A POINT 6 INCHES BELOW THE LOWEST INLET TO THE TOP OF THE GROUND. THE PIPE SHALL BE EMBOSSED A MINIMUM OF 1/2" IN CLEAN 8" STONE. GROUND WATER ELEVATIONS WILL BE MEASURED AT EACH MANHOLE SO THAT THE GROUND WATER LEVEL CAN BE CORRELATED WITH THE INFILTRATION MEASUREMENTS

B. BEFORE CONDUCTING THE TESTS, THE WATER TABLE SHOULD BE ALLOWED TO STABILIZE AT ITS NORMAL LEVEL SUCH THAT WATER COMPLETELY SURROUNDS THE PIPE DURING THE TEST PERIOD. THE TEST IS USUALLY CONDUCTED BETWEEN ADJACENT MANHOLES WITH THE UPSTREAM END OF THE SEWER BULKHEAD IN A SUITABLE MANNER TO ISOLATE THE TEST SECTION. ALL SERVICE TUBES, RUBBER AND FITTINGS SHOULD BE PROPERLY PLUGGED OR CAPPED AT THE CONNECTIONS TO THE TEST PIPE SECTION TO PREVENT THE ENTRANCE OF GROUND WATER AT THESE LOCATIONS

C. A VACUUM OR OTHER SUITABLE MEASURING DEVICE SHOULD BE INSTALLED IN THE INLET PIPE TO THE DOWNSTREAM MANHOLE. INFILTRATING WATER IS THEN ALLOWED TO BUILD UP AND, LEVEL OFF BEHIND THE WEIR UNTIL STABILIZATION IS OBTAINED. WHEN STABILIZATION OCCURS OVER THE WEIR, LEAKAGE IS DETERMINED BY DIRECT READING CONSECUTIVELY FOR FIVE (5) DAYS FROM GRADUATIONS ON THE WEIR AND CONVERTING THE FLOW QUANTITY TO GALLONS PER UNIT LENGTH OF PIPE PER UNIT OF TIME

D. AN IMPORTANT FACTOR IN APPLYING THE TEST CRITERIA IS TO PROPERLY CORRELATE THE VARIABLE WATER HEAD OVER THE LENGTH OF SEWER BEING TESTED TO THE HIGH GROUND WATER LEVEL. THE DOWNSTREAM END OF THE TEST SECTION WILL ALWAYS BE SUBJECT TO A GREATER EXTERNAL WATER PRESSURE THAN THE UPSTREAM END. TO COMPENSATE FOR THIS VARIABLE EXTERNAL PRESSURE, THE TEST PRESSURE SHOULD BE THAT PRESSURE CORRESPONDING TO THE AVERAGE HEAD OF WATER OVER THE TEST SECTION. A MINIMUM OF 2 FEET OF WATER EXTERIOR TO THE PIPE IS REQUIRED AT THE UPSTREAM MANHOLE. THE INFILTRATION TEST WILL BE ALLOWED

5 WHEN A SEWER RUN BETWEEN TWO CONSECUTIVE MANHOLES OR CHAMBERS IS FOUND TO CONTRIBUTE INFILTRATION AT A RATE ABOVE THE ALLOWABLE, INSPECTION BY TELEVISION ON OTHER CAMERAS SHALL BE MADE BY THE CONTRACTOR AND AT THE CONTRACTOR'S EXPENSE DURING WEATHER SO THAT THE DEFECTIVE SECTION OF SEWER CAN BE LOCATED AND REPAIRED. EACH INDIVIDUAL RUN OF SEWER FROM ONE MANHOLE TO THE NEXT MANHOLE SHALL COMPLY WITH THE ALLOWABLE RATE OF INFILTRATION OF 100 GALLONS PER INCH DIAMETER PER MILE OF SEWER PER 24 HOURS

F. EXFILTRATION TESTS

1 THIS TEST SHALL BE PERFORMED NO EARLIER THAN 14 CALENDAR DAYS AFTER THE TRENCHES ARE BACKFILLED

2 THE EXFILTRATION TEST FOR ALL DIAMETER SEWERS SHALL BE AS DESCRIBED BELOW. ALTHOUGH ACTUAL INFILTRATION WILL NORMALLY BE LESS THAN THAT INDICATED BY THE WATER INFILTRATION TEST, THE TEST DOES PROVIDE A POSITIVE MEANS OF SUBJECTING THE COMPLETED SEWER SYSTEM TO AN ACTUAL PRESSURE TEST. SINCE SANITARY SEWERS ARE NOT DESIGNED OR EXPECTED TO OPERATE AS A PRESSURE SYSTEM, CARE MUST BE EXERCISED IN CONDUCTING THE TEST AND CORRECTING THE RESULTS WITH THE ALLOWABLE EXFILTRATION LIMIT. ALL EQUIPMENT REQUIRED FOR THE TESTS SHALL BE FURNISHED BY THE CONTRACTOR

A. THE TEST IS USUALLY CONDUCTED BETWEEN ADJACENT MANHOLES. PRIOR TO THE TEST, ALL SERVICE TUBES, RUBBER AND FITTINGS WITHIN THE TEST SECTION SHOULD BE PLUGGED OR CAPPED AND ADEQUATELY BRACED OR BLOCKED TO WITHSTAND THE WATER PRESSURE RESULTING FROM THE TEST

B. IF MANHOLES ARE TO BE INCLUDED IN THE TEST, THE INLET PIPE TO EACH MANHOLE SHOULD BE BULKHEADED AND THE TEST SECTION FILLED WITH WATER THROUGH THE UPSTREAM MANHOLE. TO ALLOW AIR TO ESCAPE FROM THE SEWER, THE FLOW SHOULD BE A STEADY RATE UNTIL THE WATER LEVEL IN THE UPSTREAM MANHOLE PROVIDES AN AVERAGE PRESSURE OF 5 PSIG (1.6 FEET) AT THE CENTER POINT OF THE TEST SECTION. IF NECESSARY, PROVISIONS SHOULD BE MADE TO BLEED OFF ENTRAPPED AIR DURING THE FILLING OF THE TEST SECTION

C. ONCE THE TEST SECTION IS FULLED, THE WATER SHOULD BE ALLOWED TO STAND FOR AN ADEQUATE PERIOD OF TIME (AT LEAST 24 HOURS) TO ALLOW FOR WATER ABSORPTION BY THE PIPE AND MANHOLE. AFTER WATER ABSORPTION HAS STABILIZED, THE WATER LEVEL IN THE UPSTREAM MANHOLE IS BROUGHT UP TO THE PROPER TEST LEVEL, AND THIS LEVEL ESTABLISHED BY MEASURING DOWN FROM THE MANHOLE COVER OR OTHER CONVENIENT DATUM POINT. AFTER 24 HOURS, THE WATER ELEVATION SHOULD BE MEASURED FROM THE SAME REFERENCE POINT AND THE LOSS OF WATER DURING THE TEST PERIOD CALCULATED. OR THE WATER CAN BE RESTORED TO THE LEVEL EXISTING AT THE BEGINNING OF THE TEST AND THE AMOUNT ADDED USED TO DETERMINE THE LEAKAGE

D. TO EXCLUDE BOTH MANHOLES FROM THE TEST, IT IS NECESSARY TO BULKHEAD THE OUTLET PIPE FOR THE UPSTREAM MANHOLE. PROVISION MUST BE MADE IN THE BULKHEAD FOR FILLING THE PIPE AND EXPELLING TRAPPED AIR

E. THE WATER LEVEL AT THE UPSTREAM MANHOLE SHALL BE COMPUTED AND VARIED ABOVE THE TOP OF THE PIPE SINCE THE SEWER IS INSTALLED ON A GRADE. THE TEST SECTION DOWNSTREAM WILL BE SUBJECT TO A GREATER PRESSURE. THEREFORE, THE TEST PRESSURE HEAD AT THE UPSTREAM MANHOLE SHOULD BE ADJUSTED SUCH THAT THE MAXIMUM PRESSURE ON THE PIPE BEING TESTED IS NOT GREATER THAN 10 PS

3 WHEN A SEWER RUN BETWEEN TWO CONSECUTIVE MANHOLES OR CHAMBERS IS FOUND TO CONTRIBUTE INFILTRATION AT A RATE ABOVE THE ALLOWABLE, INSPECTION BY TELEVISION ON OTHER CAMERAS SHALL BE MADE BY THE CONTRACTOR AND AT THE CONTRACTOR'S EXPENSE DURING WEATHER SO THAT THE DEFECTIVE SECTION OF SEWER CAN BE LOCATED AND REPAIRED. EACH INDIVIDUAL RUN OF SEWER FROM ONE MANHOLE TO THE NEXT MANHOLE SHALL COMPLY WITH THE ALLOWABLE RATE OF INFILTRATION OF 100 GALLONS PER INCH DIAMETER PER MILE OF SEWER PER 24 HOURS

F. DEFLECTION TEST

ALL PVC SEWERS CONSTRUCTED UNDER THIS PROJECT SHALL BE INTERNALLY CHECKED NO EARLIER THAN 30 CALENDAR DAYS AFTER THE TRENCHES ARE BACKFILLED. WITH A FIVE PERCENT (5%) DEFLECTION. "CONDOGRO" IS TO BE USED IF THE PIPES ARE DEFLECTING. ANY SECTION OF PIPE UNABLE TO PASS THE "CONDOGRO" TEST SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE

DEFLECTION TESTING MANHOLES OR PIPES SHALL BE FILLED TO JOUGH THE PIPE BY HAND OR HAND OPERATED WINCH. POWER WINCHES OR DRIVES ARE NOT PERMITTED

G. INFILTRATION/EXFILTRATION TESTING OF SANITARY SEWER MANHOLES

PURSUANT TO SECTION 02376, THE CONTRACTOR IS REQUIRED TO COMPLETE AN INFILTRATION OR EXFILTRATION TEST ON ALL SANITARY SEWER MANHOLES INSTALLED UNDER THIS CONTRACT. SUBJECT TO THE APPROVAL OF THE ENGINEER, THE TESTING OF THE MANHOLES CAN BE COMPLETED JOINTLY WITH THE TESTING OF THE INSTALLED SANITARY SEWER PIPE. THE CONTRACTOR IS ADVISED TO REFER TO SECTION 02376, ITEM 30.2 FOR THE ACTUAL TESTING REQUIREMENTS ASSOCIATED WITH THE SANITARY MANHOLES

3.04 SEPARATION OF WATER MAINS AND SEWERS

A. GENERAL

1 REQUIRED TO COMPLY WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION STANDARD 30.5 FOR ALL SEWER AND WATER MAIN CROSSINGS SHOWN OR NOTED ON THE DRAWINGS

B. HORIZONTAL SEPARATION

1 SEWERS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. IN CASES WHERE IT IS NOT PRACTICAL TO MAINTAIN A 10 FOOT SEPARATION, THE APPROPRIATE REGULATORY AGENCY MUST ALLOW DEVIATION. IN A CASE BY CASE BASIS, IT IS SUPPORTED BY DATA FROM THE END VIEW. SUCH DEVIATION MAY ALLOW INSTALLATION OF THE SEWER CLOSER TO A WATERMAIN IF:

- A. IT IS LAID IN A SEPARATE TRENCH OR PIPE
- B. IT IS LAID IN THE SAME TRENCH WITH THE WATER MAIN LOCATED AT THE SIDE OF A BENCH OF LAND SURBERED EARTH AND IF
- C. IN EITHER CASE THE ELEVATION OF THE TOP (CROWN) OF THE SEWER IS AT LEAST 18" BELOW THE BOTTOM (INVERT) OF THE WATERMAIN

C. VERTICAL SEPARATION

1 SEWERS CROSSING WATERMANS SHALL BE LAID TO PROVIDE MINIMUM VERTICAL DISTANCE OF 18" BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF THE SEWER. THIS SHALL BE THE CASE WHERE THE WATERMAIN IS EITHER ABOVE OR BELOW THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATERMAIN. JOINTS, WHERE A WATERMAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO PREVENT DAMAGE TO THE WATERMAIN

D. UNAVAILABLE SEPARATION

1 WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS SPECIFIED ABOVE, THE SEWER SHALL BE EITHER ENCASED IN CONCRETE PER THE DETAIL ON THE PLANS OR CONSTRUCTED USING ACCEPTABLE WATER PIPE (DUCTILE IRON OR PVC C-900) AND PRESSURE TESTED TO 120 PSI. ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING. THIS SHALL APPLY TO MAINLINE SEWERS, AS WELL AS 6" HOUSE LATERALS

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Townhomes at Muir Woods  
770 John James Audubon Parkway  
Amherst, New York

REVISIONS	No.	Description



TOWN OF AMHERST APPROVAL BOX:

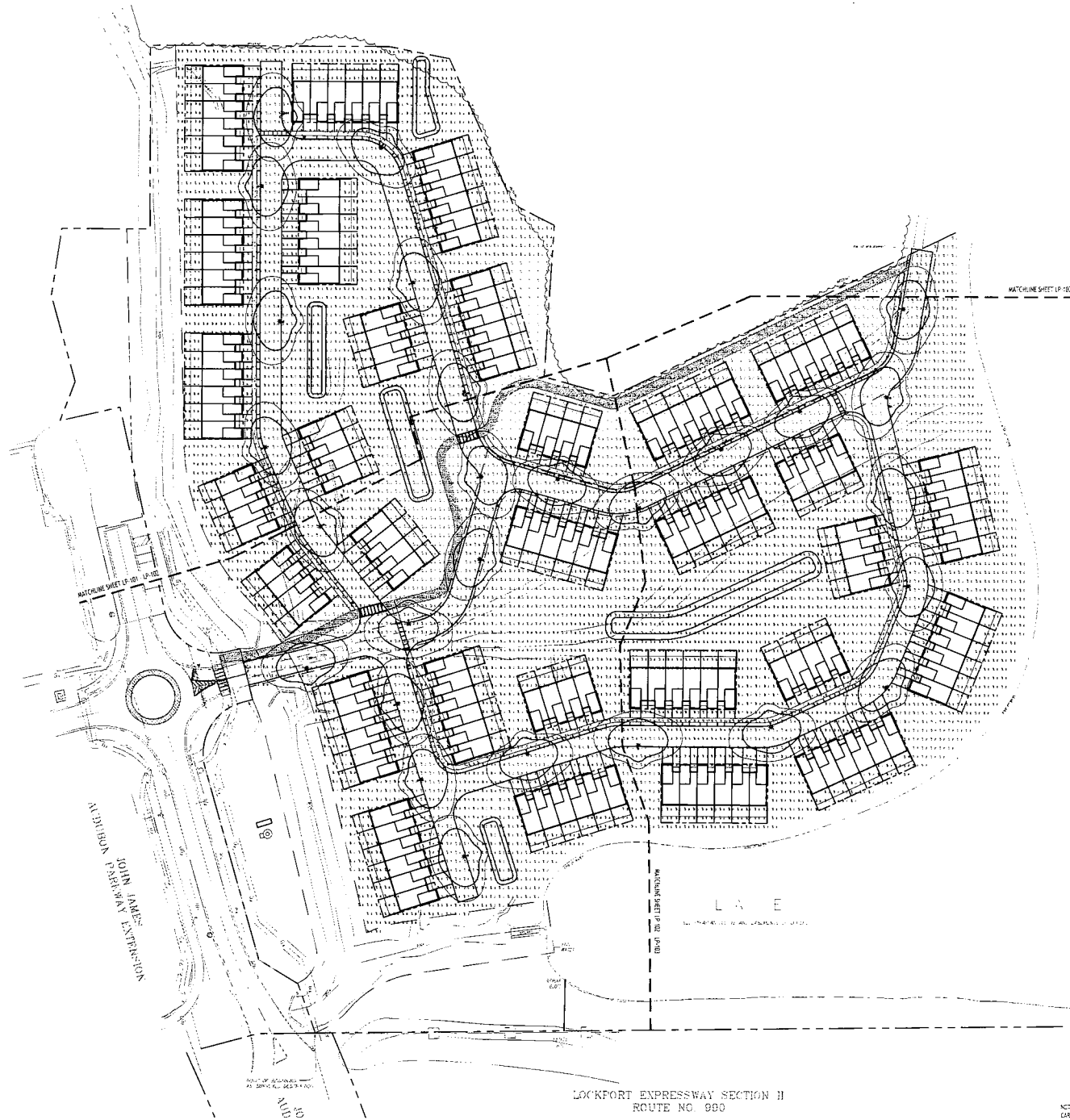
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DRAWING NAME:  
Utility Notes

Date: 03.13.26  
Drawn By: D. Feyes  
Scale: As Noted

DRAWING NO.  
C-408  
Project No: 25-4080

# **EXHIBIT D**



Luminaire Schedule			
Symbol	Qty	Label	Description
☐	27	S2	Garco #OPF-S-A03-840-T2M (9,840lm)

Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
Overall Site	Illuminance	Fc	0.45	3.0	0.0
Roadway	Illuminance	Fc	1.31	3.0	0.1

**Calculation/Layout Notes**

1. Calculations are the expected maintained illumination
2. Calculations are measured at grade
3. Surface reflectance is 20%
4. Mounting Heights: 23ft (all)
5. All lights are dark sky compliant

TOWN OF AMHERST APPROVAL BOX:

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



**Overall Lighting Plan**  
SCALE: 1"=40'

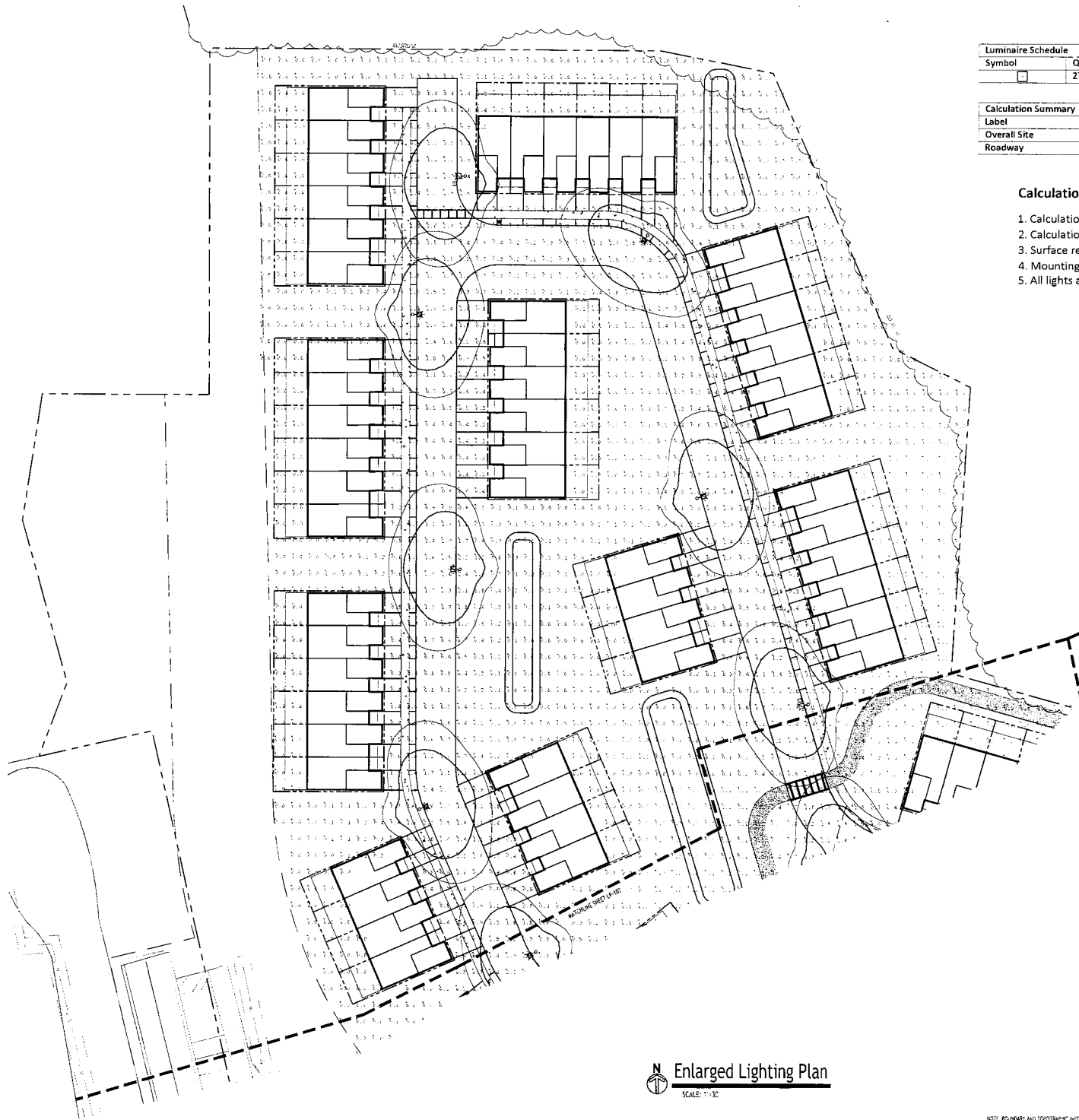


DRAWING NAME:  
**Overall Lighting Plan**

Date: 03.13.26  
Drawn By: D. Feyer  
Scale: As Noted

DRAWING NO.  
**LP-100**  
Project No: 25-4080

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**Enlarged Lighting Plan**  
SCALE: 1/4\"/>

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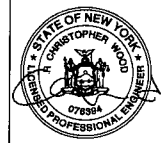
Luminaire Schedule			
Symbol	Qty	Label	Description
□	27	SZ	Gardco #OPF-S-A03-840-T2M (9,840lm)

Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
Overall Site	Illuminance	Fc	0.45	3.0	0.0
Roadway	Illuminance	Fc	1.31	3.0	0.1

**Calculation/Layout Notes**

1. Calculations are the expected maintained illumination
2. Calculations are measured at grade
3. Surface reflectance is 20%
4. Mounting Heights: 23ft (all)
5. All lights are dark sky compliant

TOWN OF AMHERST APPROVAL BOX:



DRAWING NAME:  
**Enlarged  
Lighting Plan**

Date: 03.13.24  
Drawn By: D. Feyes  
Scale: As Noted

DRAWING NO.

**LP-101**

Project No: 25-4080

**Townhomes at Muir Woods**  
770 John James Audubon Parkway  
Amherst, New York

REVISIONS:	DATE:
No. Description	

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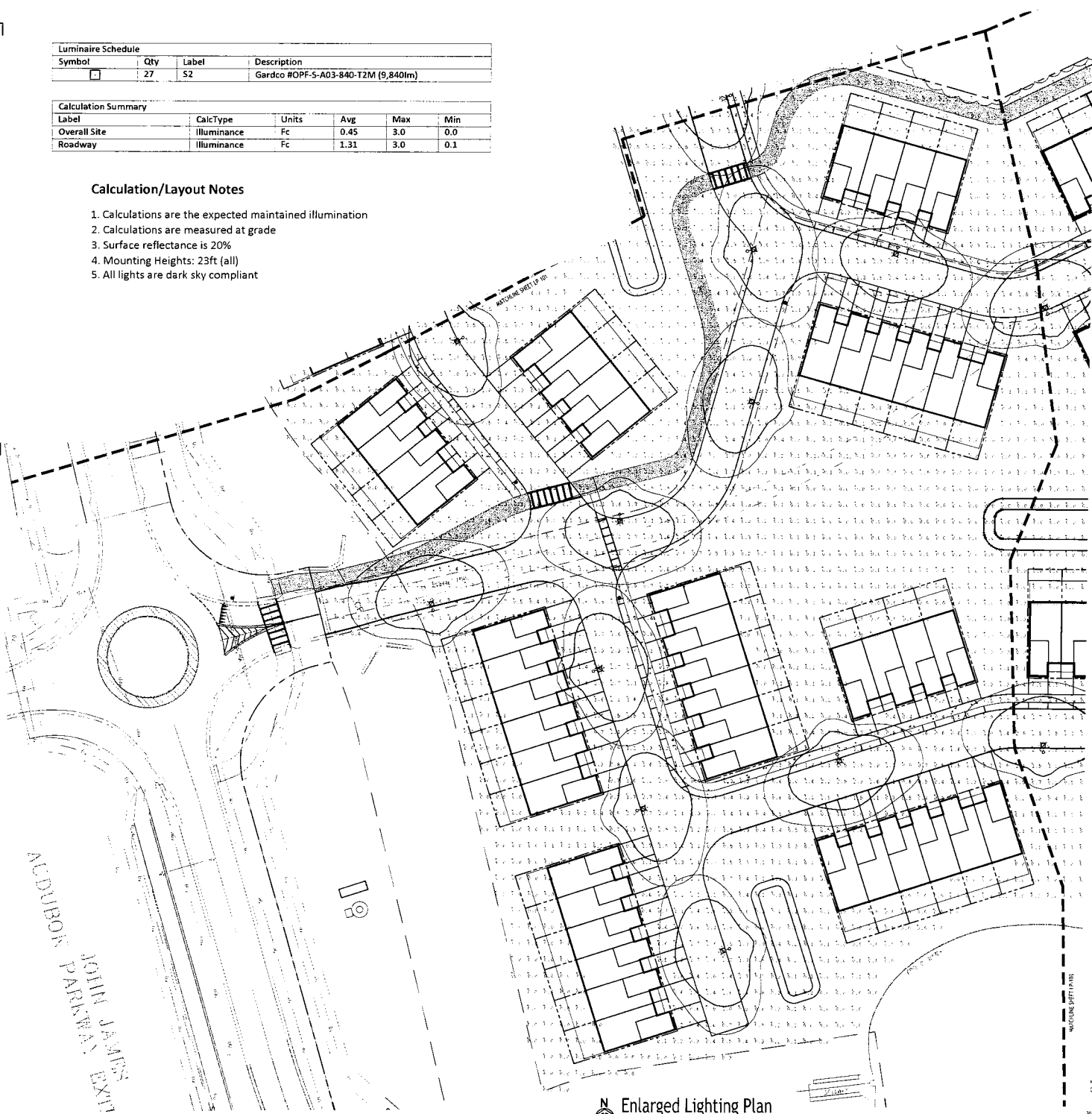
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Luminaire Schedule			
Symbol	Qty	Label	Description
□	27	S2	Gardco #OPF-S-A03-840-T2M (9,840lm)

Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
Overall Site	Illuminance	Fc	0.45	3.0	0.0
Roadway	Illuminance	Fc	1.31	3.0	0.1

**Calculation/Layout Notes**

1. Calculations are the expected maintained illumination
2. Calculations are measured at grade
3. Surface reflectance is 20%
4. Mounting Heights: 23ft (all)
5. All lights are dark sky compliant



**N Enlarged Lighting Plan**  
SCALE: 1"=30'

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TOWN OF AMHERST APPROVAL BOX:



DRAWING NAME:  
**Enlarged  
Lighting Plan**

Date: 03.13.26  
Drawn By: D. Feyes  
Scale: As Shown

DRAWING NO.  
**LP-102**

Project No: 25-4080

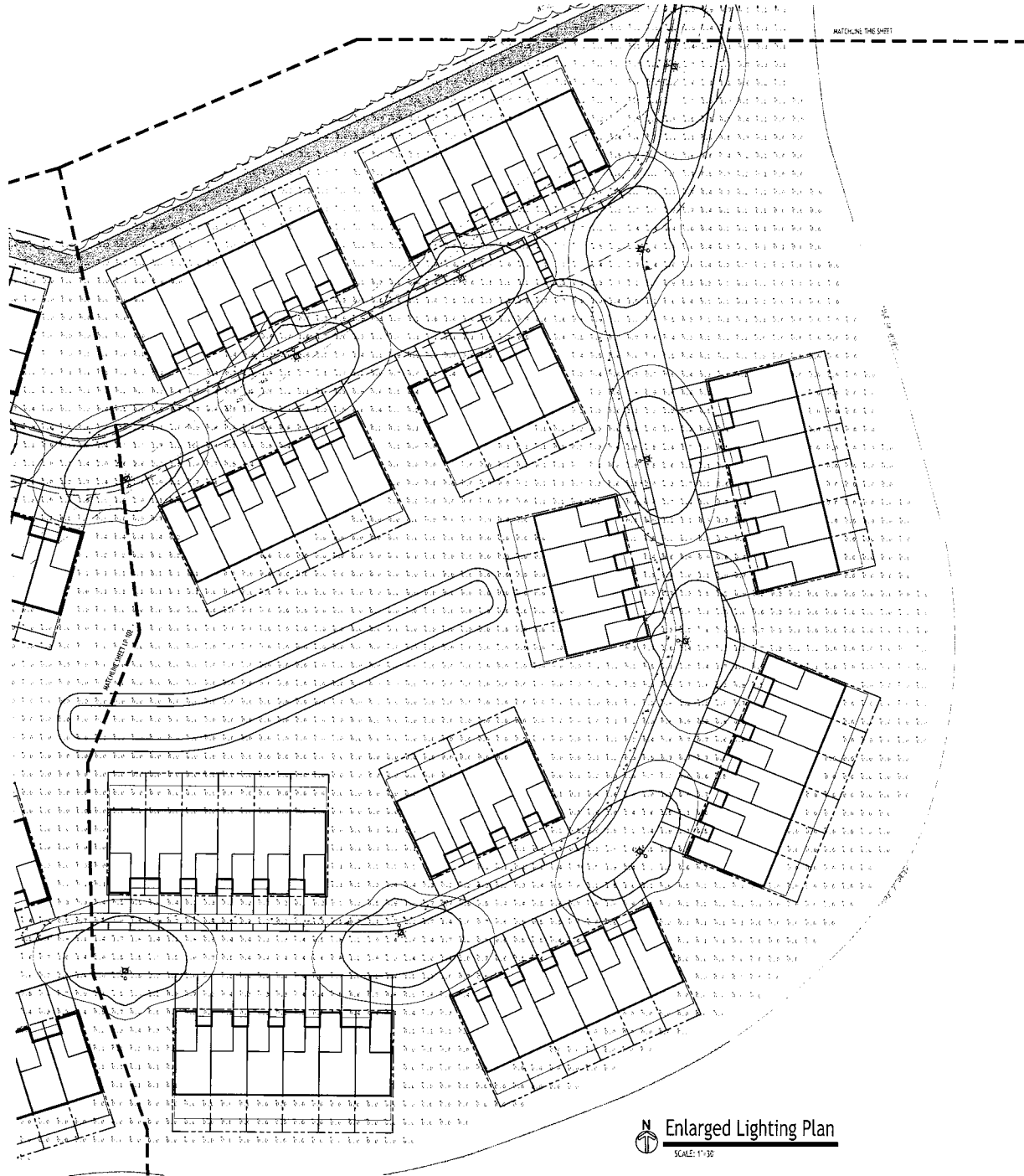
**Townhomes at Muir Woods**  
770 John James Audubon Parkway  
Amherst, New York

No.	Description	Date

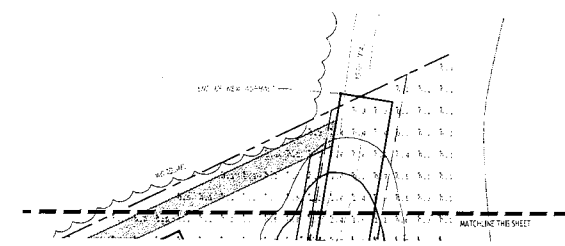
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**N** Enlarged Lighting Plan  
SCALE: 1"=30'



Luminaire Schedule			
Symbol	Qty	Label	Description
[Symbol]	27	SZ	Gardco ROPF-S-A03-840-T2M (9,840lm)

Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
Overall Site	Illuminance	Fc	0.45	3.0	0.0
Roadway	Illuminance	Fc	1.31	3.0	0.1

**Calculation/Layout Notes**

1. Calculations are the expected maintained illumination
2. Calculations are measured at grade
3. Surface reflectance is 20%
4. Mounting Heights: 23ft (all)
5. All lights are dark sky compliant

TOWN OF AMHERST APPROVAL BOX:

REV	DESCRIPTION	DATE



DRAWING NAME:  
Enlarged  
Lighting Plan

Date: 03.13.26  
Drawn By: D. Feyes  
Scale: As Noted

DRAWING NO.  
**LP-103**  
Project No: 25-4080

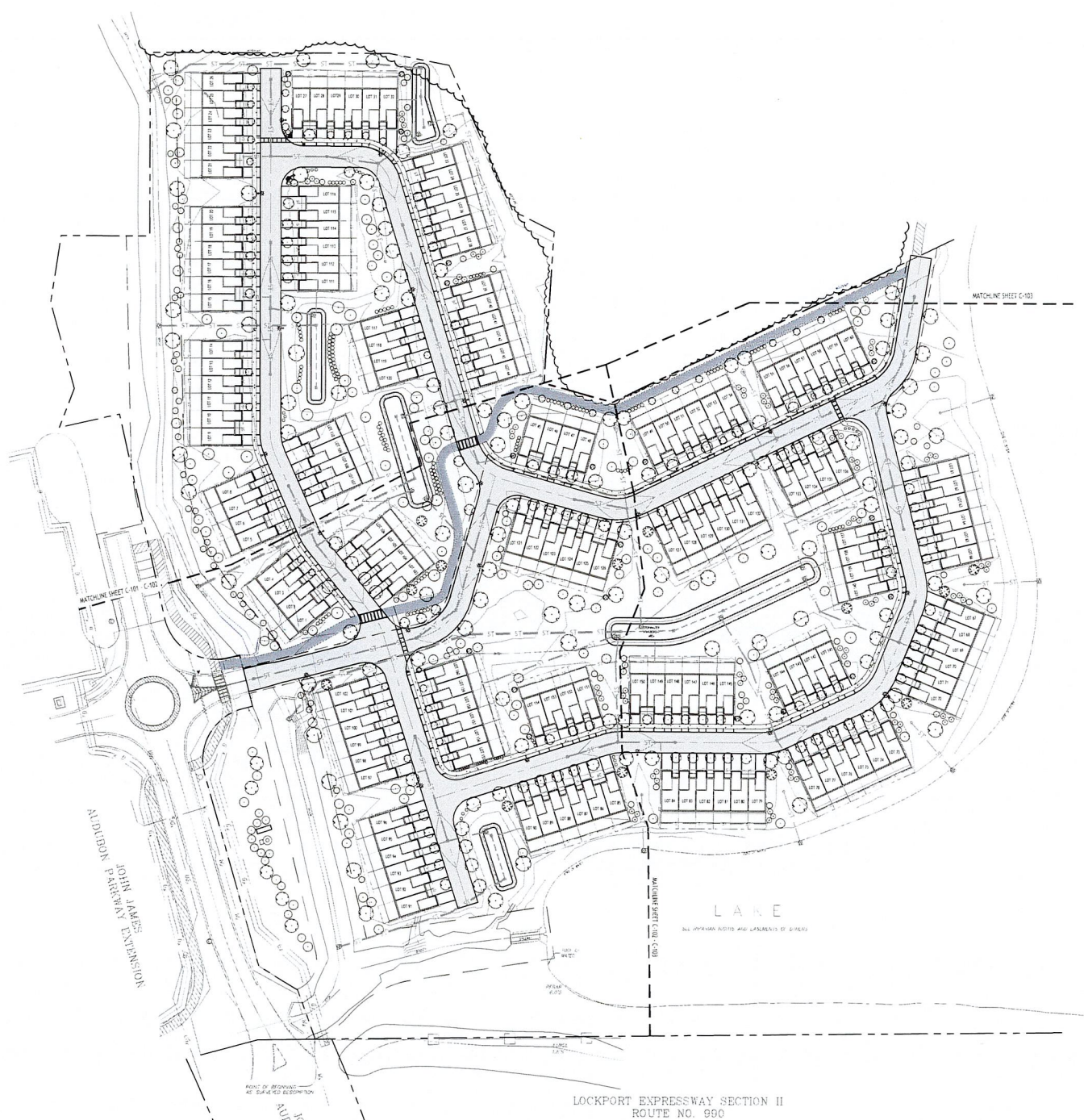
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770 John James Audubon Parkway  
Amherst, New York



# **EXHIBIT E**

All work is to be done in accordance with the requirements of the Massachusetts Department of Transportation (MassDOT) and the Massachusetts Department of Environmental Protection (MassDEP). The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, rules, and regulations. The contractor shall also be responsible for obtaining all necessary permits and for complying with all applicable laws, rules, and regulations. The contractor shall also be responsible for obtaining all necessary permits and for complying with all applicable laws, rules, and regulations.



**Overall Landscape Plan**  
SCALE: 1"=60'

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

**PER TOWN OF AMHERST CODE:**  
ALL REFUSE CONTAINERS & ALL MECHANICAL EQUIPMENT, UTILITY STRUCTURES, MULTIPLE METER BOARDS, GENERATORS, PITS, & SIMILAR INSTALLATIONS, INCLUDING THOSE WHICH ARE MOUNTED ON ANY PART OF A PRIMARY STRUCTURE SHALL BE SHOWN ON THE SITE PLAN & APPROPRIATELY SCREENED WITH A FENCE, WALL, &/OR LANDSCAPING AS REQUIRED BY 203-7-2-4(C) & 203-7-2-4(D) OF TOWN CODE. SUCH SCREENING SHALL BE SHOWN ON THE PLANS SUBMITTED FOR REVIEW. PRIVATE LOTS ON REFUSE ENCLOSURE THAT SHALL BE CLOSED WHENEVER REFUSE CONTAINERS ARE NOT BEING SERVICED & ENCLOSURE SHALL BE HIGH ENOUGH TO SCREEN THE REFUSE CONTAINERS WITHIN.

**PER TOWN OF AMHERST CODE:**  
CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ALL POSSIBLE TYPES OF ROOT, TRUNK, AND LIMB DAMAGE, INCLUDING BY NOT LIMITS TO: RETAIN WALLS WHICH PREVENT ROOTING ON TOP OF ROOTS OR EXCAVATING TREE ROOTS AS PER ZONING ORDINANCE 7-2-3(B)(3).

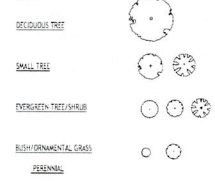
**LANDSCAPE NOTES:**

- ALL PLANTS INSTALLED SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED ON THE PLANS AND IN THE LATEST EDITION ON THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERMEN, AND 262.1
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF; THE QUANTITIES SHOWN ARE A MINIMUM AND ARE FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANTING MATERIAL LOCATIONS AND CONTACT THE OWNER/REPRESENTATIVE PRIOR TO ACTUAL INSTALLING. THE PLANTING MATERIAL LOCATIONS SHOWN ON THE PLANS ARE TO CONVEY THE DESIGN INTENT ONLY. ACTUAL LOCATIONS WILL BE FINALIZED BY THE OWNER/REPRESENTATIVE AT THE TIME OF INSTALLATION.
- THE CONTRACTOR IS HEREBY NOTIFIED THAT IF UNDERGROUND UTILITIES EXIST IN THE VICINITY OF THE PLANTINGS, ALL PROPOSED PLANTINGS SHALL BE INSTALLED A MINIMUM OF 5' FROM ANY UNDERGROUND UTILITY. CONTACT THE OWNER/REPRESENTATIVE IF PLANTINGS SHOWN ON THE PLANS VIOLATE THE SITUATION.
- ALL TREES SHALL BE INSTALLED A MINIMUM OF 20' FROM ANY OVERHEAD ELECTRIC LINES.
- PLANTING BACKFILL MATURE SOIL SHALL CONSIST OF A PARTS TOPSOIL, 1 PART PEAT MOSS, 1/2 PART WELL ROTTED MANURE, 10 LBS 5-10-5 PLANTING FERTILIZER THOROUGHLY MIXED PER CUBIC YARD.
- STAKE AND WRAP TREES IMMEDIATELY FOLLOWING INSTALLATION.
- ALL PLANTED AREAS SHALL RECEIVE A 3" LAYER OF SHREDED PINE BARK MULCH OVER 10 MIL WEED MAT EQUAL TO "WEEDBLOCK" BY EASY GARDENS OR EQUIV. WEED BARRIERS.
- THE AREAS ON THE PLAN TO BE SEEDS SHALL HAVE A MINIMUM OF TOPSOIL, DISK PLOWED, LEVELLED AND HAND RAKED SMOOTH. SURFACE SHALL BE ROLLED TO REMOVE LUMPS.
- ALL SEEDS AREAS SHALL BE HYDROSEEDING IN ACCORDANCE WITH THE SPECIFICATION INDICATED. WHERE REQUIRED BY CLIMATIC CONDITIONS, SOLE OR SEASON OF PLANTING, SOIL MAY BE SUBSTITUTED FOR SEEDING IN ORDER TO ACHIEVE THE REQUIRED COVERAGE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING, MOWING AND OTHER MAINTENANCE TO SEEDS AREAS UNTIL THE PROJECT IS ACCEPTED BY THE OWNER. THIS SHALL INCLUDE WATERING DAILY FOR 15 DAYS OR AS REQUIRED BY WEATHER CONDITIONS AND RE-SEEDING OF THIN SPOTS FOLLOWING THE GERMINATION OF THE SEEDS.

**PLANTING NOTES:**

- ALL INTERIOR LANDSCAPED AREAS SHALL HAVE A MINIMUM PLANTING SOIL DEPTH OF THREE (3) FEET AND BE FREE FROM ALL FORMS OF CONSTRUCTION DEBRIS AND FOREIGN MATERIAL.
- ALL TREE PIT SAUCERS, SHRUB BEDS, ORNAMENTAL GRASS BEDS, AND PERENNIAL FLOWER BEDS SHALL RECEIVE "GREEN" HERBICIDE AND THREE (3) INCHES DEPTH OF DARK SHREDED HARDWOOD BARK MULCH.
- ALL SEASONAL FLOWER BEDS SHALL BE A MINIMUM OF TWELVE (12) INCHES DEEP WITH A WELL-BLENDED MIXTURE OF 50% PEA MOSS & 50% SCREENED TOPSOIL. SEASONAL FLOWER BEDS SHALL RECEIVE "GREEN" HERBICIDE. NO MULCH SHALL BE INSTALLED IN THE SEASONAL FLOWER BEDS.
- ALL DECIDUOUS AND EVERGREEN TREES SHALL BE STAKED WITH THREE (3) TREE STAKES AS PER TREE PLANTING DETAIL.

**LEGEND:**



**TOWN OF AMHERST APPROVAL BOX:**

REVISIONS:	No.	Description

DRAWING NAME:  
**Overall Landscape Plan**

Date: 03.13.26  
Drawn By: D. Foyes  
Scale: As Noted

DRAWING NO.  
**L-100**  
Project No: 25-4080





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**PER TOWN OF AMHERST CODE:**  
 ALL REFUSE CONTAINERS, ALL MECHANICAL EQUIPMENT, UTILITY STRUCTURES, ALL 10% WATER SEWERS, GENERATORS, RPPS, & SIMILAR APPURTENANCES, INCLUDING THOSE WHICH ARE MOUNTED ON ANY PART OF A PRIMARY STRUCTURE SHALL BE SHOWN ON THE SITE PLAN & APPROPRIATELY SCREENED BY A FENCE, WALL, OR LANDSCAPING AS REQUIRED BY 203-7-4-4(C) & 203-7-4-4(D) OF TOWN CODE. SUCH SCREENING SHALL BE SHOWN ON THE PLANS SUBMITTED FOR REVIEW. PROVIDE GATE ON REFUSE ENCLOSURE THAT SHALL BE CLOSED WHENEVER REFUSE CONTAINERS ARE NOT BEING SERVICED & ENCLOSURE SHALL BE HIGH ENOUGH TO SCREEN THE REFUSE CONTAINERS WITHIN.

**PER TOWN OF AMHERST CODE:**  
 ALL EXISTING OR REMAINING EXISTING PLANTS FROM THE PREVIOUSLY APPROVED SITE PLANS SHALL BE REPLACED/INSTALLED AS PER ZONING ORDINANCE 7-2-3(A)(1) CONTRACTOR SHALL REFER TO PREVIOUSLY APPROVED SITE AND LANDSCAPE PLANS BY OTHERS FOR ALL LANDSCAPE REFERENCES.

**PER TOWN OF AMHERST CODE:**  
 CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ALL POSSIBLE TYPES OF ROOT, TRUNK, AND LIMB DAMAGE, INCLUDING BY NOT DRAINING TO, RETAIN WALLS WHICH PREVENT TRILING ON TOP OF ROOTS OR EXCAVATING TREE ROOTS AT PER ZONING ORDINANCE 7-2-3(B)(1).

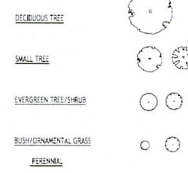
**LANDSCAPE NOTES:**

- ALL PLANTS INSTALLED SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED ON THE PLANS AND IN THE LATEST EDITION ON THE AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z60.1
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF, THE QUANTITIES SHOWN ARE A MINIMUM AND ARE FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANTING MATERIAL LOCATIONS AND CONTACT THE OWNERS FIELD REPRESENTATIVE PRIOR TO ACTUAL INSTALLING. THE PLANTING MATERIAL LOCATIONS SHOWN ON THE PLANS ARE TO CONVEY THE DESIGN INTENT ONLY. ACTUAL LOCATIONS WILL BE FINALEDD BY THE OWNERS FIELD REPRESENTATIVE AT THE TIME OF INSTALLATION.
- THE CONTRACTOR IS HEREBY NOTIFIED THAT IF UNDERGROUND UTILITIES EXIST IN THE VICINITY OF THE PLANTINGS, ALL INSTALLED PLANTINGS SHALL BE INSTALLED A MINIMUM OF 5' FROM ANY UNDERGROUND UTILITY. CONTACT THE OWNERS FIELD REPRESENTATIVE IF PLANTINGS SHOWN ON THE PLANS VIOLATE THIS SITUATION.
- ALL TREES SHALL BE INSTALLED A MINIMUM OF 20' FROM ANY OVERHEAD ELECTRIC LINES.
- PLANTING BACKFILL MIXTURE SHALL CONSIST OF 4 PARTS TOPSOIL, 1 PART PEAT MOSS, 1/4 PART WELL ROTTED MANURE, TO 10S 1-10S PLANTING FERTILIZER THOROUGHLY MIXED PER CUBIC YARD.
- STAKE AND WRAP TREES IMMEDIATELY FOLLOWING INSTALLATION.
- ALL PLANTED AREAS SHALL RECEIVE A 1" LAYER OF SHREDED PINE BARK MULCH OVER 10" MULCH WEED MAT EQUAL TO "WEEDBLOCK" BY EASY GARDENER OR DEWITT WEED BARRIERS.
- THE AREAS ON THE PLAN TO BE SEEDDED SHALL HAVE A MINIMUM OF TOPSOIL, DISK PLOWED, LEVELLED AND HAND RAKED SMOOTH. SURFACE SHALL BE ROLLED TO REMOVE LUMPS.
- ALL SEEDED AREAS SHALL BE HYDRASEEDED IN ACCORDANCE WITH THE SPECIFICATION INDICATED. WHERE REQUIRED BY CLIMATIC CONDITIONS, SOLE OR SEASON OF PLANTING, SOO MAY BE SUBSTITUTED FOR SEEDING IN ORDER TO ACHIEVE THE REQUIRED COVERAGE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING, MOWING AND OTHER MAINTENANCE TO SEEDED AREAS UNTIL THE PROJECT IS ACCEPTED BY THE OWNER. THIS SHALL INCLUDE WATERING DAILY FOR 10 DAYS OR AS REQUIRED BY WEATHER CONDITIONS AND RESEEDING OF THIN SPOTS FOLLOWING THE COMPLETION OF THE SEEDS.

**PLANTING NOTES:**

- ALL INTERIOR LANDSCAPED AREAS SHALL HAVE A MINIMUM PLANTING SOIL DEPTH OF THREE (3) FEET AND BE FREE FROM ALL FORMS OF CONSTRUCTION DEBRIS AND FOREIGN MATERIAL.
- ALL TREE PIT SAUCERS, SHRUB BEDS, ORNAMENTAL GRASS BEDS, AND PERENNIAL FLOWER BEDS SHALL RECEIVE "PREEM" HERBICIDE AND THREE (3) INCHES DEPTH OF DARK SHREDED HARDWOOD BARK MULCH.
- ALL SEASONAL FLOWER BEDS SHALL BE A MINIMUM OF TWELVE (12) INCHES DEEP WITH A WELL-BLENDED MIXTURE OF SOO PLANT MOSS & SOO SCREENED TOPSOIL. SEASONAL FLOWER BEDS SHALL RECEIVE "PREEM" HERBICIDE. NO MULCH SHALL BE INSTALLED IN THE SEASONAL FLOWER BEDS.
- ALL DECIDUOUS AND EVERGREEN TREES SHALL BE STAKED WITH THREE (3) TREE STAKES AS PER TREE PLANTING DETAIL.

**LEGEND:**



**TOWN OF AMHERST APPROVAL BOX:**

DATE: \_\_\_\_\_

DESCRIPTION: \_\_\_\_\_

DATE: \_\_\_\_\_

DESCRIPTION: \_\_\_\_\_

DATE: \_\_\_\_\_

DESCRIPTION: \_\_\_\_\_

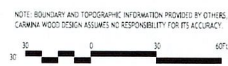
REV.	DESCRIPTION	DATE



**DRAWING NAME:**  
 Enlarged Landscape Plan

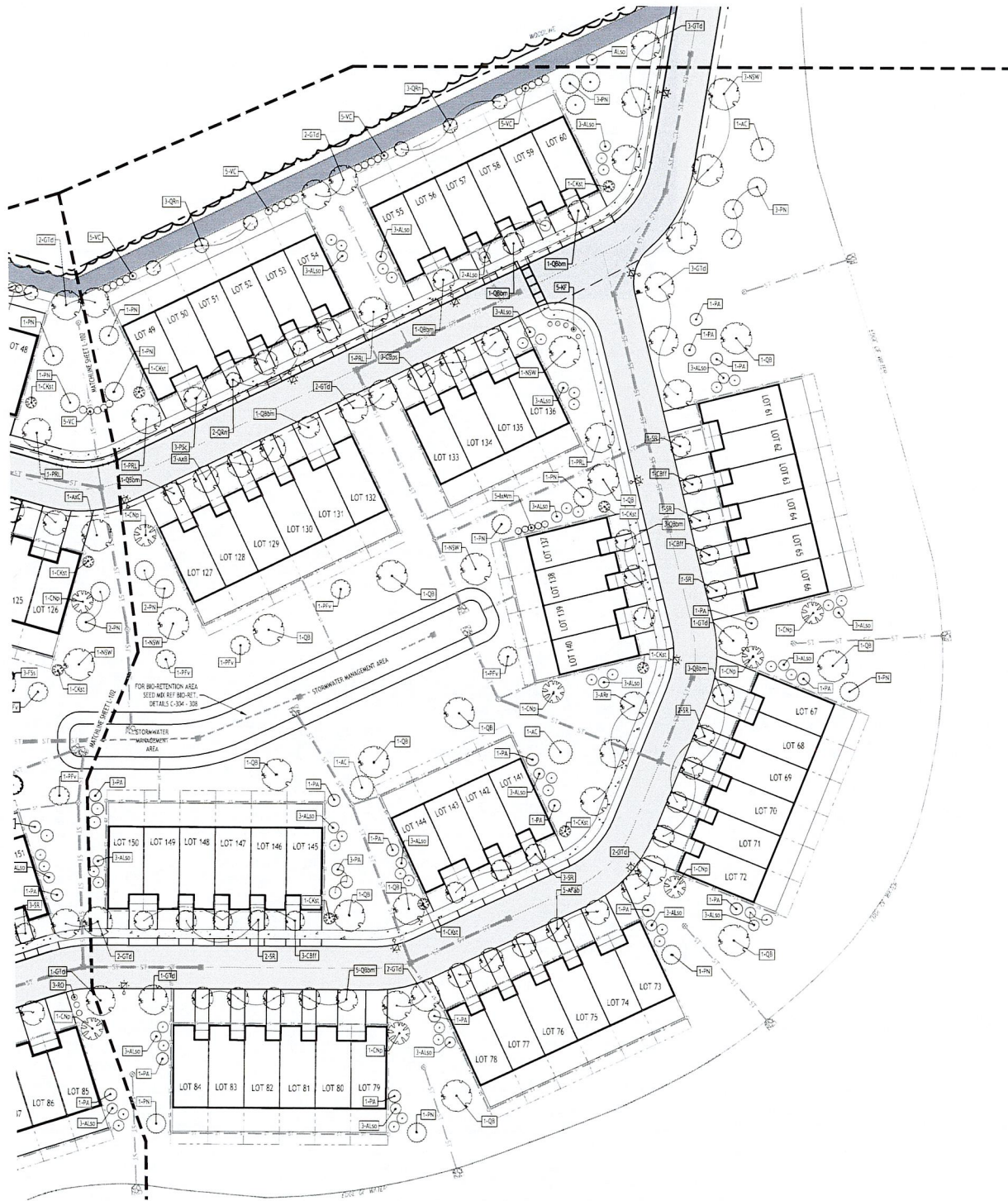
Date: 03.13.24  
 Drawn By: D. Feys  
 Scale: As Noted

**DRAWING NO.:**  
**L-102**  
 Project No: 25-4080



NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

All items indicated on these drawings are the property of CARMINA WOOD DESIGN, INC. and shall remain the property of CARMINA WOOD DESIGN, INC. until such time as the drawings are approved by the appropriate authority. Carmina Wood Design, Inc. is not responsible for any errors or omissions on these drawings. All items indicated on these drawings are the property of CARMINA WOOD DESIGN, INC. and shall remain the property of CARMINA WOOD DESIGN, INC. until such time as the drawings are approved by the appropriate authority.



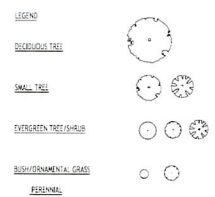
**PER TOWN OF AMHERST CODE:**  
 ALL REFUSE CONTAINERS & ALL MECHANICAL EQUIPMENT, UTILITY STRUCTURES, MULTIPLE METER BOARDS, CONTRACTORS, WPS, & SIMILAR APPEARANCES, INCLUDING THOSE WHICH ARE MOUNTED ON ANY PART OF A PRIMARY STRUCTURE SHALL BE SHOWN ON THE SITE PLAN & APPROPRIATELY SCREENED BY A FENCE, WALL, B OR LANDSCAPING AS REQUIRED BY 203-7-2-4(C) & 203-7-2-4(D) OF TOWN CODE. SUCH SCREENING SHALL BE SHOWN ON THE PLANS SUBMITTED FOR REVIEW. PROVIDE GATE ON REFUSE ENCLOSURE THAT SHALL BE CLOSED WHENEVER REFUSE CONTAINERS ARE NOT BEING SERVICED & ENCLOSURE SHALL BE HIGH ENOUGH TO SCREEN THE REFUSE CONTAINERS WITHIN.

**PER TOWN OF AMHERST CODE:**  
 ALL DEAD OR WEAKENING EXISTING PLANTS FROM THE PREVIOUSLY APPROVED SITE PLANS SHALL BE REPLACED/INSTALLED AS PER ZONING ORDINANCE 7-3-2(A)(1). CONTRACTOR SHALL REFER TO PREVIOUSLY APPROVED SITE AND LANDSCAPE PLANS BY OTHERS FOR ALL LANDSCAPE REFERENCES.

**PER TOWN OF AMHERST CODE:**  
 CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ALL POSSIBLE TYPES OF ROOT, TRUNK, AND LIMB DAMAGE, INCLUDING BUT NOT LIMITED TO, STAMP, WALLS WHICH PREVENT FILLING ON TOP OF ROOTS OR EXCAVATING TREE ROOTS AS PER ZONING ORDINANCE 7-3-2(B)(1).

- LANDSCAPE NOTES:**
- ALL PLANTS INSTALLED SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED ON THE PLANS AND IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z603.1
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF. THE QUANTITIES SHOWN ARE A MINIMUM AND ARE FOR REFERENCE ONLY.
  - THE CONTRACTOR SHALL PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANTING MATERIAL LOCATIONS AND CONTACT THE OWNERS FIELD REPRESENTATIVE PRIOR TO ACTUAL INSTALLING. THE PLANTING MATERIAL LOCATIONS SHOWN ON THE PLANS ARE TO CONVEY THE DESIGN INTENT ONLY. ACTUAL LOCATIONS WILL BE FINALIZED BY THE OWNERS FIELD REPRESENTATIVE AT THE TIME OF INSTALLATION.
  - THE CONTRACTOR IS HEREBY NOTIFIED THAT IF UNDERGROUND UTILITIES EXIST IN THE VICINITY OF THE PLANTINGS, ALL PROPOSED PLANTINGS SHALL BE INSTALLED AT A MINIMUM OF 3' FROM ANY UNDERGROUND UTILITY. CONTACT THE OWNERS FIELD REPRESENTATIVE IF PLANTINGS SHOWN ON THE PLANS VIOLATE THIS SITUATION.
  - ALL TREES SHALL BE INSTALLED A MINIMUM OF 20' FROM ANY OVERHEAD ELECTRIC LINES.
  - PLANTING BACKFILL MIXTURE SHALL CONSIST OF 4 PARTS TOPSOIL, 1 PART PEAT MOSS, 1/2 PART WELL ROTTED MANURE, 10 LBS 5-10-5 PLANTING FERTILIZER PER CUBIC YARD.
  - STAKE AND WRAP TREES IMMEDIATELY FOLLOWING INSTALLATION.
  - ALL PLANTED AREAS SHALL RECEIVE A 1" LAYER OF SHEDDED PINE BARK MULCH OVER 10 ML. WEED MAT EQUAL TO "WEEDLOCK" BY EASY GARDENER OR BENTLEY WEED BARRIER.
  - THE AREAS ON THE PLAN TO BE SEEDBED SHALL HAVE A MINIMUM OF TOPSOIL, DISK PLOWED, LEVELED AND HAND RAKED SMOOTH. SURFACE SHALL BE ROLLED TO REMOVE LUMPS.
  - ALL SEEDBED AREAS SHALL BE HYDROSEEDING IN ACCORDANCE WITH THE SPECIFICATION INDICATED. WHERE REQUIRED BY CLIMATIC CONDITIONS, SOPE OR SEASON OF PLANTING, SOU MAY BE SUBSTITUTED FOR SEEDING IN ORDER TO ACHIEVE THE REQUIRED COVERAGE.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING, MOWING AND OTHER MAINTENANCE TO SEEDBED AREAS UNTIL THE PROJECT IS ACCEPTED BY THE OWNER. THIS SHALL INCLUDE WATERING DAILY FOR 15 DAYS OR AS REQUIRED BY WEATHER CONDITIONS AND RE-SEEDING OF THIN SPOTS FOLLOWING THE GERMINATION OF THE SEEDS.

- PLANTING NOTES:**
- ALL INTERIOR LANDSCAPED AREAS SHALL HAVE A MINIMUM PLANTING SOIL DEPTH OF THREE (3) FEET AND BE FREE FROM ALL FORMS OF CONSTRUCTION DEBRIS AND FOREIGN MATERIAL.
  - ALL TREE PIT SAUCERS, SHRUB BEDS, ORNAMENTAL GRASS BEDS, AND PERENNIAL FLOWER BEDS SHALL RECEIVE "GREEN" VERBENACE AND THREE (3) INCHES DEPTH OF DARK SHREDED HARDWOOD BARK MULCH.
  - ALL SEASONAL FLOWER BEDS SHALL BE A MINIMUM OF TWELVE (12) INCHES DEEP WITH A WELL-BLENDED MIXTURE OF SOFT PEAT MOSS & SOFT SCREENED TOPSOIL. SEASONAL FLOWER BEDS SHALL RECEIVE "GREEN" VERBENACE. NO MULCH SHALL BE INSTALLED IN THE SEASONAL FLOWER BEDS.
  - ALL DECIDUOUS AND EVERGREEN TREES SHALL BE STAKED WITH THREE (3) TREE STAKES AS PER TREE PLANTING DETAIL.



**TOWN OF AMHERST APPROVAL BOX:**

DATE: \_\_\_\_\_

REVISIONS:

No.	Description



**N Enlarged Landscape Plan**  
 SCALE: 1" = 30'

**Townhomes at Muir Woods**  
 770 John James Audubon Parkway  
 Amherst, New York

DATE: \_\_\_\_\_

REVISIONS:

No.	Description



DRAWING NAME:  
**Enlarged Landscape Plan**

Date: 03.13.26  
 Drawn By: D. Feyes  
 Scale: As Noted

DRAWING NO.:  
**L-103**  
 Project No: 25-4080

Plant Schedule - 770 John James Audubon Parkway, Amherst, New York

All plants referenced herein are shown without the appropriate codes, specifications or schedule numbers. It is the responsibility of the contractor to verify the availability of all plants and quantities. The contractor shall obtain all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

© CARMINA WOOD DESIGN

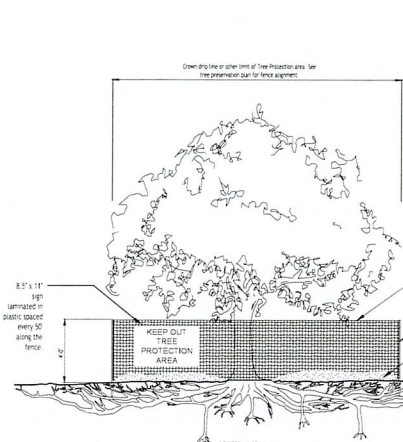
KEY	QTY.	BOTANICAL NAME	COMMON NAME	MIN. SIZE	REMARKS
<b>D E C I D U O U S T R E E S</b>					
QB	35	<i>Quercus bicolor</i>	Swamp White Oak	2 1/2" - 3" CAL.	B&B, HT. 60', W. 40'
GTd	31	<i>Gleditsia triacanthos</i> 'Draves'	Street Keeper Honey Locust	2 1/2" - 3" CAL.	B&B, HT. 40', W. 35'
AvC	11	<i>Aesculus x carnea</i> 'Brioti'	Red Horse Chestnut	2 1/2" - 3" CAL.	B&B, HT. 60', W. 40'
AvB	7	<i>Aesculus bushii</i> 'Aaron 1'	Mystic Ruby Buckeye	2 1/2" - 3" CAL.	B&B, HT. 30', W. 15'
ARr	7	<i>Acer rubrum</i> 'Redpointe'	Sun Valley Red Maple	2 1/2" - 3" CAL.	B&B, HT. 30', W. 35'
QM	3	<i>Quercus macrocarpa</i> 'JFS-KW3' PP22815	Urban Pinnacle Oak	2 1/2" - 3" CAL.	B&B, HT. 50', W. 25'
AFab	5	<i>Acer freemanii</i> 'Jeffersred'	Autumn Blaze Maple	2 1/2" - 3" CAL.	B&B, HT. 40', W. 30'
OPgo	5	<i>Quercus palustris</i> 'Green Pillar'	Green Pillar Pin Oak	2 1/2" - 3" CAL.	B&B, HT. 35', W. 18'
NSW	7	<i>Nyssa sylvatica</i> 'Wildfire'	Wildfire Tupelo	2 1/2" - 3" CAL.	B&B, HT. 35', W. 18'
CBF	15	<i>Carpinus betulus</i> 'Frans Fontaine'	European Hornbeam - Frans Fontaine	2 1/2" - 3" CAL.	B&B, HT. 35', W. 15'
QRn	43	<i>Quercus robur x bicolor</i> 'Nadler PP17604'	Kindred Spirit Oak	2 1/2" - 3" CAL.	B&B, HT. 30', W. 6'
QBbm	29	<i>Quercus bicolor</i> 'Bonnie & Mike'	Bonnie & Mike Oak	2 1/2" - 3" CAL.	B&B, HT. 40', W. 15'
FSt	11	<i>Nyssa sylvatica</i> 'JFS-red'	Fire Starter Back Tupelo	2 1/2" - 3" CAL.	B&B, HT. 35', W. 18'
FSa	5	<i>Fagus sylvatica</i> 'Fernleaf'	Fernleaf Beech	2 1/2" - 3" CAL.	B&B, HT. 35', W. 25'
GBps	12	<i>Ginkgo biloba</i> 'Princeton Sentry'	Princeton Sentry Ginkgo(Maidenhair Tree)	2 1/2" - 3" CAL.	B&B, HT. 40', W. 20'
FSs	5	<i>Fagus sylvatica</i> 'Riversia'	Rivers Purple Beech	2 1/2" - 3" CAL.	B&B, HT. 60', W. 40'
PSc	7	<i>Prunus sargentii</i> 'Columbian'	Columnar Sargent Cherry	2 1/2" - 3" CAL.	B&B, HT. 35', W. 15'
PRL	5	<i>Robinia pseudoacacia</i> 'Purple Robe'	Purple Robe Black Locust	2 1/2" - 3" CAL.	B&B, HT. 35', W. 15'
ELE	10	<i>Ulmus parviflora</i> 'BNSUBF'	Everclear Lacebark Elm	2 1/2" - 3" CAL.	B&B, HT. 40', W. 20'

<b>S M A L L / O R N A M E N T A L T R E E S</b>					
CKst	20	<i>Cornus kousa</i> 'Snow Tower' 'PPAF'	Snow Tower Kousa Dogwood	1 1/2" x 2 1/2" CAL.	B&B, HT. 15', W. 8'
SR	16	<i>Syringa reticulata</i>	Ivory Silk Lilac	1 1/2" x 2 1/2" CAL.	B&B, HT. 20', W. 15'
ALso	81	<i>Amelanchier laevis</i> 'Standing Ovation'	Standing Ovation Serviceberry	1 1/2" x 2" CAL.	B&B, HT. 20', W. 15'

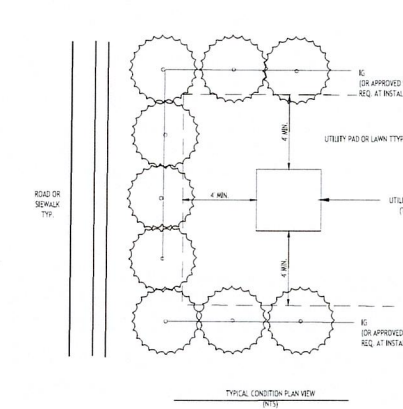
<b>E V E R G R E E N T R E E S</b>					
JS	2	<i>Juniperus scopulorum</i> 'Skyrocket'	Skyrocket Juniper	6-8' Tall	B&B, HT. 16', W. 4'
PA	67	<i>Picea abies</i> 'Hillside upright'	Norway Spruce - Upright	6-8' Tall	B&B, HT. 20', W. 8'
AC	16	<i>Abies concolor</i>	White Fir	6-8' Tall	B&B, HT. 60', W. 20'
JV	12	<i>Juniperus virginiana</i> 'Emerald Sentinel'	Emerald Red Cedar	6-8' Tall	B&B, HT. 20', W. 8'
CNp	13	<i>Chamaecyparis nootkatensis</i> 'Pendula'	Weeping Nootka Cypress	6-8' Tall	B&B, HT. 20', W. 8'
PFV	12	<i>Pinus flexilis</i> 'Vanderwolf's Pyramid'	Vanderwolf's Pyramid Limber Pine	6-8' Tall	B&B, HT. 20', W. 8'
CJbd	3	<i>Cryptomeria japonica</i> 'Black Dragon'	Black Dragon Japanese cedar	6-8' Tall	B&B, HT. 30', W. 15'
PN	73	<i>Pinus nigra</i>	Austrian Pine	6-8' Tall	B&B, HT. 40', W. 20'
PO	16	<i>Picea omarika</i>	Siberian Spruce	6-8' Tall	B&B, HT. 40', W. 12'
AK	3	<i>Abies koreana</i>	Korean Fir	6-8' Tall	B&B, HT. 35', W. 12'

<b>S H R U B S</b>					
IGb	22	<i>Ilex glabra compacta</i>	Inkberry Holly - Compact	24-36" Tall	B&B, HT. 4', W. 4'
CSd	41	<i>Cornus sericea</i>	Red Twig Dogwood	24-36" Tall	B&B, HT. 4', W. 4'
IGgb	15	<i>Ilex glabra</i> 'Gem Box'	Gem-box Inkberry Holly	24-36" Tall	B&B, HT. 4', W. 4'
IM	15	<i>Ilex x meserveae</i>	Blue Princess Holly	24-36" Tall	B&B, HT. 5', W. 5'
SNbl	6	<i>Sambucus nigra</i> 'Eva' Black Lace	Black Elder	24-36" Tall	B&B, HT. 4', W. 3'
IV	11	<i>Ilex verticillata</i>	Winterberry Holly	24-36" Tall	B&B, HT. 4', W. 5'
VC	25	<i>Viburnum carlesii</i>	Korean Spice Viburnum	24-36" Tall	B&B, HT. 5', W. 5'
AFR	12	<i>Cornus stolonifera</i> 'Arctic Fire'	Arctic Fire Red Twig Dogwood	24-36" Tall	B&B, HT. 4', W. 4'
CxS	10	<i>Chaenactis speciosa</i> 'Scarlet Storm'	Double Take Scarlet Flowering Quince	24-36" Tall	B&B, HT. 6', W. 6'

<b>G R A S S E S / P E R E N N I A L S / G R O U N D C O V E R S</b>					
RO	21	<i>Andropogon Gerardi</i> 'Red October'	Red October Big Blue Stem	18-24" Tall	Cont. #3, HT. 4', W. 4'
KF	23	<i>Calamagrostis x acutiflora</i>	Karl Foerster Reed Grass	18-24" Tall	Cont. no.3 - 3tall, 2"wide
NxF	25	<i>Nepeta x frassonii</i>	Nepeta - Walkers Low Catmint	6-12" Tall	Cont. no.3 - 18" tall, 1-4" wide

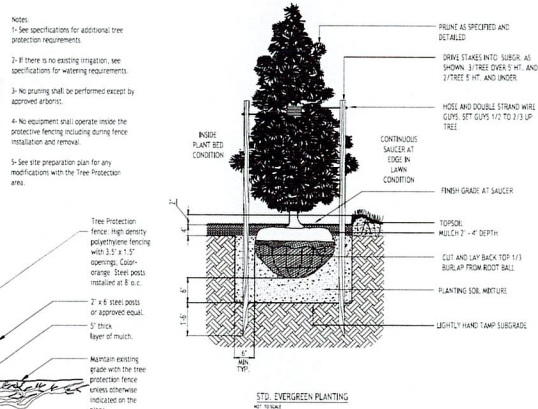


TREE PROTECTION / SAFETY NETTING

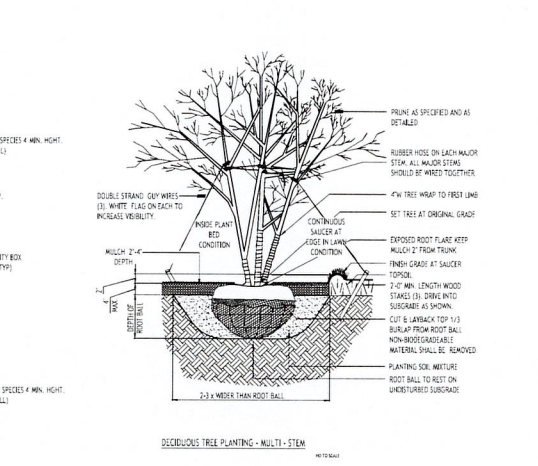


- NOTES:
- USE EVERGREEN SHRUBS TO SCREEN ALL ABOVEGROUND UTILITY BOXES AND INFRASTRUCTURE FROM ADJACENT ROAD OR SIDEWALK PER TOWN OF AMHERST CODE.
  - PROVIDE A MINIMUM 4' OFFSET FROM THE SHRUBS PLANTED EDGE TO THE EDGE OF THE UTILITY BOX TO ALLOW ENOUGH CLEARANCE FOR UTILITY MAINTENANCE TO BE PERFORMED.

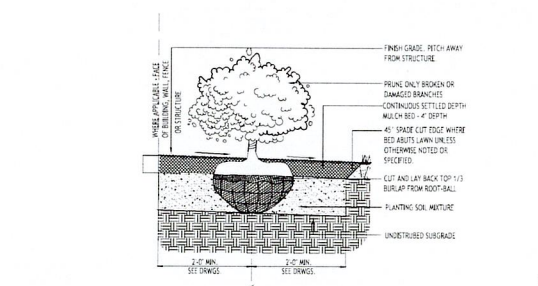
TYPICAL SHRUB PLANTING TO SCREEN UTILITY INFRASTRUCTURE



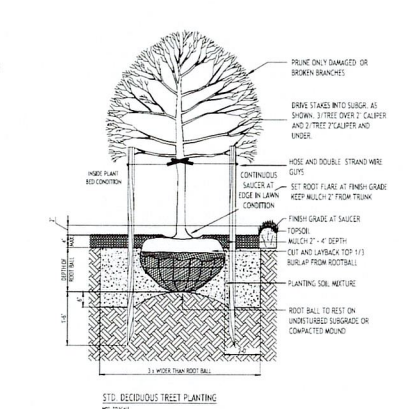
STD. EVERGREEN PLANTING



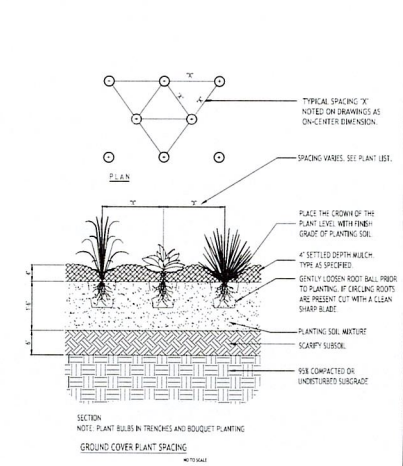
DECIDUOUS TREE PLANTING - MULTI - STEM



STD. SHRUB PLANTING



STD. DECIDUOUS TREE PLANTING



SECTION: PLANT BULBS IN TRENCHES AND SQUIGLET PLANTING

GROUND COVER PLANT SPACING

TOWN OF AMHERST APPROVAL BOX:

**CARMINA WOOD**  
 DESIGN  
 Buffalo | Utica | Greensboro

Townhomes at Muir Woods  
 770 John James Audubon Parkway  
 Amherst, New York

REV.	DESCRIPTION



DRAWING NAME:  
 Landscape  
 Details  
 Plant Schedule

Date: 03.13.24  
 Drawn By: D. Foley  
 Scale: As Noted

DRAWING NO.  
**L-104**  
 Project No: 25-4080

# **EXHIBIT F**



# Town of Amherst

**Brian J. Kulpa**  
Town Supervisor

AMENDMENT #51 TO THE AUDUBON DEVELOPMENT PLAN  
TO RECLASSIFY A PORTION OF 326± ACRES OF LAND  
FROM NCD-ND & NCD-MOS to NCD-GC, NCD-RI & NCD-MOS  
1081 & 1121 North French Road  
(Z-9-02)

## CERTIFICATION OF AMENDED FINDINGS

Having considered the Draft and Final Generic EIS documents, and having considered the preceding written facts and conclusions relied upon to meet the requirements of 6 NYCRR 617, this Amended Statement of Findings certifies that:

1. The requirements of 6 NYCRR Part 617 have been met;
2. Consistent with the social, economic and other essential considerations from among the reasonable alternatives thereto, the action **approved** is one which minimizes or avoids adverse environmental effects to the maximum extent practicable; including the effects disclosed in the Generic Environmental Impact Statements, and the Application to Amend the Findings Statement, and
3. Consistent with social, economic and other essential considerations, to the maximum extent practicable, adverse environmental effects revealed in the Environmental Impact Statement process and the Second Application to Amend the Findings Statement will be minimized or avoided by incorporating as conditions to the decision those mitigative measures which were identified as practicable.

### TOWN OF AMHERST

Name of Agency

Signature of Responsible Official

BRIAN J. KULPA

Name of Responsible Official

TOWN SUPERVISOR

Title of Responsible Official

September 27, 2021

Date

5583 MAIN STREET, WILLIAMSVILLE, NY 14221

Address of Agency

Certification of Amended Findings  
Amendment #51 to the Audubon Development Plan (Z-9-02)

**RESOLUTION**

WHEREAS, following the April 16, 2004 submittal of a Draft Generic Environmental Impact Statement (DGEIS) prepared by Ciminelli Development Company, Inc., the DGEIS was accepted by the Town Board on September 7, 2004. The DGEIS was submitted for the proposed rezoning from NCD-ND & NCD-MOS to NCD-GC, NCD-RI & NCD-MOS and development of 326± acres of land located at 1081 & 1121 North French Road. On October 28, 2004, the Planning Board held a public hearing on the DGEIS and rezoning request and recommended approval of the subject petition. Subsequently, a public hearing on the DGEIS and rezoning request was held by the Town Board on March 2, 2005. A Final Generic Environmental Impact Statement (FGEIS) was accepted by the Town Board on November 5, 2007, and a Notice of Completion of the FGEIS was filed on November 14, 2007; and

WHEREAS, the Planning Board and the Town Board have considered the content of the DGEIS, the FGEIS, and all other documents and comments and submissions made during and after the hearings.

WHEREAS, on February 18, 2014, the Project Sponsor submitted an Application to Amend the Findings Statement and Audubon Development Plan along with supporting documentation. The Planning Board held a public hearing on the Application during its meeting on March 14, 2014 and it recommended approval of the Application. On June 16, 2014, the Town Board held a public hearing on the Application but did not issue a decision on the Application.

WHEREAS, on August 17, 2015, the Project Sponsor submitted an Amended Application to Amend the Findings Statement and Audubon Development Plan for the purpose of modifying the Application filed on February 18, 2014.

WHEREAS, the Planning Board held a public hearing on the Amended Application during its meeting on September 17, 2015 and the Planning Board recommended in favor of the Application. On November 16, 2015, the Town Board held a public hearing on the Application. On December 7, 2015, the Town Board voted to issue an Amended Findings Statement based on its determination that the potential modifications to the Muir Woods Project will not result in any potentially significant adverse environmental impacts that were not thoroughly evaluated in connection with the comprehensive environmental review of the Project that concluded with the original issuance of a Findings Statement on December 17, 2007.

WHEREAS, the Planning Board conducted a coordinated environmental review of the development of Sites C and D of the overall Project Site as a 133 lot residential subdivision. On September 14, 2017, the Planning Board issued a negative declaration pursuant to SEQRA for the subdivision based on its determination that the subdivision would not result in any potentially significant adverse environmental impacts.

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WHEREAS, on April 15, 2019, the Project Sponsor submitted an Application to Amend the Findings Statement and Audubon Development Plan along with supporting documentation. The requested amendment of the Findings Statement issued by the Town Board on December 17, 2017 was to allow student housing to be developed on Site B of the overall Muir Woods Project Site (“Application to Amend the Findings Statement”). The Planning Board held public hearings on the Application to Amend the Findings Statement during its meeting on May 16, 2019 and June 20, 2019 it adopted a resolution recommended approval of the Application to Amend the Findings Statement during its meeting on June 20, 2019.

WHEREAS, on August 5, 2019, the Town Board held a public hearing on the Application to Amend the Findings Statement. On August 5, 2019, the Town Board voted three to one to amend the Findings Statement based on its determination that the potential modifications to the Muir Woods Project will not result in any potentially significant adverse environmental impacts that were not thoroughly evaluated in connection with the previous comprehensive environmental review of the Project that concluded with the issuance of a Findings Statement on December 7, 2007 and the issuance of an Amended Findings Statement on December 7, 2015.

WHEREAS, on June 24, 2020, the Project Sponsor submitted an Application to Amend the Findings Statement issued by the Town Board on December 17, 2017 and to Amend the Comprehensive Plan for Site A of the Muir Woods Project to allow a mixed-use project to be developed on Site A of the overall Muir Woods Project Site (hereinafter collectively the “Application to Amend the Findings Statement”). The Planning Board held a public hearing on the Application to Amend the Findings Statement during its meeting on August 20, 2020 and at the same meeting adopted a resolution recommending approval of the Application to Amend the Findings Statement by the Town Board.

WHEREAS, on October 6, 2020, the Town Board held a public hearing on the Application to Amend the Findings Statement. On October 19, 2020, the Town Board voted to issue the Amended Findings Statement based on its determination that the potential modifications to the Muir Woods Project will not result in any potentially significant adverse environmental impacts that were not thoroughly evaluated in connection with the previous comprehensive environmental review of the Project that concluded with the issuance of a Findings Statement on December 7, 2007, and the issuance of an Amended Findings Statements on December 7, 2015 and August 5, 2019.

WHEREAS, on July 7, 2021, Sawyers Landing LLC submitted an Application to Amend the Findings Statement issued by the Town Board on October 19, 2020 in order to seek to increase the allowable residential density from 202 units to 258 units. The Planning Board held a public hearing on the Application to Amend the Findings Statement during its meeting on August 19, 2021 and at the same meeting adopted a resolution recommending approval of the Application to Amend the Findings Statement by the Town Board.

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WHEREAS, on September 27 2021, the Town Board held a public hearing on the Application to Amend the Findings Statement. On September 27 2021, the Town Board voted to issue the Amended Findings Statement based on its determination that the potential modifications to the Muir Woods Project will not result in any potentially significant adverse environmental impacts that were not thoroughly evaluated in connection with the previous comprehensive environmental review of the Project that concluded with the issuance of a Findings Statement on December 7, 2007, and the issuance of an Amended Findings Statements on December 7, 2015 and August 5, 2019 and October 19, 2020.

NOW THEREFORE THE TOWN BOARD FINDS AND DETERMINES THAT:

1. These Amended Findings set forth specific conditions and criteria consistent with 6 NYCRR Sections 617.7, 617.9, 617.11, and 617.12 under which the site plan process can proceed. This process provides procedures to supplement the FGEIS if necessary and for public notice and opportunity to participate in hearings before the Town Planning Board before it approves a site plan. An Environmental Assessment Form will be required with site plan application for environmental review. If the proposed development does not conform with these Amended Findings, a Supplemental Findings Statement, a supplement to the FGEIS, or a Negative Declaration shall be prepared to comply with 6 NYCRR Section 617.9.
2. The proposed mixed-use, student housing and residential development as presented in the FGEIS and the Application to Amend the Findings Statement submitted to the Planning Department on July 6, 2021 is consistent with the intent and objectives of the Zoning Ordinance.
3. Adequate services and utilities must be available prior to occupancy. Review and approval of services and utilities by the Town agencies will be required for site plan approval.
4. Development will be consistent with all other applicable laws, rules and regulations.
5. As provided in 6NYCRR Part 617.10, the Town Board chose to require the preparation of a draft Generic Environmental Impact Statement (DGEIS) instead of a draft Environmental Impact Statement (DEIS) for this project. This decision was based on the scope and timetable of the development described by the Project Sponsor and depicted in the Conceptual Master Plan, which showed a multi-use development on 330± acres of land, to be built out over a 15-20 year period. The Board's decision is also based on the following reasons:
  - A DGEIS provides a lead agency with the framework for properly evaluating a conceptual master plan while identifying the important elements of the environmental setting associated with the project site. A DGEIS assesses a

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broad scope of a group of actions or a combination of effects from a single action.

- The utilization of a DGEIS provides the Town Board with the authority to establish specific criteria and thresholds by which future actions such as site plan and subdivision applications will be reviewed, including requirements for ensuring subsequent compliance with SEQR.
  - The Town Board's decision to require the Project Sponsor to prepare a DGEIS acknowledges that the specific layout and appearance of the development cannot be determined at this time but rather will be decided over a period of several years and subject to market demands, and the development of the project will occur in stages.
  - The SEQR regulations state that a DGEIS is appropriate for a series or sequence of separate actions and/or projects that have wide application or restrict the range of future alternative policies.
  - The Town Board's utilization of a DGEIS affords it the opportunity to evaluate a broad range of anticipated impacts, and it also ensures that related actions will not be segmented in order to avoid the required analysis of the proposed development of the overall project site.
6. By the time the Findings Statement was issued by the Town Board on December 17, 2007, the proposed Muir Woods development had been significantly revised since its initial submittal in 2002, resulting in a reduction in the commercial/office component of the project from 1.8± million sq. ft. to 700,000± sq. ft. and in the residential component from 200± units to 136± units. These changes were made in response to the NYS Department of Environmental Conservation, the U.S. Army Corps of Engineers and the public to minimize impacts to wetland areas to the greatest extent possible.

Following the issuance of the Findings Statement by the Town Board on December 17, 2007, the Project Sponsor obtained the required wetland permits from the New York State Department of Environmental Conservation and the United State Army Corps of Engineers. In an effort to address current market needs while maintaining the intent of the project site New Community District zoning, the Project Sponsor submitted an Application to Amend the Findings Statement in February of 2014 to expand the range of uses within Site B of the project site to specifically allow for multi-family housing in addition to the previously approved office/retail development.

Based on input received during the review of the Application to Amend the Findings Statement to allow for multi-family housing on Site B, the Project Sponsor submitted an Amended Application to Amend the Findings Statement and Audubon Development Plan on August 17, 2015 for the purpose of modifying the Application filed on February 18, 2014. The Amended Application proposed to modify the permitted use of the eastern portion of Site B, comprised of approximately 26 acres. Pursuant to the updated Application, the western

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portion of Site B comprised of approximately 20 acres would have remained designated for commercial office and retail development per the Finding Statement issued by the Town Board on December 17, 2007.

Subsequent to the issuance of an Amended Findings Statement by the Town Board on December 7, 2015, the Project Sponsor sought the required approvals and permits for the development of Sites C and D of the Project Site as a 133 lot residential subdivision that includes a roadway connection to Campbell Boulevard on 520 Campbell Boulevard. The Planning Board thoroughly considered the potential adverse environmental impacts associated with the subdivision and issued a negative declaration pursuant to SEQR on September 14, 2017 based on its determination that the 133 lot residential subdivision on Sites C and D would not result in any potentially significant adverse environmental impacts. On September 14, 2017, the Planning Board granted Site Plan Approval for the subdivision, and on June 21, 2018 granted Final Plat Approval for the subdivision. A map cover for the approved 133 residential subdivision was filed with the Erie County Clerk's Office on July 24, 2018, and construction activities in furtherance of the construction of the subdivision began in the fall of 2018.

Following the issuance of the Amended Findings Statement by the Town Board on December 7, 2015, the Project Sponsor sought and obtained extensions of the expiration dates of the wetland permits previously issued by the New York State Department of Environmental Conservation and the United States Army Corps of Engineers.

In an effort to allow student housing to be developed on Site B while maintaining the intent of the New Community District zoning, the Project Sponsor submitted an Application to Amend the Findings Statement on April 15, 2019. The Project Sponsor sought an Amendment of the Findings Statement to expand the range of uses within Site B of the project site to specifically allow for student housing in addition to the previously approved multifamily housing on the western 20± acres of Site B and the previously approved office/retail development on the eastern portion of Site B.

In an effort to allow a mixed-use project to be developed on Site A while maintaining the intent of the New Community District zoning, the Project Sponsor submitted an Application to Amend the Findings Statement and the adopted Comprehensive Plan on June 24, 2020. The Project Sponsor sought an Amendment of the Findings Statement to modify the land use category within Site A of the project site to replace the previously proposed 237,000 sq. ft. maximum Flex office/R&D use with a mixed-use development including 2 four-story mixed-use buildings along the Dodge Road frontage of Site A, 45 two-family townhomes and 2 six-unit single-story multifamily buildings. The Project Sponsor sought to amend the Comprehensive Plan to designate Site A as appropriate for Mixed Residential use. In connection with the proposed mixed-

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use development of Site A, the Project Sponsor proposed to reduce previously approved impacts to the federal wetlands subject to the jurisdiction of the United States Army Corps of Engineers (“USACE”) and also to the NYSDEC Freshwater Wetland and its regulated 100 ft. Adjacent Area.

On August 20, 2020, the Planning Board held public hearings in connection with its review of the Application to Amend the Findings Statement and the Comprehensive Plan as filed by the Project Sponsor on June 24, 2020. The Planning Board adopted resolutions during its meeting on August 20, 2020 by unanimous votes recommending that the Town Board issue the Amended Findings Statement and amend the Comprehensive Plan to designate Site A as appropriate for Mixed Residential use.

On October 6, 2020, the Town Board held public hearings in connection with its review of the Application to Amend the Findings Statement and the Comprehensive Plan as filed by the Project Sponsor on June 24, 2020. On October 19, 2020, the Town Board adopted Resolution 2020-791 for the purpose of issuing an Amended Findings Statement to allow Site A of the Muir Woods Property to be developed as a mixed-use residential/commercial project instead of the previously proposed flex office/R&D buildings. Resolution 2020-791 as adopted by the Town Board on October 6, 2020 also authorized the acquisition of approximately 43 acres of Permanent Open Space via a donation by the property owner consisting of property to the west of Site B including the eastern portion of Site A consisting of approximately 9.81 acres of wetlands subject to the jurisdiction of both the NYSDEC and USACE. During its meeting on October 19, 2020, the Town Board also adopted Resolution 2020-792 for the purpose of approving an amendment to the Comprehensive Plan to designate Site A as appropriate for a mixed-use residential/commercial use instead of the previously proposed flex office/R&D buildings

On December 24, 2020, the New York State Department of Environmental Conservation (“NYSDEC”) issued an Amended Wetland Permit [Permit No. 9-1422-00398/0001] authorizing the impacts to NYSDEC Freshwater Wetlands and the associated regulated 100 ft. Adjacent Area in order to accommodate the mixed-use development of Site “A”. The Amended Wetland Permit reduced the impacts to jurisdictional freshwater wetlands associated with the development of Site A from 9.46 acres to 1.2 acres and reduced the impacts with the development of Site A to the regulated 100 ft. wide adjacent area from 4.2 acres to 3.65 acres.

As a result of the Amended Wetland Permit issued by the NYSDEC on December 24, 2020, the development of the Muir Woods Property will result in permanent impacts to approximately 2.39 acres of State regulated wetlands (TE-22, TE-23 and TE-34), and 11.38 acres of State regulated 100 foot wide wetland adjacent area. As mitigation for those impacts the Project Sponsor is required to create 19.58 acres of in-kind and out-of-kind wetlands on the overall Muir Woods

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Property, in six areas, to replace the functions and benefits of the impacted wetlands. Additionally, there will be 4.3 acres of stream channel enhancement on-site as mitigation for State wetland regulated adjacent area impacts.

On February 25, 2021, the United States Army Corps of Engineers (“USACE”) issued an Amended Wetland Permit [LRB-2001-00067] authorizing impacts to 6.09 acres of federal wetlands, which was a reduction of 6.92 acres of previously authorized impact of 13.01 acre to federal wetlands, in order to accommodate the mixed-use project on Site A.

On July 7, 2021, Sawyers Landing LLC filed an Application to Amend the Findings Statement to accommodate an increase of the allowable density of the residential component of the mixed-use project on Site A from 202 units to 258 units.

7. A Supplemental GEIS, an option that the SEQR regulations leaves to the discretion of the Lead Agency, was not required for this project due to the Town Board’s decision that the reduction in the project described in #6, above did not meet the criteria set forth in 6NYCRR Part 617.9(a)(7). Although the changes proposed by the Project Sponsor reduced the development significantly, it was not determined that the amended project would encroach on any land not initially identified in the scope of the original development proposal. The project changes also did not result in newly discovered information, and would not result in any significant environmental impacts not addressed or inadequately addressed in the DGEIS.

8. Traffic and Transportation (FGEIS Section 2.1)

Site specific requirements shall be established by the Town, County and State, as appropriate, as development applications are reviewed. The developer shall be responsible for any traffic mitigation required for development of the project site.

The potential traffic impacts associated with the original project proposal were clearly analyzed and identified within the Traffic Impact Study prepared by Stantec Consulting Services, Inc. dated March 2003 and updated August of 2005 in association with the acceptance of the FGEIS.

The Amended Findings Statement issued by the Town Board on August 5, 2019 included the consideration of adding student housing to the authorized uses of Site B pursuant to the Amended Findings Statement issued by the Town Board on December 17, 2007. The Project Sponsor submitted a Traffic Impact Study for the purpose of evaluating the potential traffic impacts of the development of Site B as a maximum of 515 student housing units. It was determined that the potential traffic impacts associated with student housing on Site B will be less than the potential traffic impacts of the development of Site B in its entirety as a

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maximum of 464,850 sq. ft. of commercial office and retail development pursuant to the Findings Statement issued by the Town Board on December 17, 2007.

The Town Board, as Lead Agency, requires that the Project Sponsor comply with the following mitigation measures during the development of the project site:

A. Provision for Future Extension of John James Audubon Parkway to North French Road

The extension of John James Audubon Parkway through the project site and connecting to North French Road was proposed in the initial Concept Plan submitted for the Muir Woods project in 2002. This proposal was also incorporated into the DGEIS submitted to the Town in 2004. The connection was removed from the Concept Plan in response to the requirement from the NYS Department of Environmental Conservation to further reduce impacts to State and federal wetlands. The Town of Amherst may in the future be interested in the possibility of a future northerly extension of John James Audubon Parkway to North French Road while acknowledging such possible future extension would require approvals from both the NYS Department of Environmental Conservation and the United States Army Corps of Engineers.

The rationale for the road connection was found in several planning documents, both historical and recent:

- The Amherst Community Development Plan adopted by the Planning Board in 1975 includes the extension of the then-planned Lockport Expressway through the subject site as a future Minor Arterial road.
- A report prepared by NYSDOT in 1976 anticipated the extension of the John James Audubon Parkway and forecast its use by 1,950 vehicles per hour.
- The Amherst Bicentennial Comprehensive Plan, accepted by the Town Board in February 2004 and adopted by the Town Board in January 2007, identifies the “Audubon Parkway Extension” in the map showing the Future Thoroughfare System.

The 30+ years of anticipating this roadway connection point to its significance in meeting the transportation goal of improving circulation within the Town and the role this connection would play in overall Town development. Given its importance, the Town Board is requiring that the future location of this connector be shown on site plans submitted for review, and that sufficient land be reserved by the Project Sponsor for the eventual connection to be constructed. The road construction and alignment will be subject to approval by the NYSDEC and the U.S. Army Corps of Engineers, as applicable.

B. Residential Connection to Lynette Lane

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The residential component of the proposed Muir Woods development to occur on Sites C & D may have a direct road connection to Lynette Lane. There will be no direct roadway connection to Nancy Lane. Non-residential traffic will be discouraged from using Lynette Lane through the implementation of various traffic calming measures to be proposed during the site plan review process for the development of Sites C & D, subject to review of such traffic calming measures by the Town Traffic-Safety Board and Fire Chief's Association. These measures include:

1. The lack of direct sight lines for motorists to discourage non-residential traffic from utilizing Lynette Lane to access North French Road;
2. Curvilinear road design; and
3. Installation of signage posting the road for "resident and emergency traffic only" or other such measure to prohibit non-residential traffic from travelling on Lynette Lane and the proposed public roadways within the existing residential subdivision;

If a problem is determined to exist based on the Phase 2 traffic study, further measures to discourage traffic of prohibit cut-through traffic will be considered.

C. No Internal Roadway Connection to Dodge Road

The internal connector road within the Muir Woods development is not proposed to have a westerly connection to Dodge Road; the only direct vehicular connection to Dodge Road will be from the portion of the project located in the western portion of the project site (Site A). If warranted at some future time by a traffic analysis, a connection to Dodge Road may be made from the internal connector road if required permits for such a roadway connection can be obtained from the NYSDEC and the US Army Corps of Engineers.

D. Updated Traffic Impact Study

The Traffic Impact Study will be updated when any of three established thresholds are met:

1. Completion of Phase I development, defined as full build-out of Site B, or
2. prior to approval of any site plan in Site C or Site D or any direct or indirect connection to any of the Sites with Lynette Lane, or
3. when the number of combined vehicular trips entering and exiting the site during the AM weekday peak travel hour reaches 858 trips, or

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4. when the number of combined vehicular trips entering and exiting the site during the PM weekday peak travel hour reaches 774 trips.

If actual conditions exceed projections, this will be reflected in the updated TIS to be prepared by the Project Sponsor, and the Project Sponsor may be required to implement traffic related mitigation measure sooner than expected.

Any mitigation measures, including off-site mitigation measures that are required as a result of the updated TIS, shall be the sole obligation of the Project Sponsor, if approved. Any off-site improvements, including the acquisition of private property required to make those improvements, shall be conditions of any site plan approval and treated as Public Improvement Permits (PIPs) for the purpose of final permitting. At no time shall the Town be required to make any off-site improvements or acquire private property, either by purchase or through its eminent domain powers, to mitigate the impact of this development project.

E. Alternate Access to Campbell Boulevard

During the original environmental review of the proposed project which concluded with the Town Board's issuance of a Findings Statement on December 17, 2007, the Project Sponsor attempted to seek a vehicular connection from the site to Campbell Boulevard through property located at 520 Campbell Boulevard which is owned by the Williamsville Central School District. The Town also participated in efforts to obtain access to Campbell Boulevard via this property. These attempts were not successful.

The Project Sponsor eventually was successful in acquiring 520 Campbell Boulevard from the Williamsville Central School District on December 5, 2017 and the approved 133 residential subdivision on Sites C and D includes a public roadway connection on 520 Campbell Boulevard to Campbell Boulevard.

F. Construction Vehicles

As part of the public comment period for the project, concerns were raised regarding the use of construction vehicles on existing residential streets in the adjacent Franklin Heights Subdivision to access the project site during project construction. In order to avoid the adverse environmental impacts associated with construction vehicles, existing residential streets shall not be utilized by construction vehicles to access the project site. The infrastructure to be constructed for the project shall be appropriately sequenced so that construction vehicles can access the site via the northerly extension of John James Audubon Parkway and Doge Road only.

Any future builder, owner or developer who purchases lots for development within Site C & D shall be prohibited from using Lynette Lane as a means of

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access for construction vehicles. A deed restriction incorporating this restriction shall be a prerequisite of the sale of any lots within Sites C and D, and the Town shall be provided with a copy of the recorded deed restriction, which shall not be recorded at the Erie County Clerk's Office until the content and form of the deed restriction has been reviewed and approved by the Building Department and Town Attorney's Office.

On June 21, 2018, a Declaration of Restrictions was recorded at the Erie County Clerk's Office (Liber 11330 of Deeds at Page 8243) for the purpose of complying with the relevant portion of the Amended Findings Statement prohibiting construction vehicles from utilizing Lynette Lane for access by construction vehicles.

G. Break in Access for Connection to Lockport Expressway (I-990)

The proposed northerly extension of John James Audubon Parkway as a Town roadway to provide access to the project site requires a break in access to the Lockport Expressway (I-990). The NYSDOT has been aware of this requirement since the initial petition by the Project Sponsor in 2002. Prior to the granting of the break in access, several conditions must be met, including completion of any required environmental compliance. Once completed and inspected, the Project Sponsor will be required to dedicate the northern extension of John James Audubon Parkway to the Town for permanent use as a public roadway to be dedicated to the Town of Amherst.

On May 20, 2019, the Town Board adopted a resolution stating the Town will serve as the applicant for the required Break-in-Access for the proposed northerly extension of John James Audubon Parkway as a public roadway to be dedicated to the Town of Amherst.

The Town filed an Application for Break-in-Access with the New York State Department of Transportation on August 21, 2019. The NYSDOT has not yet issued a decision on the pending request for Break-in-Access approval.

The Break-in-Access for the proposed northerly extension of John James Audubon Parkway as a public roadway to be dedicated to the Town of Amherst will result in numerous public benefits including, but not limited to, accommodating the potential future extension of the NFTA light rail and a terminus for such light rail on Site B, publicly accessible parking for a recreational trail that will cross the overall Muir Woods Project Site and connect to the Town's recreational trail (extending from Niagara Falls Boulevard to the trailhead near the intersection of North Forest Road and Maple Road), and a potential future extension of John James Audubon Parkway as a public roadway connecting to North French Road.

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H. Traffic Mitigation Measures

Dodge Road / Project Site Roadway

Phase I development:

- Installation of a stop sign to the southbound (site driveway) approach
- Construction of one shared left-right turn lane for southbound site driveway approach

Full development:

- No additional improvements

John James Audubon Parkway / I-990 Ramps

Phase I development:

Upon the completion of Phase I development, (Phase I development defined in Section 8, Part D.1. of this Amended Findings Statement) the Project Sponsor shall be required to provide a current trip count Report for both the a.m. and p.m. peak travel hours. Subject to the findings of a warrant analysis prepared in accordance with appropriate traffic engineering standards as determined by the updated trip count Report and based on an analysis of the potential impacts upon existing Levels of Service at this intersection, the Project Sponsor may be required to work with the New York State Department of Transportation to provide the following mitigation measures:

- Installation of traffic signals, each with their own controller, at both the northbound and southbound I-990 to John James Audubon Parkway
- Installation of a wire connection between these two new signals and the existing traffic signal at John James Audubon Parkway and Dodge Road in order to coordinate all three traffic signals
- Widening of both the northbound and southbound I-990 off-ramps to provide one additional turning lane on each ramp approach to John James Audubon Parkway

Full development: If any of the thresholds identified in 'D' above are met, the following improvements will be evaluated and may be required:

- installation of a third lane to the northbound off-ramp in order to provide two left turn lanes and one right turn lane
- add a free-flow southbound right turn lane at the southbound ramp, including a second receiving lane on the ramp to merge to one lane prior to the I-990 mainline

Dodge Road / John James Audubon Parkway

Phase I development:

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- Traffic signal timings will need to be adjusted periodically over time as warranted by changing travel patterns

Full development:

- Construction of a westbound right turn lane. It is anticipated that this improvement will be required when approximately 75% of the development is complete or when the number of westbound right turning vehicles from Dodge Road exceeds 300 vehicles per hour during the morning peak travel period.

North French Road / Sweet Home Road

Phase I development:

- Adjustments to traffic signal timing as travel patterns warrant modification

Full Development:

- Construction of an eastbound right turn lane. Traffic volumes turning right at this location currently exceed guidelines recommended in the Highway Capacity Manual for consideration of installing a separate right turn lane. While construction of this lane is currently warranted to address current existing traffic operations in the area, it will not be needed as a result of traffic to be generated by the proposed development of the project site until approximately 90% of the proposed development has been completed, since new traffic projected to be generated by the project will only add a few additional vehicular trips to this traffic movement.
- Modify signal timings during both the morning and evening peak hours, as necessary. Recent improvements to this intersection to provide protected phasing for the left turns will reduce the number of left turn accidents at this location. Additionally, future planned improvements to be implemented by Erie County will assist in further reductions in the number of accidents at this intersection.

North French Road / Campbell Boulevard

Phase I development

- Adjustments to traffic signal timing as travel patterns warrant modification

Full development:

- Add protected/permitted phasing for eastbound, northbound and southbound left turns when the traffic signal is upgraded in association with the improvement identified above.

North French Road / I-990 Ramps

Dodge Road / Sweet Home Road

Dodge Road / Campbell Boulevard

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be 4.3 acres of stream channel enhancement on-site (totaling approximately 2,630 linear feet).

- The development of the eastern portion of Site B for residential purposes, shall not include any owner occupied housing units within the State regulated wetland or the 100 ft. regulated Adjacent Area that do not involve oversight by either a homeowners or condominium association to ensure there will not be any impacts into the 100 ft. regulated wetland Adjacent Area that is to be preserved on Site B.

Federal Wetlands:

As stated in its letter dated August 27, 2007, the United States Army Corps of Engineers (USACE) has field verified that the federal wetland boundaries located on the Muir Woods project site as shown on the wetland delineation map prepared by Greenman-Pedersen, Inc. dated May 2007 are accurate. The wetland areas were delineated by Earth Dimensions, Inc. and summarized in a final wetland delineation report dated May 16, 2007.

The Project Sponsor provided a complete Joint Application For Permit for wetland impacts associated with the project to the USACE and NYSDEC as of June, 2009. After thoroughly reviewing the complete application and associated wetland impacts, the USACE issued a Validated Department of the Army Permit for wetland impacts associated with the project as of May, 2012. Additionally, having thoroughly reviewed the complete application and associated wetland impacts, the NYSDEC officially issued a Freshwater Wetland Permit and Water Quality Certification for wetland impacts associated with the project as of November, 2009.

On May 14, 2012, the United States Army Corps of Engineers (“USACE”) issued Department of Army Permit No. 2001-00067. The permit issued by the USACE permitted to impact 17.83 acres of Federal wetland, and 1.29 acres (approximately 5227 linear feet) of jurisdictional tributaries for the construction of Muir Woods project. On May 6, 2016, the USACE extended the permit expiration dated from May 14, 2012 to November 30, 2019. The USACE issued a modification of Permit No. 2001-00067 on June 20, 2018 in connection with the development of Sites “C” and “D” as a residential subdivision. On January 16, 2019, the USACE extended the expiration date of Department of Army Permit No. 2001-00067 to November 30, 2024.

On February 25, 2021, the United States Army Corps of Engineers (“USACE”) issued an Amended Wetland Permit [LRB-2001-00067] authorizing impacts to 6.089 acres of federal wetlands, which was a reduction of 6.921 acres of previously authorized impact of 13.01 acre to federal wetlands, in order to accommodate the mixed-use project on Site A.

10. Wildlife / Biological Resources (FGEIS Section 2.3)

The NYSDEC's Natural Heritage Program has reported no record of known occurrences of rare or state-listed animals or plants, significant natural communities, or other significant habitats, on or in the immediate vicinity of the project site. The Project Sponsor will be required to implement the following mitigation measures in order to minimize impacts to wildlife resources to the maximum extent practicable:

- A comprehensive erosion control plan will be developed and implemented to protect vegetation and water quality.
- Off-limit areas, including wetlands, will be delineated prior to construction to avoid or minimize impacts to vegetation. The construction workforce will be educated as to respecting and adhering to physical boundaries of off-limit areas.
- Best Management Practices will be followed during construction.
- The establishment of invasive vegetative species will be deterred through manual extraction and rapid establishment of desirable vegetation. Exposed and disturbed soils will be seeded, planted and mulched to prevent the colonization of invasive species. Volume 8 of the Appendix of the FGEIS at Exhibit F (*SJWPA Appendix M*) contains a discussion of the proposed on-site wetland mitigation including the protection of habitat areas.
- Waterfowl activity will be deterred in the off-site wetland mitigation area located in the Town of Newstead through the use of mylar tape, snow fencing, 4-7 ft. tree plantings and the seeding of upland grassland areas with a cool season grass.
- The proposed on-site wetland mitigation system will be designed to provide seasonal aquatic habitat for fish, waterfowl and amphibians; habitat for multiple covertypes of wetland plant species; and passerine bird nesting, feeding and resting habitat.
- The project site historically has had an elevated number of deer-vehicle accidents on the roads surrounding the parcel. This parcel is a portion of a much larger habitat area which also includes Nature View Park to the north and is not a "closed" habitat area. The Planning Department, in conjunction with the Police Department, will continue to monitor the deer population throughout the Town and implement approved methods of reducing deer/vehicle accidents in accordance with the Deer-Vehicle Accident Management Plan.

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11. Drainage and Flooding (FGEIS Section 2.4)

The following measures shall be implemented by the Project Sponsor to mitigate drainage and flooding impacts to the maximum extent practicable:

- A. The Town Highway Department shall have access to all Town ditches that are on the subject property including Town ditches 4, 4A, 4B and 4C. The Project Sponsor will be required to grant public easements to the Town to these ditches to ensure their proper maintenance. No aspect of the Muir Woods development will inhibit access to Town ditches or create undue burden to the Town for restoration of easement property used to access Town ditches. On June 28, 2018, the Project Sponsor recorded a Permanent Access and Drainage Easement at the Erie County Clerk's Office (Liber 11331 of Deeds at Page 1521) for the purpose of granting the Town an easement to access town ditches and stormwater management facilities on the Project Site including the existing lake.
- B. The project site and the surrounding vicinity are known as locations for high amounts of beaver and mosquito activity. Access to the Town Highway Department for control of this activity in Town ditches or other areas of the development shall be provided.
- C. The Project Sponsor shall be responsible for cleaning and debrushing of all Town ditches located on the project site during the initial construction phases of the project. The Project Sponsor will also be responsible for long-term maintenance of stream/drainage features and detention/stormwater basins; for maintenance of on-site wetland mitigation areas during the monitoring period; and for the construction of all drainage improvements required for development of the project site.
- D. The Project Sponsor shall be required to construct any ponds and sand filters required stormwater quality treatment. All ponds and sand filters to be constructed on the project site will be privately owned and maintained, with public drainage easement to be granted by the Project Sponsor to allow Town to properly maintain the inlet and outlet pipes of any wet ponds.
- E. All stormwater runoff will be treated to standards approved by the Town Engineering Department prior to discharging into the existing lake on the project site or Town ditches. No additional detention is being proposed for the Muir Woods development for stormwater quantity control.

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- F. All buildings in the west portion of the Muir Woods site located within the Ellicott Creek flood plain will be at a minimum elevation of 576.0 feet, or one foot above the base flood elevation as determined by the Town Building Commissioner.

As development is proposed, specific drainage plans will be reviewed and approved by the Town Highway and Engineering Departments and the NYS Department of Environmental Conservation/US Army Corps of Engineers during site plan review, to ensure there is no adverse impact to the Ellicott Creek Flood Control system.

- G. Upon development, the existing 32± acre lake in the southeast portion of the project site will be maintained with a normal lake level of 569.55 feet. The existing 42-inch CMP outlet at the west end of the lake will remain as it is. All stormwater from the east side of the development around the lake will pass through a stormwater quality treatment facility consistent with the NYS Stormwater Management Design Manual and Phase II Stormwater SPDES requirements prior to entering the lake. This system currently designed as sand filters may evolve into wet ponds, bio-retention filters, and/or other acceptable practices under the Design Manual and SPDES requirements.
- H. Backyard runoff from proposed residential units will be separated from wetland mitigation areas and wetlands either by a ditch or rear yard drains to preclude pollution of those areas by lawn chemicals, per NYSDEC letter dated October 26, 2007.
- I. A detailed Stormwater Pollution Prevention Plan (SWPPP), including a Sediment and Erosion Control Plan, for the various phases of the project including any related on-site drainage areas shall be submitted as specific site plans are submitted for review. The Stormwater Pollution Prevention Plan for each phase of the project will need to be reviewed and approved by the Town's Engineering Department.
- J. The Project Sponsor shall be required to comply with the findings and recommendations of the Preliminary Drainage report prepared by Greenman-Pedersen, Inc. in August 2007 and any updated reports during the course of development.
- K. The Project Sponsor will provide backyard drainage for the existing homes that are directly adjacent to the portions of the project site that will be developed for residential use. This requirement pertains to Sites and D. Additional drainage improvements for the areas along the rear yards of the homeowners on Nancy Lane will also be installed by the Project Sponsor. The drainage pipe to be installed in the rear yards of the new residential

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units that will be integrated with the new drainage swale behind the residents of Nancy Lane will be a minimum diameter of 12 inches.

12. Character and Quality of Life Issues (FGEIS Section 2.5)

A. Setbacks

On those portions of the project site where commercial or student housing development will be directly adjacent to existing residential areas (i.e. Bucyrus Heights), setbacks will retain existing vegetation to a depth that provides an adequate buffer. The following minimum setbacks will be required:

- The planting of additional trees and shrubs by the Project Sponsor within the minimum setback area may be required to supplement the existing vegetation in order to provide adequate buffers.
- A combination of earthen berms and new vegetation will be required in those portions of the minimum setback area where there is not sufficient existing vegetation to provide an adequate buffer. The minimum height at the top of berms shall be three feet, and the maximum slope shall be 1 on 3 (33%) to promote the growth and long-term viability of trees and shrubs planted on the berms. Berms should have a natural appearance by varying their width and height.
- Site A (western portion of the project site) – This portion of the project site will be utilized for mixed-use; a portion of Site A is located directly south of the Bucyrus Heights subdivision.
  - 25 ft. minimum building setback from residential lot line for single-story residential buildings.
  - 90 ft. minimum building setback from residential lot line for attached and detached two-family townhome style units.
  - 250 ft. minimum building setback from residential lot line for four-story mixed use buildings.
  - 250 ft. minimum building setback from residential lot line for four-story multifamily building.
  - 60 ft. parking setback from residential lot line
- Site B (center portion of site) – This portion of the project site will be developed around the extended John James Audubon Parkway as a

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public roadway to be dedicated to the Town of Amherst. Site B will be developed as student housing or for the land uses permitted pursuant to the Amended Findings Statement issued by the Town Board on December 17, 2015. The following setback standards apply to the development of Site B:

- 60 ft. building setback from residential lot line. If the height of any proposed buildings exceeds 50 feet, the required minimum building setback shall be equal to the height of the proposed building.
- 90 ft. parking setback to residential lot line

B. Building Height

The following maximum building heights will be observed for the proposed development:

- Site A (western portion of the project site) – This portion of the project site will be the location of mixed-use and residential buildings and a portion of Site A is located directly south of the Bucyrus Heights subdivision.
  - Maximum building height for mixed-use and multifamily buildings shall be four-stories and 55 ft. as measured from the finished grade to the top of any parapet (excluding any rooftop mechanical equipment). All mechanical equipment shall be properly screened in accordance with the standards contained in the Zoning Code adopted by the Town Board in May of 2006.
  - Maximum height of any residential buildings within 90 ft. of a residential lot shall be 25 ft.
- Site B (center portion of the project site) – This site will be developed around the extended John James Audubon Parkway as a public roadway to be dedicated to the Town of Amherst. Site B will be developed as student housing or Site B will be developed as permitted to the Amended Findings Statement issued by the Town Board on December 17, 2015.
  - There will not be a maximum height for buildings to be constructed on Site B. All buildings will be required to comply with a minimum required setback that shall be the greater of 50 feet or the height of the proposed building at the point of its maximum height (including rooftop mechanicals, etc.)

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13. Soil Stability and Foundation Issues (FGEIS Section 2.6)

The Geotechnical Engineering Report prepared by McMahan & Mann Consulting Engineers, P.C. dated June 2005 includes findings and foundation considerations for future construction of the various components of the project. The report is included in Volume 6, Appendix I of the FGEIS.

The Town shall not grant site plan, subdivision or Public Improvement Permit (PIP) approval for construction of any component of the project (buildings, parking areas or infrastructure) unless the identified limitations as discussed in the McMahan & Mann report are adequately accounted for. The applicant shall be required to provide documentation of site-specific soil characteristics and comply with all relevant Town building codes regarding soil conditions.

Additional mitigation measures to be undertaken by the Project Sponsor, subject to determination by the Building Department, may include:

- Perform individual soil borings for each proposed structure to accurately determine the specific geotechnical design perimeters.
- Take measures to control the moisture content of the soils outside the structure. These may include installation of an irrigation system that would maintain near-saturated conditions in the soil around the structure during dry summer months, and/or installation of an exterior vapor barrier that extends out away from the structure around the perimeter.
- Monitoring of soil moisture with supplemental foundation watering during dry months.
- Use of a lower allowable bearing pressure for design of the spread footings.
- Placement of a minimum of two continuous #5 horizontal longitudinal reinforcing bars in each of the following locations: in the footing, at the base of the foundation wall, and at the top of the foundation wall.
- Use of an isolation joint between the basement floor slab and the foundation wall.
- Installation of a quality vapor barrier under the basement floor slab.
- Installation of a foundation drain system designed so that the floor elevation of the sump is above the elevation of the bottom of the footing.

14. Economic Impacts (FGEIS Section 2.7)

All infrastructure required to support the development of the project site will be installed at the Project Sponsor's expense. Town-wide or localized special assessment districts (sewer, water, highway, etc.) are established so operating cost can be spread over many taxpayers who use specific services.

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According to the “Cost of Servicing/Revenues Generated Land Use Study” in December 2006 commissioned by the Amherst Industrial Development Agency, for every \$1.00 attributed to residential use, \$1.11 is expended in providing government services, while just \$0.48 is expended for commercial use and \$0.60 is expended for open land. As a predominantly commercial oriented mixed-use project, the estimated \$3,500,000 in yearly tax revenue (2007 estimated) to the Town at full build out projected to be generated by the project is expected to cover the cost of any additional services including police and fire protection, snow plowing, maintenance of roads, water and sewer infrastructure, ditches, etc.

An economic real estate study for the proposed Muir Woods project was completed by Northeast Appraisers in March, 2002 which analyzed residential demand and property values. A subsequent Economic Analysis was completed by Real Property Services, LLC in July 2006, which is included in Appendix K, Volume 8 of the FGEIS. The conclusions of those reports are:

- There will be no negative impact on the marketability or values of nearby existing housing. The project may potentially have a positive impact on surrounding residential property values due to increased demand on desirability to live in close proximity to the development.
- The proposed project development will add over \$70 million to the Town of Amherst tax base when completed, and generate over \$3.4 million in tax revenue per year at stabilized 2008 levels.
- Over the first 10 years of development, the project is projected to generate over \$21.4 million in tax revenue, as compared to total tax revenue of approximately \$260,000 that would be generated if the project site remains as vacant land over the same period.
- It appears that both the Sweet Home and Williamsville School Districts will be impacted minimally with regards to expenditures on a per student basis. This takes into account that more than 50% of the residential development will consist of patio homes, which primarily cater to “empty nesters” and typically generate less students per household.
- The competitive advantages of the project site which are expected to support strong market absorption include its direct interchange access from the Lockport Expressway (I-990) and the high visibility of the site from expressway traffic.

15. Noise and Light Issues (FGEIS Section 2.9)

Noise – It is anticipated that the project site will be built-out in stages over many years and, as such, there is a need to impose mitigation measure for noise from

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construction activities to minimize this identified adverse environmental impact to the maximum extent practicable. Both temporary and long terms noise impacts may result from the construction activities on the project site as well as from the proposed use of the project site.

Noise from construction-related activities, which will exceed local ambient levels for noise outside of structures, may cause some temporary annoyance to nearby residents. It is expected that this impact, caused by heavy equipment, construction vehicles and power tools, will continue throughout the duration of construction. In order to reduce this noise, the following measures will be undertaken by the Project Sponsor:

- Limit major construction activities to daytime hours
- Use of construction equipment with mufflers
- The preservation of existing vegetation to the greatest extent practicable will provide a noise barrier to existing residential areas.
- If blasting is required, the developer will follow all requirements of the Town Blasting Ordinance

Noise resulting from the occupation and usage of the buildings constructed on the project site can be expected to result in sound levels that are characteristic of suburban office and residential developments and should not be significant.

With the Lockport Expressway (I-990) forming the southern boundary of the project site, and its design as an elevated highway for a portion of this boundary, traffic is considered the largest source of existing noise. Levels from typical noise generators that may be expected to exist in the vicinity of the project site include:

Distant traffic (45 mph)	45 – 50 decibels
Passenger car pass-bys	70 decibels
Accelerating trucks	85 decibels
Distant aircraft noise	60 – 85 decibels

The Transportation Project Report for the Lockport Expressway evaluated the potential noise impacts of the entire I-990 project, including the interchange that will be improved in connection with the proposed project. A copy of the Noise & Air Pollution Study is found in Volume 6 of the Appendix of the DGEIS at Exhibit 30. In addition, there is not any development directly adjacent to the existing interchange that will be impacted by the proposed interchange improvements. To the south of the northbound off-ramp there are some residential units situated along Dodge Road. However, the planned improvements at the existing off-ramps will not result in a movement of traffic 50% or more closer to source receptors.

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Light – To mitigate the light spillage from exterior lighting on adjacent residential properties, especially the Bucyrus Heights neighborhood, the following measures will be implemented:

- Appropriately located lighting, downward-directed lighting fixtures or hooded lighting will be used to prevent off-site light spillage on adjacent residential areas. The light fixtures and their placement will follow all Town of Amherst code requirements for usage and design. The Town Zoning Code requires a lighting plan to be submitted during the site plan review process, and the standards contained in the relevant section of the Zoning Code regulate lighting spillover from commercial locations onto adjacent residential land uses.
- Screening of proposed commercial buildings and parking lots will be provided through the creation of berms or landscaping elements on the periphery of developed areas (see Section 10A above).

16. Open Space and Recreation (FGEIS Section 2.10)

The proposed internal trail system shall be installed (Sites C & D) of the “The Preserve at Muir Woods” development, provided it does not impact regulated wetlands or is permitted by permits issued by the NYSDEC and/or USACE. Public access to a portion of the existing lake will be provided. The majority of State Wetlands TE-22, TE-33, and TE-34 will remain as Major Open Space (MOS). As a result of the modifications to the project, approximately 224± acres of the project site will be preserved as open space.

The proposed recreational trail connecting sites A, B, C, and D of the Muir Woods Development shall connect to the Town’s existing trail system as shown in Figure 4 (Park, Open Space and Trail map) and Figure 2.1 (University Focal Planning Area Concept Plan) of the adopted Amherst Bicentennial Comprehensive Plan and shall be constructed by the Project Sponsor as part of the Muir Woods project. Each development site of the Muir Woods Development shall complete its portion of the trail system prior to the issuance of any certificate of occupancy by the Town of Amherst Building Department.

The Project Sponsor will work with the Town toward achieving the trail connections. An opportunity for a future multi-use trail connection northerly to Nature View Park shall be maintained in accordance with the Town Comprehensive Plan.

17. Other Issues (FGEIS Section 2.12)

A. Reclassification of Land

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The entire project site is zoned New Community District (NCD), and no changes are proposed to remove the property from the NCD zoning district classification.

The original request by Ciminelli Development Company, Inc. in 2002 was to reclassify 326± acres of land from NCD-ND and NCD-MOS to NCD-GC, NCD-RI and NCD-MOS. This request was reviewed and commented on over a five year period. As a result of discussions with the NYS Department of Environmental Conservation during that time, the petitioner amended the original Muir Woods Concept Plan by reducing the overall development from 144 acres to 110 acres in order to minimize wetland impacts. In addition, the various components of the development were altered so that the proposed size of the commercial office/R&D space was reduced from 1.8 million sq. ft. to 700,000 sq. ft. The proposed “village center” originally envisioned was also eliminated. The result is a different land pattern from that initially proposed and one that is not consistent with the originally-requested reclassification districts.

The following additional steps shall be undertaken as part of the Findings for this project:

- The parcels to be reclassified to NCD-GC shall be deed restricted to prohibit the following uses:
  - Automobile sales and service facilities (except vehicles used primarily on the subject property)
  - veterinary clinics or kennels
  - gasoline service station will be prohibited around the existing lake

On June 21, 2018, a Declaration of Restrictions was recorded at the Erie County Clerk’s Office (Liber 11330 of Deeds at Page 8243) for the purpose of prohibiting the above described uses on the portion of the Project Site reclassified to NCD-GC.

- At the Town Board’s direction, the Town shall initiate a reclassification of the remainder of wetland areas contained in the original project proposal as Major Open Space (MOS).

B. Land Use

The proposed development will follow the program summarized below as depicted in the original Findings Statement concept plan for the project dated September 2007, as depicted in the Concept Plan for Site B dated August 14, 2015, as the Concept Plan for Site B dated April 2,

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2019 showing a student housing project, or as the Concept Plan for Site A dated June 23, 2021 showing a mixed-use project:

Development Site	Land Use	Maximum Developed Area	Development Program
Site A	Mixed-Use	17.42 acres	Maximum of two mixed-use buildings with a maximum height of 60 ft. and maximum combined footprint of 50,000 sq. ft., one four-story multifamily building with a maximum height of 55 ft. (48 units), 49 two-family attached and detached townhomes (98 units) and 12 standalone apartments with attached garages and maximum height of 25 ft. The overall maximum allowed residential density on Site A is 258 units.
Site B (Option 1)	Class A Corporate office buildings	46 acres	Maximum of 464,850 sq. ft. of office/retail space
Site B (Option 2)	Residential/ Commercial	46 acres	Maximum of 192 residential units on the eastern portion of Site B (approximately 26 acres) and a maximum of 205,000 sq. ft. of office and commercial space on the western portion of Site B (approximately 20 acres)
Site B (Option 3)	Residential - Student housing	46 acres	Maximum of 515 student housing units
Sites C and D	Residential	37 acres	133 lot residential subdivision consisting of detached single-family homes on individual lots pursuant to the Map Cover filed at the Erie County Clerk's Office on July 24, 2018.

General components of the proposed development that will minimize adverse environmental impacts include:

- The maintenance of the remaining approximately 224± acres of the development site as permanent open space.
  - Implementing a cluster pattern to maximize open space preservation.
- C. Utility Infrastructure - In accordance with the October 17, 2007 letter received from the Erie County Department of Environment & Planning, all proposed sanitary sewer lines to be constructed to service both the residential and commercial portions of the project will be subject to review and approval by the Erie County Health Department. All systems installed or improved for the project will be undertaken by the Project Sponsor at its cost and will be required to meet all Town, County and State requirements.

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- D. Archaeological/Cultural Resources – One prehistoric archaeological site was discovered on the project site, with a Stage 2 archaeological study determining that the identified prehistoric archaeological site did not meet the eligibility criteria for listing on the State or National Register of Historic Places. This finding was confirmed by the NYS Office of Parks, Recreation and Historic Preservation in its letter of October 10, 2001. No mitigation measures are needed for the subject development.
- E. Air Quality – Potential impacts to air quality resulting from fugitive dust generated during construction activities will be minimized by the following measures:
- seeding and/or mulching exposed soils as soon as practicable and in accordance with the requirements and applicable regulations promulgated by the NYSDEC
  - grading roadways and covering them with gravel during construction, periodically regarding, compacting and replacing gravel as necessary as determined by the Town
  - wetting down temporary roads to be constructed on the project site during construction of the build-out of the project as needed throughout the duration of construction activities and as determined by the Town.
- F. Condominium Designation - As originally proposed, the residential portion of the project was not to include the development of any units that will be filed as condominiums. The Project Sponsor previously offered to place a deed restriction to this affect as a condition of sale to any future builder, developer or owner of any lot on the subject site. On June 21, 2018, a Declaration of Restrictions was recorded at the Erie County Clerk's Office (Liber 11330 of Deeds at Page 8243) for the purpose of prohibiting the residential uses on the Project Site from utilizing the condominium form of ownership. The Project Sponsor is requesting that the Declaration of Restrictions be modified to allow the condominium form of ownership for the attached residential units to be developed on Site A.

18. Evaluation of Future Actions

In accordance with SEQR regulations, upon application to the Town for development of the project site that requires the submittal of an Environmental Assessment Form, the Town will be required to determine if the potential adverse environmental impacts associated with the development have been adequately identified and evaluated in the DGEIS, FGEIS, and this Amended Findings Statement, and whether the proposed development exceeds any of the thresholds and/or requirements contained in this

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Findings Statement. This determination must be made by the Town prior to the issuance of any discretionary land use approvals by the Town for the proposed development.

The following scenarios are put forth in Section 617.10(c) & (d) of the SEQR regulations:

- A. If the Town determines that the proposed action is in conformance with the conditions and thresholds in the FGEIS or the Amended Findings Statement, then no further environmental review pursuant to SEQR will be required;
- B. If the Town determines that the proposed action is adequately addressed in the FGEIS, but is not addressed or not adequately addressed in the Amended Findings Statement, then an amendment to this Amended Findings Statement must be prepared;
- C. If the Town determines that the proposed action was not addressed, or was not adequately addressed, in the FGEIS, but it will not result in any significant environmental impacts, then a negative declaration must be prepared; or
- D. If the Town determines that the proposed action was not addressed, or was not adequately addressed, in the FGEIS, and the action may have one or more significant adverse environmental impacts, then a supplement to the FGEIS must be prepared.

**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

**B. Government Approvals, Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources. <ul style="list-style-type: none"> <li data-bbox="121 829 1485 861">i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input type="checkbox"/> No</li> <li data-bbox="121 892 1485 924">ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No</li> <li data-bbox="121 924 1485 955">iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No</li> </ul>		

**C. Planning and Zoning**

**C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?  Yes  No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?  Yes  No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?  Yes  No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?

\_\_\_\_\_

\_\_\_\_\_

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No

If Yes,

i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? \_\_\_\_\_

b. What police or other public protection forces serve the project site?  
\_\_\_\_\_

c. Which fire protection and emergency medical services serve the project site?  
\_\_\_\_\_

d. What parks serve the project site?  
\_\_\_\_\_  
\_\_\_\_\_

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?  
\_\_\_\_\_

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ acres  
b. Total acreage to be physically disturbed? \_\_\_\_\_ acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
\_\_\_\_\_

ii. Is a cluster/conservation layout proposed?  Yes  No

iii. Number of lots proposed? \_\_\_\_\_

iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will the proposed action be constructed in multiple phases?  Yes  No

i. If No, anticipated period of construction: \_\_\_\_\_ months

ii. If Yes:

- Total number of phases anticipated \_\_\_\_\_
- Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year
- Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_

\_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures \_\_\_\_\_

ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length

iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source.  
 \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):  
 \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_  
 \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_  
 \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

• Do existing sewer lines serve the project site?  Yes  No  
 • Will a line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

---

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
     \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
     \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)  
 ii. Describe types of new point sources. \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 \_\_\_\_\_  
 \_\_\_\_\_  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

• Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

---

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_  
 \_\_\_\_\_

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g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No  
 If Yes:  
 i. Estimate methane generation in tons/year (metric): \_\_\_\_\_  
 ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

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i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No  
 If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

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j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No  
 If Yes:  
 i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.  
 ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_  
 iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_  
 iv. Does the proposed action include any shared use parking? Yes No  
 v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_  
 vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No  
 vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No  
 viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No  
 If Yes:  
 i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
 ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_  
 iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

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l. Hours of operation. Answer all items which apply.  
 i. During Construction:  
 • Monday - Friday: \_\_\_\_\_  
 • Saturday: \_\_\_\_\_  
 • Sunday: \_\_\_\_\_  
 • Holidays: \_\_\_\_\_  
 ii. During Operations:  
 • Monday - Friday: \_\_\_\_\_  
 • Saturday: \_\_\_\_\_  
 • Sunday: \_\_\_\_\_  
 • Holidays: \_\_\_\_\_

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration:  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

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n. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

---

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

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p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally, describe the proposed storage facilities: \_\_\_\_\_  
 \_\_\_\_\_

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q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

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r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 • Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No  
 If Yes:  
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_  
 ii. Anticipated rate of disposal/processing:  
 • \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or  
 • \_\_\_\_\_ Tons/hour, if combustion or thermal treatment  
 iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No  
 If Yes:  
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month  
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No  
 If Yes: provide name and location of facility: \_\_\_\_\_  
 \_\_\_\_\_  
 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:  
 \_\_\_\_\_  
 \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.  
 i. Check all uses that occur on, adjoining and near the project site.  
 Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_  
 ii. If mix of uses, generally describe:  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

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d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities:  
\_\_\_\_\_

---

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  

- Dam height: \_\_\_\_\_ feet
- Dam length: \_\_\_\_\_ feet
- Surface area: \_\_\_\_\_ acres
- Volume impounded: \_\_\_\_\_ gallons OR acre-feet

ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection:  
\_\_\_\_\_

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f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  

- If yes, cite sources/documentation: \_\_\_\_\_

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:  
\_\_\_\_\_

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g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
\_\_\_\_\_

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h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database      Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database      Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
\_\_\_\_\_

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iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
\_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

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**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_%

c. Predominant soil type(s) present on project site: \_\_\_\_\_ %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_  
 \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No  
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
 \_\_\_\_\_

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i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____	
n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: <ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Species and listing (endangered or threatened): _____ _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If yes, give a brief description of how the proposed action may affect that use: _____ _____	
<b>E.3. Designated Public Resources On or Near Project Site</b>	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____	

<p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site      <input type="checkbox"/> Historic Building or District</p> <p style="margin-left: 20px;">ii. Name: _____</p> <p style="margin-left: 20px;">iii. Brief description of attributes on which listing is based: _____</p>
<p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>
<p>g. Have additional archaeological or historic site(s) or resources been identified on the project site? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe possible resource(s): _____</p> <p style="margin-left: 20px;">ii. Basis for identification: _____</p>
<p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify resource: _____</p> <p style="margin-left: 20px;">ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____</p> <p style="margin-left: 20px;">iii. Distance between project and resource: _____ miles.</p>
<p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify the name of the river and its designation: _____</p> <p style="margin-left: 20px;">ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

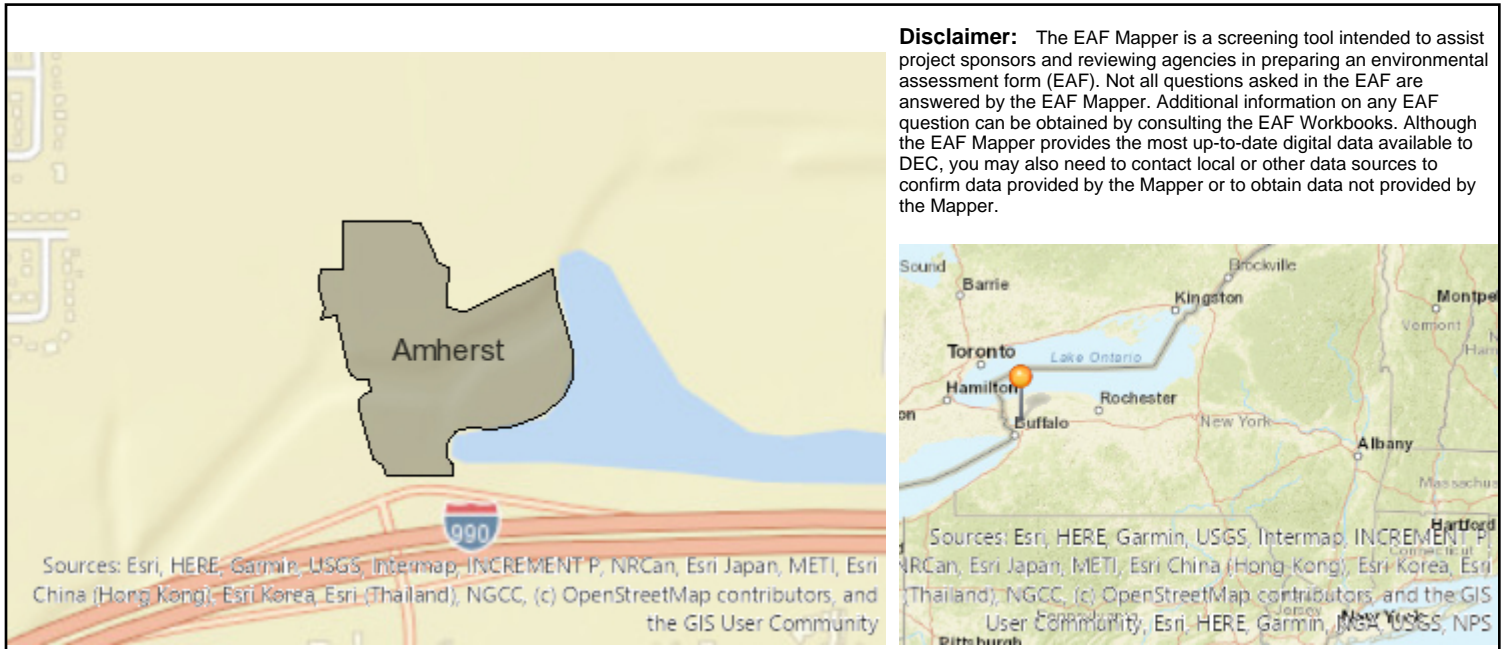
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name \_\_\_\_\_ Date \_\_\_\_\_

Signature  \_\_\_\_\_ Title \_\_\_\_\_



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources to confirm data provided by the Mapper or to obtain data not provided by the Mapper.

B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYS Heritage Areas:West Erie Canal Corridor
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
E.2.h.ii [Surface Water Features]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
E.2.h.iv [Surface Water Features - Stream Name]	837-27
E.2.h.iv [Surface Water Features - Stream Classification]	C
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters

E.2.h.v [Impaired Water Bodies]	Yes
E.2.h.v [Impaired Water Bodies - Name and Basis for Listing]	Name - Pollutants - Uses:Ellicott Creek, Lower, and tribs - Total Phosphorus
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	Yes
E.2.k. [500 Year Floodplain]	Yes
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

# **EXHIBIT G**



**Representative** (Architect, Engineer, Landscape Architect, Surveyor, or Attorney):

Name: Marc Romanowski

Address: 1600 Liberty Building

424 Main Street

<u>Buffalo</u>	<u>NY</u>	<u>14202</u>
city	state	zip code

Phone: 716-854-3400 Fax: 716-332-0336

E Mail: romanowski@rupppfalzgraf.com

**Project Location** (must be verified by Town Assessor's Office):

Address: 770 John James Audubon Parkway

Amherst, NY 14228

SBL No(s): 41.05-3-9

**Project Name:** Townhomes at Muir Woods

**Project Description:** The project is for the creation of 160 single family townhomes on a 17.49 acre parcel located on the extension of John James Audubon Parkway. A full description of the project is attached hereto in the Letter of Intent.

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**If this petition is an amendment to a previously approved site plan, please describe the proposed changes (include type and size of existing structures and number of existing parking spaces):**

N/A

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<b>Gross Floor Area (non-residential):</b>	<u>0</u> existing	<u>0</u> proposed	<u>0</u> total
<b>Gross Floor Area Residential:</b>	<u>0</u> existing	<u>Approximately 237,760 sqft</u> proposed	<u>Approximately 237,760 sqft</u> total
<b>Number of Residential Units:</b>	<u>0</u> existing	<u>160</u> proposed	<u>160</u> total
<b>Number of Parking Spaces:</b>	<u>0</u> existing	<u>320</u> proposed	<u>320</u> total

**Acreeage of Parcel:** 17.19

*(list each parcel separately)*

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**Frontage on Public Roads:** Approximately 550 feet on John James Audubon Parkway

*(list each road separately)*

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**Existing Zoning District(s)** NCD-GC

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